

The John R. McAdams
Company, Inc.
111 Hisslie Drive
Lawsville, Texas 75067
972.436.3712

201 Country View Drive
Rowlett, Texas 75082
940.240.1012

TBPE: 19762 TPA's: 10194440
www.gpiron.com

 **MCADAMS**

**VILLAGE COOPERATIVE OF
CENTURY HILLS
CENTURY HILLS ADDITION
Lot 1, Block A
3,459 Acres**

SITE PLAN

**T. PECK SURVEY, ABSTRACT NO. 1210
in the
NORTH RICHLAND HILLS**

PRELIMINARY PLANS

THIS DOCUMENT IS FOR
INTERIM REVIEW AND IS
NOT INTENDED FOR
CONSTRUCTION, BIDDING
OR PERMIT PURPOSES.

MCADAMS,
TBPE: 19762
JUSTIN L. LANSDOWNE,
P.E. #121990
DATE 6/7/2021

Drawn By: CMK
Date: 01/13/2020
Scale: 1"=40'
Revisions:
04/16/2021
05/11/2021

2020310364

C2.01

Exhibit C - Site Plan Exhibits Ordinance No. 3698 - Page 2 of 12

- Contractor shall stake out tree locations and bed configuration for approval by owner prior to installation.
- Contractor is responsible for verifying location of all underground utilities prior to construction.
- It is the responsibility of the contractor to advise the owners representative of any condition found on site which prohibits installation as shown on these plans.
- All landscape planting areas illustrated shall be graded smooth with three inches (3") of topsoil and three inches (3") organic compost applied and consistently blended (tilled) to a depth of nine inches (9"). If adequate or sufficient topsoil is not available on site, the Contractor shall provide topsoil per the specifications and approved by the Owner. To obtain final grade, excavation may be necessary to accept the required depth of topsoil/compost mix with surface dressing or mulch. All beds shall be crowned to anticipate settlement and ensure drainage without disrupting surrounding planned drainage paths. Any areas disturbed for any reason prior to final acceptance of the project shall be corrected by the Contractor at no additional expense to the Owner.
- All shrub and groundcover beds shall have a minimum of 3" of hardwood bark mulch.
- Landscape edging shall be located as shown on plan.
- Trees overhanging walks shall have a clear trunk height of seven feet.
- All plant material shall be maintained in a healthy and growing condition, and must be replaced with plant material of similar variety and size if damaged, destroyed, or removed.
- Quantities shown on these plans are for reference only. The Contractor has full responsibility to provide coverage in all planting areas as specified.
- Landscape areas shall be kept free of trash, litter and weeds.
- An automatic irrigation system shall be provided to maintain all landscape areas. Over spray on structures and walls is prohibited. A permit from the building inspection department is required for each irrigation system. Impact fees must be paid to the development services department for separate irrigation meters prior to any permit release.
- All landscape areas must be watered by an automatic underground irrigation system equipped with rain and freeze sensors.
- All large and ornamental trees must on bubbler/drip irrigation on separate zones from turf grass.
- Irrigation Controller to have a Rain and Freeze Sensor(s).

TURF PROJECT NOTES:

EROSION CONTROL:

Throughout the project and the maintenance period for turf grass, it is the Contractor's responsibility to maintain the topsoil in place at specified grades. Topsoil and turf grass losses due to erosion will be replaced by the Contractor until ESTABLISHMENT and ACCEPTANCE is achieved.

SOIL PREPARATION:

All slopes and areas disturbed by construction, except those occupied by buildings, structures, or paving shall be graded smooth and amended as described on the Grading Plan C4.0. After tillage and clearing, all areas to receive turf shall be leveled, fine graded, and dry with a weighted spike harrow or light drag. The top two (2") inches shall be pulverized to provide a uniform bed for seeding or sod as described below.

GRASS SOD:

At a minimum, three feet (3') of solid sod shall be installed along all impervious edges. This includes, but is not limited to, curbing, sidewalks, building foundation, storm water inlets, manholes, and planting bed perimeter treatments. Additional areas of sod installation will be as indicated on the design plans. Should installation occur between November and March, sod shall include an over-seed of Annual Rye for a green-in-appearance.

SPRING AND SUMMER PERMANENT GRASSING (May 15 through September 15):

Hydromulch seed mix filled Common Bermuda at a rate of 4 lbs/1000 sq ft. Seeding shall be accomplished immediately after bed preparation. Hydroseed mixture shall contain cellulose mulch applied at a rate of 2000 lbs/acre, with a maximum of 50 lbs/100 gallons of water. If seeding is delayed after mixing 0.5 - 2 hours, add 50% seed mix. If delay is longer than 2 hours, begin with new mixture.

FALL AND WINTER TEMPORARY GRASSING (September 15 through May 15):

Seed with annual rye at a rate of 10 lbs/1000 sq ft. After May 15, Contractor shall remove rye to effectively establish permanent seeding.

PROTECTION:

Protect newly seeded areas from excessive runoff and traffic until vegetation is established. Accumulated sediment deposited by runoff should be removed to prevent suppression of the vegetation. In addition, determine the source of excess sediment and implement appropriate BMPs to control the erosion. No heavy equipment shall be moved over the planted turf area unless the soil is again prepared, graded, leveled, and replanted. It will be the responsibility of the Contractor to protect all paving surfaces, curbs, utilities, plant materials, and any other existing improvements from damage. Any damages shall be repaired or replaced at no cost to the Owner.

MAINTENANCE REQUIREMENTS:

Vegetation should be inspected regularly to ensure that plant material is established properly and remains healthy. Mowing, trimming and supervision of water applications shall be the responsibility of the Contractor until the Owner or Owner's Representative accepts and assumes regular maintenance.

ESTABLISHMENT AND ACCEPTANCE:

All disturbed areas being seeded shall receive topsoil as specified and be adequately established with turf such that any absence of water will not kill the turf, but promote a state of turf dormancy until the next rainfall event. Regardless of unseasonable climatic conditions or other adverse conditions affecting planting operations and the growth of the turf grass, it shall be the sole responsibility of the Contractor to establish a uniform stand of grass. UNIFORM STAND OF GRASS is defined as minimum 80% coverage per square foot (no bare areas). Contractor to make a written request for inspection to Owner or Owner's representative a minimum of 5 days prior to the anticipated inspection date.

CITY OF NORTH RICHLAND HILLS, TX LANDSCAPE BUFFER REQUIREMENTS

IS LANDSCAPE BUFFER ADJACENT TO RESIDENTIAL ZONING:

- REQUIRED: 6'-8" MASONRY SCREENING WALL REQUIRED.
- 8" MASONRY SCREENING WALL PROVIDED WEST PROPERTY LINE.
- 1 LARGE TREE PER 30 LF OR FRACTION THEREOF (40% REQUIRED TO BE EVERGREEN)
- WEST BUFFER:
- REQUIRED: 343 LF / 30 = 12 TREES (7 EVERGREEN)
- PROVIDED: 23 TREES (17 EVERGREEN)

PARKING LOT TREES:

- REQUIREMENT: 1 TREE REQUIRED PER 20 PARKING STALLS. NO STALL TO BE MORE THAN 100' FROM A TREE.
- REQUIRED: 26 TOTAL SPACES / 20 = 2 TREES
 - PROVIDED: 6 SHADE TREES

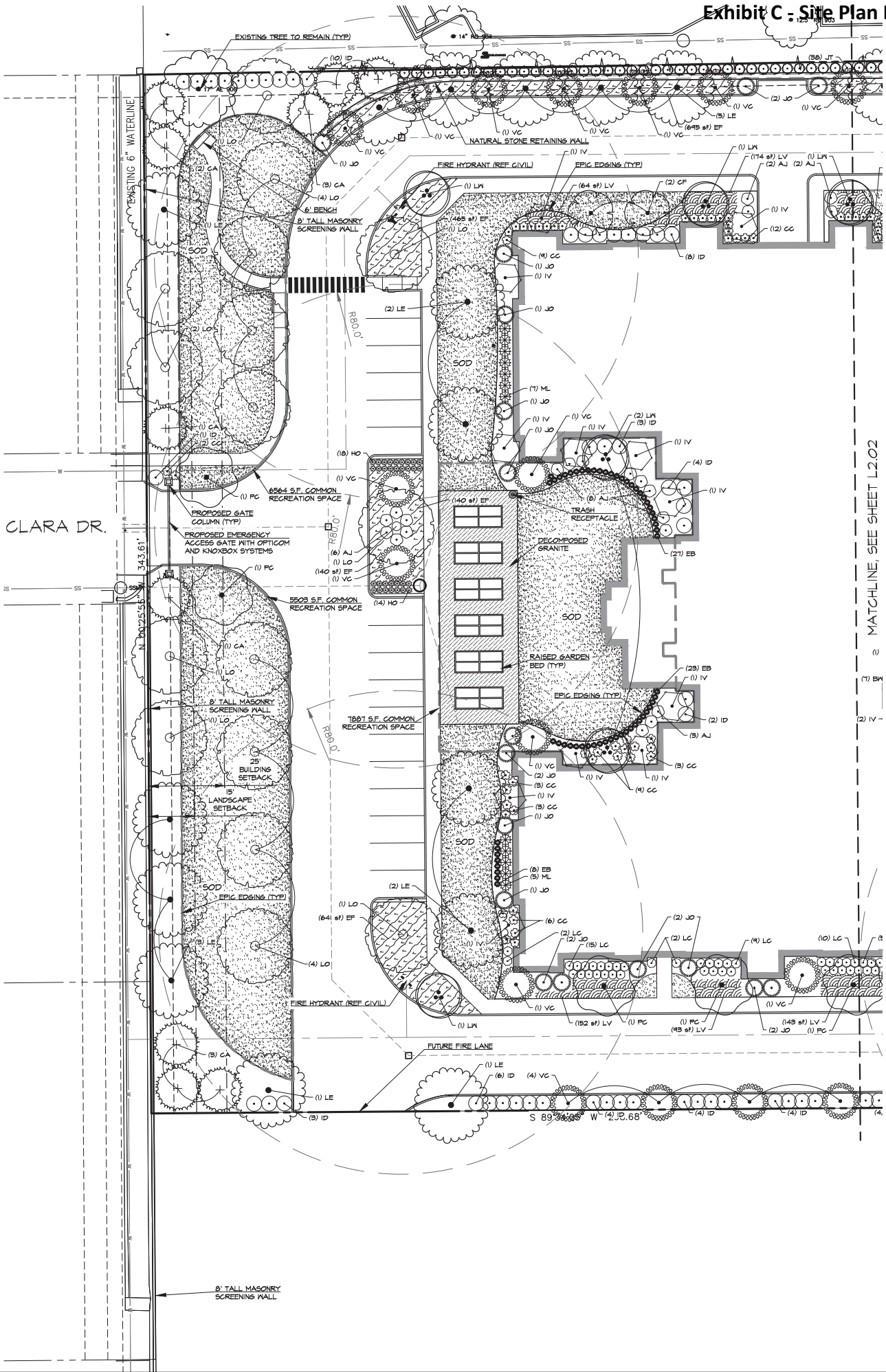
TOTAL LOT AREA: 3.45 ACRES	
LANDSCAPE OPEN AREA:	
REQUIRED:	15% OF TOTAL SITE (3.45 * .15 = .517 ACRES)
PROPOSED:	62,408 S.F. (1.43 ACRES) = 41% OF THE TOTAL SITE
COMMON RECREATION SPACE:	
REQUIRED:	10% OF TOTAL SITE (3.45 * .10 = .345 ACRES)
PROPOSED:	14% (20,808 S.F. OR .48 ACRES)

TREE MITIGATION:

GALIFER INCHES REMOVED	70.5 GALIFER INCHES
MITIGATION REQUIREMENTS	REPLACEMENT IS INCH PER INCH OR PAY TO RESTORATION FUND
REPLACEMENT GALIFER INCHES	SEVENTY-TWO (72) 3" GALIFER TREES
TOTAL REPLACEMENT REQUIRED: 72 GALIFER INCHES	
GALIFER INCHES REPLACED ON SITE: 225 GALIFER INCHES	

PLANT SCHEDULE

TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	GAL.	HEIGHT	CONT.	REMARKS
	VC	50	Chinese Tree	Vitex agnus-castus	-	6' min	150	Full Canopy, Healthy, Good Form
	LE	24	Chinese Lacebark Elm	Ulmus parvifolia	8"	12' Min.	145	Full Canopy, Healthy, Good Form
	CP	4	Forest Pansy Eastern Redbud	Cercis canadensis 'Forest Pansy'	8"	8' Min.	150	Full, Healthy, Even Growth
	PC	5	Kelth Davey Chinese Pistache	Pistacia chinensis 'Kelth Davey'	8"	10' Min.	145	Full Canopy, Healthy, Good Form
	CA	12	San Pedro Martir Cypress	Cupressus arizonica montana	8"	12' Min.	145	Full Canopy, Healthy, Good Form, Strong Central Leader
	LO	14	Southern Live Oak	Quercus virginiana	8"	12' Min.	145	Full Canopy, Healthy, Good Form
	JT	84	Taylor Eastern Redcedar	Juniperus virginiana 'Taylor'	2"	6-T	50 gal	Full, Healthy, Strong Central Leader
	LN	16	White Grape Myrtle Multi-Trunk	Lagerstroemia x 'Natchez'	2"	8' Min.	150	Full Canopy, Healthy, Good Form
SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HEIGHT	SPREAD	REMARKS
	ID	18	Dwarf Burford Holly	Ilex cornuta 'Dwarf Burford'	5 gal			Full, Healthy, Even Growth
	JO	35	Grey Owl Juniper	Juniperus virginiana 'Grey Owl'	5 gal			Full, Healthy, Even Growth
	CG	81	Holly Fern	Cyrtomium coarctatum	8 gal	12" min		
	LG	75	Jazz Hands Loropetalum	Loropetalum chinensis 'Jazz Hands'	5 gal			Full, Healthy, Even Growth
	AJ	27	Spotted Japanese Laurel	Aucuba japonica 'Suruga Bantari'	5 gal			Full, Healthy, Even Growth
	BH	61	Wistergreen Bonaosad	Buxus microphylla 'Wistergreen'	5 gal			Full, Healthy, Even Growth
	IV	28	Yaupon Holly	Ilex vomitoria	15 gal	60" min		
GRASSES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HEIGHT	SPREAD	REMARKS
	ML	22	Autumn Glow Mink	Muhlenbergia lindheimeri 'Lent'	5 gal			Full, Healthy, Even Growth
PERENNIALS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HEIGHT	SPREAD	REMARKS
	EB	100	Purple Coneflower	Echinacea purpurea 'Bright Star'	4" Pot			Healthy, Even Growth
	HO	76	Stella de Oro Daylily	Hemerocallis x 'Stella de Oro'	4" Pot			Healthy, Even Growth
GROUND COVERS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	SPACING	REMARKS	
	SOD	52342 sf	Bermuda Grass	Cynodon dactylon	Sod		Locally Available	
	EF	3481 sf	Colorado Purple Wintercreeper	Euonymus fortunei 'Colorado'	Flat	12" o.c.	Full, Healthy, with Runners	
	SC	252 sf	Seasonal Color	Seasonal Color	-	Per Owner	Per Owner	
	LV	1668 sf	Variiegated Lily Turf	Lilippe muscari 'Varioigat'	Flat	12" o.c.	Full, Healthy, Even Growth	
	DR	152 sf	Decomposed granite				Locally Available	
	--	249 lf	8" Superior Concrete Screen Wall				Cobble Pattern, Color to Complement Building Color and Style to Closely Coordinate Concrete Pail	
	--	862 lf	Natural Stone Retaining Wall (Ref. Civil Plans)					



MATCHLINE, SEE SHEET L2.02



20 0 20 40 60 Feet
SCALE: 1"=20'

VILLAGE COOPERATIVE OF
CENTURY HILLS
CENTURY HILLS ADDITION
1.43 Acres
3.45 Acres
in the
T. PECK SURVEY, ABSTRACT NO. 1210
NORTH RICHLAND HILLS
TARRANT COUNTY, TEXAS

LANDSCAPE PLAN

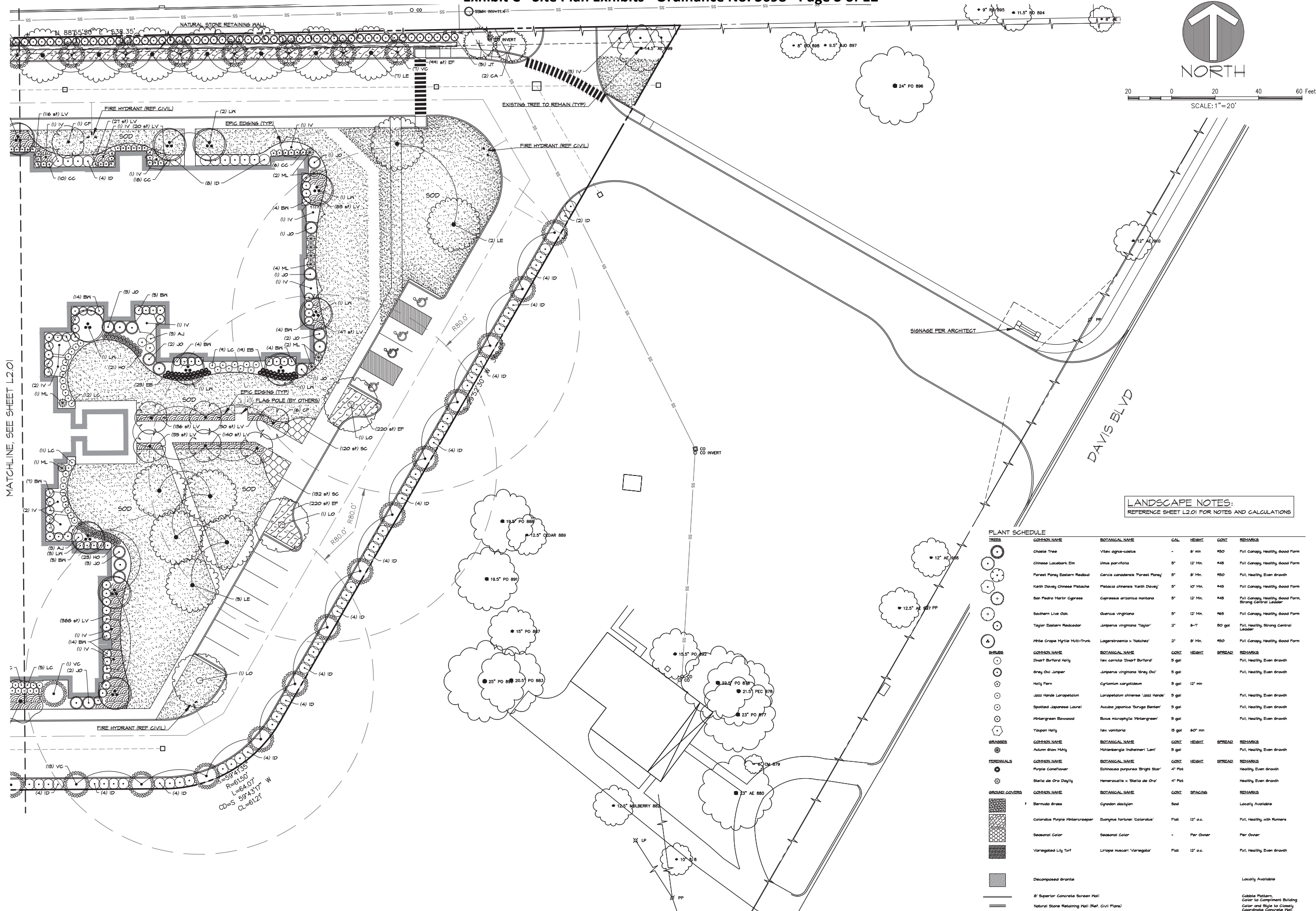
THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW, AGENCY APPROVAL, AND COMMENT UNDER THE AUTHORITY OF JEREMY W. NELSON LANDSCAPE ARCHITECT No. 3102, ON 11/05/2021
THIS DOCUMENT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES

Drawn By: JN
Date: 01/13/2020
Scale: 1"=20'
Revisions:
04/16/2021
05/11/2021

2020310364

L2.01

OWNER/DEVELOPER
VILLAGE COOPERATIVE OF CENTURY HILLS
1400 CORPORATE CENTER CURVE, SUITE 1100
EAGAN, MN 55121
Ph. 303.808.4925
Contact: BRIAN SCOTT



McADAMS

THE JOHN R. McADAMS COMPANY, INC.
(DBA: G&A | McAdams)
111 Hillside Drive
Lewisville, Texas 75057
972.436.9712
201 County View Drive
Rockwall, Texas 75087
940.240.1012
TBE: 19762 TPLS: 10184440
www.mcadamsco.com

VILLAGE COOPERATIVE OF CENTURY HILLS

CENTURY HILLS ADDITION
Block A
3469
In the
T. PECK SURVEY, ABSTRACT NO. 1210
NORTH RICHLAND HILLS
TARRANT COUNTY, TEXAS

LANDSCAPE PLAN

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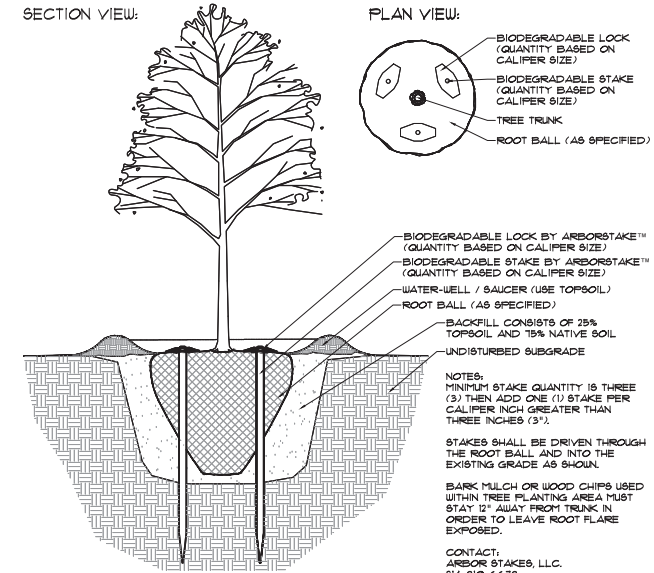
L2.02

OWNER/DEVELOPER
VILLAGE COOPERATIVE OF CENTURY HILLS
1400 CORPORATE CENTER CURVE, SUITE #100
EAGAN, MN 55121
Ph. 308.909.4925
Contact: BRIAN SCOTT

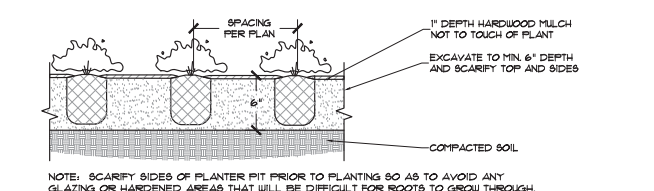
LANDSCAPE NOTES:
REFERENCE SHEET L2.01 FOR NOTES AND CALCULATIONS

PLANT SCHEDULE

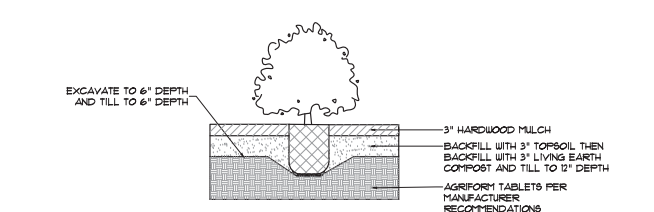
CODE	COMMON NAME	BOTANICAL NAME	GAL.	HEIGHT	CONT.	REMARKS
TREES						
1	Chinese Tree	Vitex agnus-castus	-	8' min	#50	Full Canopy, Healthy, Good Form
2	Chinese Lacebark Elm	Ulmus parviflorus	8'	12' Min.	#45	Full Canopy, Healthy, Good Form
3	Forest Honey Eastern Redbud	Cercia canadensis 'Forest Honey'	8'	8' Min.	#50	Full, Healthy, Even Growth
4	Kaith Daring Chinese Palisade	Palisade chinensis 'Kaith Daring'	8'	10' Min.	#45	Full Canopy, Healthy, Good Form
5	San Pedro Martin Cypress	Cupressus arizonica montana	8'	12' Min.	#45	Full Canopy, Healthy, Good Form, Strong Central Leader
6	Southern Live Oak	Quercus virginiana	8'	12' Min.	#50	Full Canopy, Healthy, Good Form
7	Taylor Eastern Redcedar	Juniperus virginiana 'Taylor'	2'	8'-T	50 gal	Full, Healthy, Strong Central Leader
8	White Crape Myrtle Multi-Trunk	Lagerstroemia x 'Natchez'	2'	8' Min.	#50	Full Canopy, Healthy, Good Form
9	Dwarf Barford Holly	Ilex cornuta 'Dwarf Barford'	9 gal			Full, Healthy, Even Growth
10	Grey Owl Juniper	Juniperus virginiana 'Grey Owl'	9 gal			Full, Healthy, Even Growth
11	Holly Fern	Cyatium goeringianum	9 gal	12" min		
12	Jazz Hands Loropetalum	Loropetalum chinense 'Jazz Hands'	5 gal			Full, Healthy, Even Growth
13	Spotted Japanese Laurel	Aucuba japonica 'Suruga Benken'	5 gal			Full, Healthy, Even Growth
14	Wintergreen Bougainvillea	Bougainvillea microphylla 'Wintergreen'	9 gal			Full, Healthy, Even Growth
15	Yapoon Holly	Ilex vomitoria	15 gal	60" min		
16	Autumn Glow Mink	Muhlenbergia lindheimeri 'Lent'	5 gal			Full, Healthy, Even Growth
17	Purple Ceanothus	Ceanothus purpureus 'Bright Star'	4" Pot			Healthy, Even Growth
18	Stella de Oro Daylily	Hemerocallis x 'Stella de Oro'	4" Pot			Healthy, Even Growth
19	Bermuda Grass	Cynodon dactylon	Sod			Locally Available
20	Colonial Purple Wintercreeper	Euonymus fortunei 'Colonial'	Flat	12" o.c.		Full, Healthy, with Runners
21	Seasonal Color	Seasonal Color	-	Per Owner		Per Owner
22	Variegated Lily Turf	Lilypae muscari 'Variegata'	Flat	12" o.c.		Full, Healthy, Even Growth
23	Decomposed Granite					Locally Available
24	8" Superior Concrete Screen Wall					Cable Pattern, Color to Complement Building
25	Natural Stone Retaining Wall (Ref. Civil Plans)					Color and Style to Closely Coordinate Concrete Wall



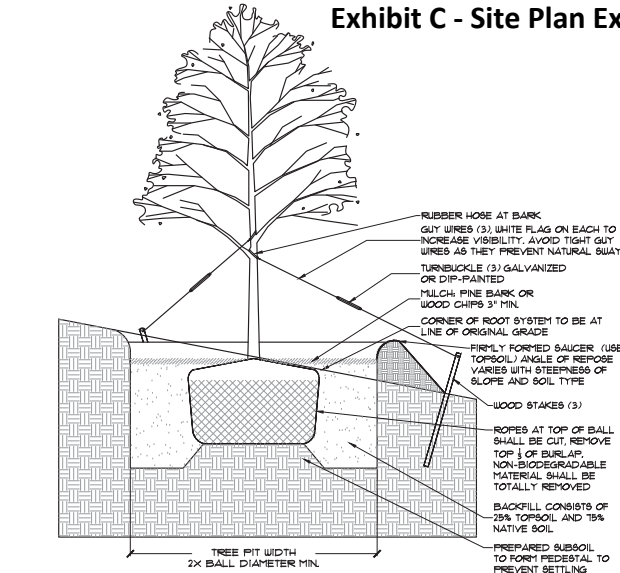
1. BELOWGROUND TREE STAKING DETAIL
1/4"=1'



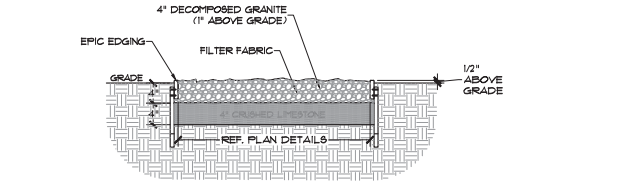
3. GROUND COVER PLANTING DETAIL
1/2"=1'



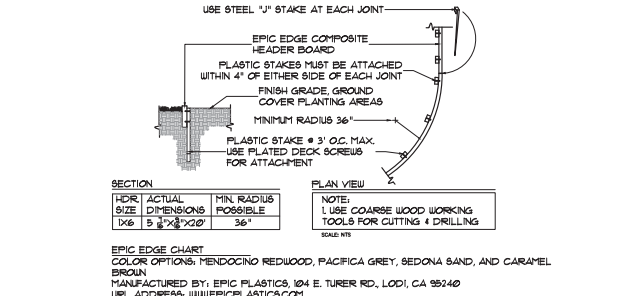
5. SHRUB PLANTING DETAIL
1/2"=1'



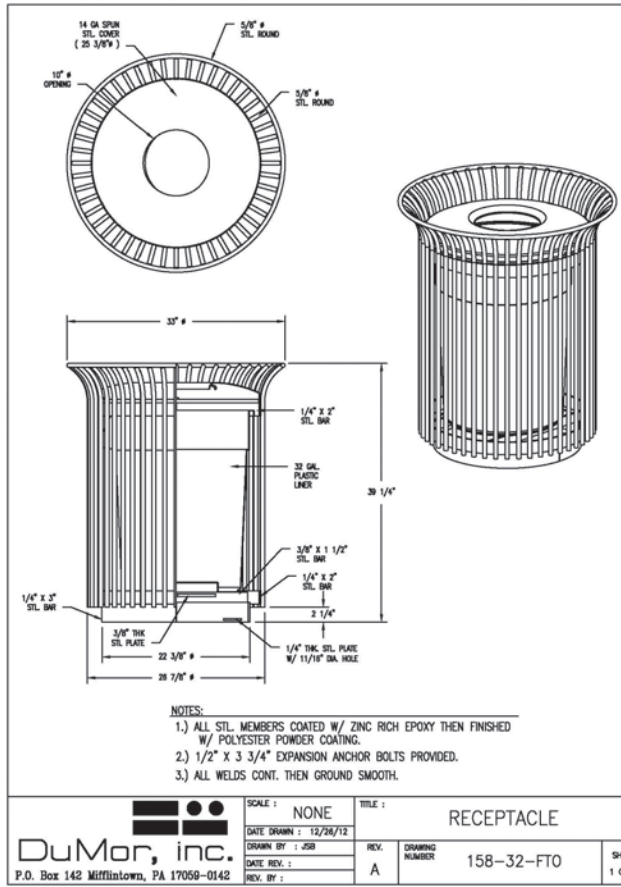
2. TREE PLANTING ON SLOPE
1/4"=1'



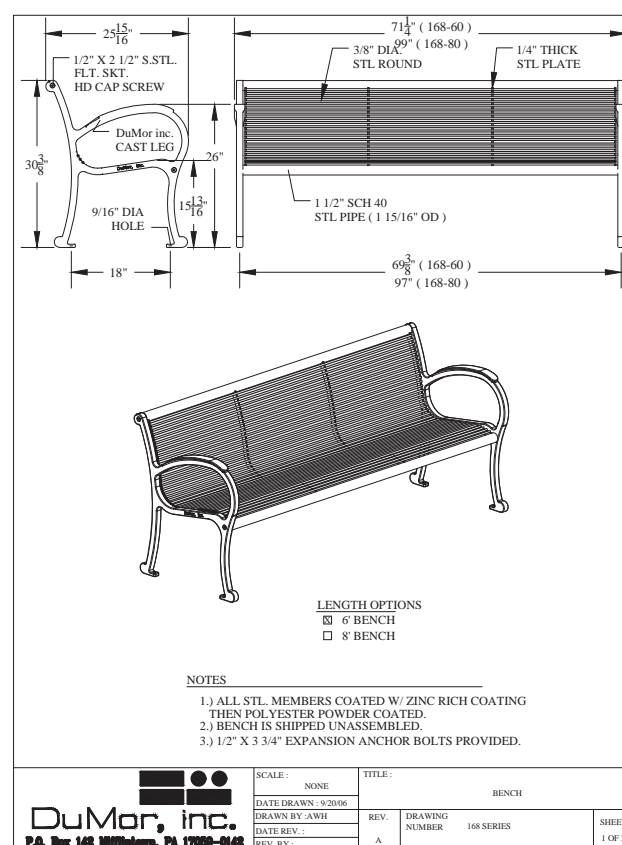
4. DECOMP. GRANITE PATHWAY
3/4"=1'



6. EPIC EDGE COMPOSITE HEADER BOARD
NTS



7. DUMOR RECEPTACLE DETAIL
NTS



8. DUMOR BENCH DETAIL
NTS

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TBE: 19762 TBP: 10194440
www.mcadamsco.com



VILLAGE COOPERATIVE OF CENTURY HILLS
CENTURY HILLS ADDITION
1366 Acres
3669 Acres
in the
T. PECK SURVEY, ABSTRACT NO. 1210
NORTH RICHLAND HILLS
TARRANT COUNTY, TEXAS

LANDSCAPE DETAILS

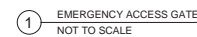
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Date: 01/13/2020
Scale: #####
Revisions:
04/16/2021
05/11/2021

2020310364

L3.01

OWNER/DEVELOPER
VILLAGE COOPERATIVE OF CENTURY HILLS
1400 CORPORATE CENTER CURVE, SUITE #100
EAGAN, MN 55121
Ph. 303.909.4925
Contact: BRIAN SCOTT



NOTE:

1. INSTALL PER MANUFACTURERS RECOMMENDATIONS.
2. COLOR TO BE AMARETTO BLEND



CASE ZC 2021-01
OWNER/DEVELOPER
VILLAGE COOPERATIVE OF CENTURY HILLS
1400 CORPORATE CENTER CURVE, SUITE #100
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VILLAGE COOPERATIVE OF CENTURY

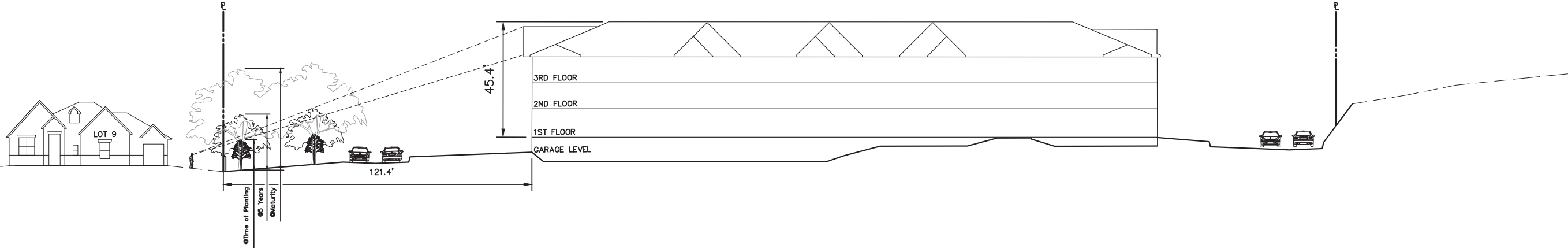
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Date: 01/13/2020
Scale: N.T.S.
Revisions:
04/16/2021
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2020310364

3.02



Cross Section
Village Cooperative of Century Hills

City of North Richland Hills
Tarrant County, Texas



The John R. McAdams
Company, Inc.
111 Hillside Drive
Lewisville, Texas 75057
972.436.9712
201 Country View Drive
Roanoke, Texas 76262
940.240.1012
TBPE: 19762 TBPLS: 10194440
www.gacn.com
www.mcadamsco.com

20 0 20 40 60 Feet



Job No. 2020310364 Date: June 7, 2021 By: CMR
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This concept plan is intended for conceptual
developmental use and shall not be interpreted
as an official or submitted document. All aerial
and map images were attained from best
available information. This plan is subject to
change.

ELEVATION MATERIAL SQUARE FOOTAGE													
Elevation Material Sq Ft:	North:	North %:	West:	West %:	East:	East %:	South:	South %:	South wall, North wing:	South wall, North wing %:	North wall, South wing:	North wall, South wing %:	Average % :
Overall Material Sq Ft:	7,958	-	8,113	-	7,800	-	8,428	-	5,075	-	8,112	-	-
Fiber Cement Sq Ft:	5,492	69%	4,659	57.4%	3,880	49.7%	5,607	66.5%	3,345	39.7%	4,571	56.3%	56.4%
Brick Sq Ft:	535	6.7%	1,798	22.2%	1,044	13.4%	1,029	12.2%	712	14%	1,291	15.9%	14.1%
Cultured Stone Veneer Sq Ft:	352	4.4%	0	0%	1,387	17.8%	246	2.9%	0	0%	177	2.2%	4.6%
Glazing Sq Ft:	1,579	19.8%	1,656	20.4%	1,489	19.1%	1,482	17.6%	993	19.6%	450	5.5%	17%

EXTERIOR MATERIALS KEY			
① 4" VENEER FACE BRICK - DARK BROWN	③E FIBER CEMENT SOLID PANEL - SW0050 'CLASSIC LIGHT BUFF'	⑧ FIBERGLASS WINDOW	⑭ ASPHALT SHINGLES, COLOR: BROWN
② 4" VENEER STONE (COUNTRY LEDGESTONE 'WHEATON')	③F FIBER CEMENT HORIZONTAL LAP SIDING. SW 2835 'CRAFTSMAN BROWN'	⑨ HOLLOW METAL DOOR, FRAME COLOR TO MATCH ADJACENT BUILDING MATERIAL	⑮ PRECAST CONCRETE COLUMN CAP
③A FIBER CEMENT BOARD + BATTEN SIDING. SW 9109 'NATURAL LINEN'	④ 5/4" PREFINISHED FIBER CEMENT TRIM BOARD, COLOR: CLASSIC LIGHT BUFF	⑩ ALUMINIUM STOREFRONT	⑯ CAST-IN-PLACE CONCRETE, STAMP TEXTURE
③B FIBER CEMENT HORIZONTAL LAP SIDING. SW 9109 'NATURAL LINEN'	⑤ PREFINISHED ALUMINIUM RAILING, COLOR: GLOSS WHITE	⑪ MECHANICAL UNIT, GRILL COLOR TO MATCH ADJACENT BUILDING MATERIAL	⑰ PREFINISHED METAL FLASHING COLOR: WHITE
③C FIBER CEMENT BOARD + BATTEN SIDING. SW 2835 'CRAFTSMAN BROWN'	⑥ TREX COMPOSITE DECKING	⑫ OVERHEAD SECTIONAL DOOR	⑱ STONE VENEER LINTEL
③D FIBER CEMENT BOARD + BATTEN SIDING. SW2839 'COPPER RED'	⑦ SLIDING GLASS DOOR	⑬ PREFINISHED ALUMINIUM FASCIA, GUTTER AND DOWNSPOUTS. COLOR TO MATCH ADJACENT	⑲ TIMBER GARDEN PLOT
			⑳ ALUMINIUM PERGOLA



① North Exterior Elevation
3/32" = 1'-0"



② East Exterior Elevation
3/32" = 1'-0"

FOR REFERENCE ONLY

PROJECT
Village Cooperative
of Century Hills
1400 Corporate Center Curve, Suite 100
Eagan, MN 55121
Phone: 651-760-8311
www.researcharchitecture.com

SHEET TITLE
EXTERIOR
ELEVATIONS

PROJECT NUMBER
20-03
DATE
5/11/2021
PROJECT MANAGER
BS
DRAWN BY
SJ
CHECKED BY
SJ
SHEET NUMBER

CASE ZC 2021-01

MA2.0

ELEVATION MATERIAL SQUARE FOOTAGE													
Elevation Material Sq Ft:	North:	North %:	West:	West %:	East:	East %:	South:	South %:	South wall, North wing:	South wall, North wing %:	North wall, South wing:	North wall, South wing %:	Average %:
Overall Material Sq Ft:	7,958	-	8,113	-	7,800	-	8,428	-	5,075	-	8,112	-	-
Fiber Cement Sq Ft:	5,492	69%	4,659	57.4%	3,880	49.7%	5,607	66.5%	3,345	39.7%	4,571	56.3%	56.4%
Brick Sq Ft:	535	6.7%	1,798	22.2%	1,044	13.4%	1,029	12.2%	712	14%	1,291	15.9%	14.1%
Cultured Stone Veneer Sq Ft:	352	4.4%	0	0%	1,387	17.8%	246	2.9%	0	0%	177	2.2%	4.6%
Glazing Sq Ft:	1,579	19.8%	1,656	20.4%	1,489	19.1%	1,482	17.6%	993	19.6%	450	5.5%	17%

EXTERIOR MATERIALS KEY			
① 4" VENEER FACE BRICK - DARK BROWN	③E FIBER CEMENT SOLID PANEL - SW0050 'CLASSIC LIGHT BUFF'	⑧ FIBERGLASS WINDOW	⑭ ASPHALT SHINGLES, COLOR: BROWN
② 4" VENEER STONE (COUNTRY LEDGESTONE "WHEATON")	③F FIBER CEMENT HORIZONTAL LAP SIDING. SW 2835 'CRAFTSMAN BROWN'	⑨ HOLLOW METAL DOOR, FRAME COLOR TO MATCH ADJACENT BUILDING MATERIAL	⑮ PRECAST CONCRETE COLUMN CAP
③A FIBER CEMENT BOARD + BATTEN SIDING. SW 9109 'NATURAL LINEN'	④ 5/4" PREFINISHED FIBER CEMENT TRIM BOARD, COLOR: CLASSIC LIGHT BUFF	⑩ ALUMINIUM STOREFRONT	⑯ CAST-IN-PLACE CONCRETE, STAMP TEXTURE
③B FIBER CEMENT HORIZONTAL LAP SIDING. SW 9109 'NATURAL LINEN'	⑤ PREFINISHED ALUMINIUM RAILING, COLOR: GLOSS WHITE	⑪ MECHANICAL UNIT, GRILL COLOR TO MATCH ADJACENT BUILDING MATERIAL	⑰ PREFINISHED METAL FLASHING COLOR: WHITE
③C FIBER CEMENT BOARD + BATTEN SIDING. SW 2835 'CRAFTSMAN BROWN'	⑥ TREX COMPOSITE DECKING	⑫ OVERHEAD SECTIONAL DOOR	⑱ STONE VENEER LINTEL
③D FIBER CEMENT BOARD + BATTEN SIDING. SW2839 'COPPER RED'	⑦ SLIDING GLASS DOOR	⑬ PREFINISHED ALUMINIUM FASCIA, GUTTER AND DOWNSPOUTS. COLOR TO MATCH ADJACENT	⑲ TIMBER GARDEN PLOT
			⑳ ALUMINIUM PERGOLA



FOR REFERENCE ONLY

ARCHITECT:
Real Estate Equities Architecture, LLC
1400 Corporate Center Curve, Suite 100
Eagan, MN 55121
Phone: 651-760-8311
www.researchitecture.com

PROJECT:
Village Cooperative
of Century Hills
10415 Davis Blvd., North Richland Hills,
TX

SHEET TITLE
EXTERIOR
ELEVATIONS

PROJECT NUMBER
20-03

DATE
5/11/2021

PROJECT MANAGER
BS

DRAWN BY
SJ

CHECKED BY
SJ

SHEET NUMBER

MA2.1

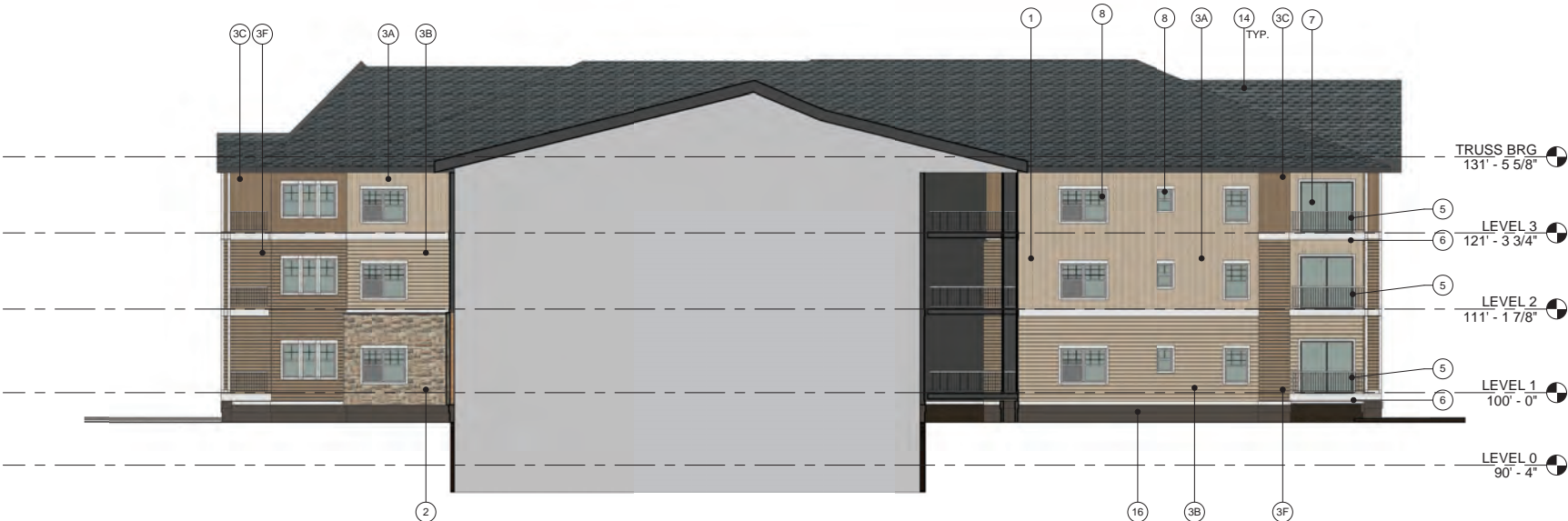
CASE ZC 2021-01

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Elevation Material Sq Ft:	North:	North %:	West:	West %:	East:	East %:	South:	South %:	South wall, North wing:	South wall, North wing %:	North wall, South wing:	North wall, South wing %:	Average % :
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			⑳ ALUMINUM PERGOLA



① South Exterior Elevation at North Wing
3/32\" = 1'-0"



② North Exterior Elevation at South Wing
3/32\" = 1'-0"

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10410 Davis Blvd., North Richland Hills,
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SHEET TITLE
EXTERIOR
ELEVATIONS

PROJECT NUMBER
20-03

DATE
5/11/2021

PROJECT MANAGER
BS

DRAWN BY
Author

CHECKED BY
Checker

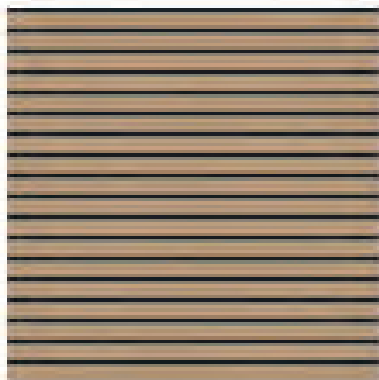
SHEET NUMBER

CASE ZC 2021-01

MA2.2



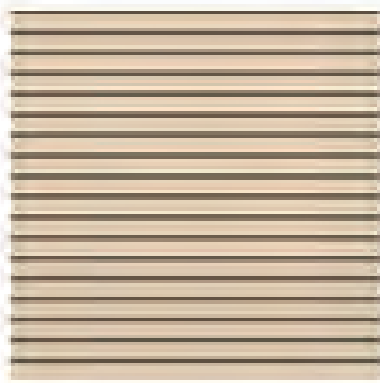
Fiber Cement
Board and Batten
Color: Craftsman Brown SW2835



Fiber Cement
Lap Siding
Color: Craftsman Brown SW2835



Fiber Cement
Board and Batten
Color: Indian White SW0035



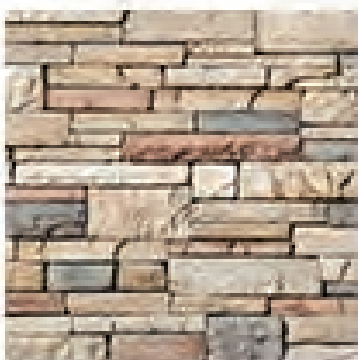
Fiber Cement
Lap Siding
Color: Indian White SW0035



Fiber Cement
Board and Batten
Color: Copper Red SW2839



Brick
Color: Light Brown



Stone Veneer
Country Ledgestone
Color: Mojave

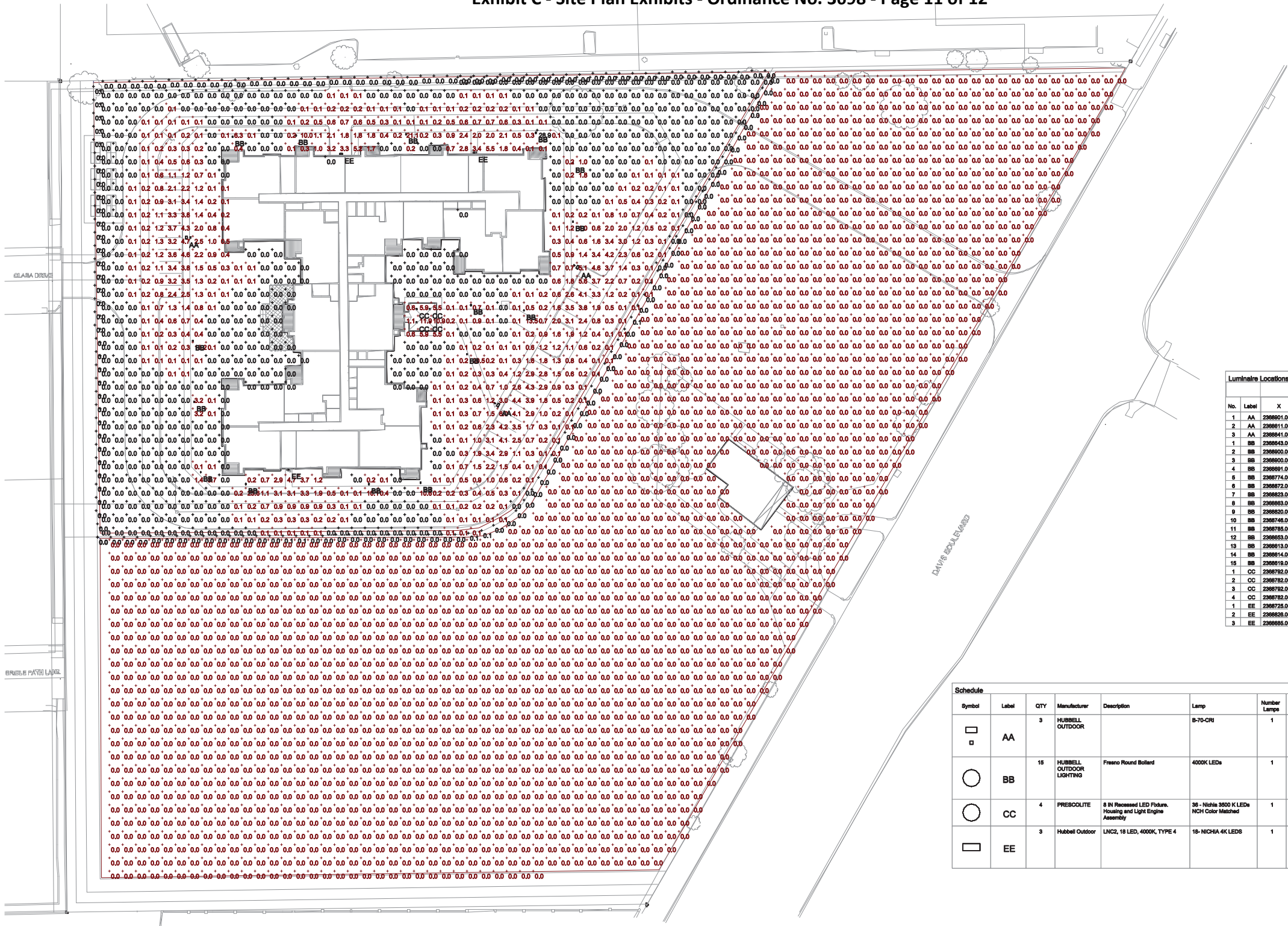
STEEN
ENGINEERING

763-585-6742
763-585-6757 fax
Email: steen@steeneng.com

5430 Douglas Drive North
Minneapolis, MN 55429

REAL ESTATE EQUITIES
Architecture, LLC

Real Estate Equities Architecture, LLC
1400 Corporate Center Curve, Suite 100
Eagan, MN 55121
Phone: 651-760-8310
www.rearchitecture.com



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Adjacent Property	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A
Property Line	+	0.0 fc	0.1 fc	0.0 fc	N/A	N/A
Site	+	0.6 fc	28.9 fc	0.0 fc	N/A	N/A

Luminaire Locations									
		Location				Aim			
No.	Label	X	Y	Z	MH	Orientation	Tilt	X	Y
1	AA	23698901.00	7014927.00	20.00	20.00	120.95	0.00	23698902.00	7014927.00
2	AA	23698911.00	7014548.00	20.00	20.00	270.00	0.00	23698910.00	7014548.00
3	AA	23698941.00	7014423.00	20.00	20.00	120.85	0.00	23698942.00	7014423.00
1	BB	23698943.00	7014924.00	3.00	3.00	0.00	0.00	23698943.00	7014924.00
2	BB	23698900.00	7014990.00	3.00	3.00	270.00	0.00	23698900.00	7014990.00
3	BB	23698900.00	7014904.00	3.00	3.00	270.00	0.00	23698900.00	7014904.00
4	BB	23698991.00	7014925.00	3.00	3.00	0.00	0.00	23698991.00	7014925.00
5	BB	2369774.00	7014926.00	3.00	3.00	0.00	0.00	2369774.00	7014926.00
6	BB	23698972.00	7014927.00	3.00	3.00	0.00	0.00	23698972.00	7014927.00
7	BB	23698923.00	7014927.00	3.00	3.00	180.00	0.00	23698923.00	7014927.00
8	BB	23698983.00	7014493.00	3.00	3.00	202.82	0.00	23698983.00	7014493.00
9	BB	23698920.00	7014490.00	3.00	3.00	75.98	0.00	23698920.00	7014490.00
10	BB	2369746.00	7014392.00	3.00	3.00	180.00	0.00	2369746.00	7014392.00
11	BB	2369785.00	7014393.00	3.00	3.00	180.00	0.00	2369785.00	7014393.00
12	BB	23698953.00	7014392.00	3.00	3.00	180.00	0.00	23698953.00	7014392.00
13	BB	23698913.00	7014470.00	3.00	3.00	270.00	0.00	23698913.00	7014470.00
14	BB	23698914.00	7014424.00	3.00	3.00	270.00	0.00	23698914.00	7014424.00
15	BB	23698919.00	7014371.00	3.00	3.00	227.73	0.00	23698919.00	7014371.00
1	CC	2369782.00	7014494.00	10.00	10.00	0.00	0.00	2369782.00	7014494.00
2	CC	2369782.00	7014494.00	10.00	10.00	0.00	0.00	2369782.00	7014494.00
3	CC	2369782.00	7014494.00	10.00	10.00	0.00	0.00	2369782.00	7014494.00
4	CC	2369782.00	7014494.00	10.00	10.00	0.00	0.00	2369782.00	7014494.00
1	EE	23697725.00	7014911.00	10.00	10.00	0.00	0.00	23697725.00	7014911.00
2	EE	23698926.00	7014912.00	10.00	10.00	0.00	0.00	23698926.00	7014912.00
3	EE	23698985.00	7014373.00	10.00	10.00	180.00	0.00	23698985.00	7014373.00

Schedule											
Symbol	Label	QTY	Manufacturer	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage	Efficiency	Distrib. Ion
	AA	3	HUBBELL OUTDOOR		B-70-CRI	1	11865	1	87.8	100%	
	BB	15	HUBBELL OUTDOOR LIGHTING	Freemont Round Bollard	4000K LEDs	1	941	1	28.9	100%	
	CC	4	PRESOLITE	8 IN Recessed LED Fixture, Housing and Light Engine Assembly	36 - Nichia 3500 K LEDs NCH Color Matched	1	1215	1	15.5	100%	
	EE	3	Hubbell Outdoor	LN22, 18 LED, 4000K, TYPE 4	18- NICHIA 4K LEDs	1	3697	1	44.8	100%	

1 SITE PHOTOMETRIC CALCULATIONS PLAN
1" = 40'-0"

THE EXTERIOR SITE LIGHT FIXTURES DEPICTED SHALL COMPLY WITH THE REQUIREMENTS OF NORTH RICHLAND HILLS, TX SEC. 118-728 REQUIREMENTS

ZC 2021-01

PROJECT:
VILLAGE COOPERATIVE OF CENTURY HILLS
NORTH RICHLAND HILLS, TEXAS

SHEET TITLE:
SITE PHOTOMETRIC CALCULATION PLAN
20' POLES

PROJECT NO:
REE202001

DATE:
2-19-2020

REVISIONS:

4-8-2020
6-2-2020
1-13-2021

E1.1

