

March 2, 2021

South River Ranch North Richland Hills Texas LLC
204 N Broadway Road
Azle TX 76020

RE: Case SP 2020-08 | Site Plan for Raising Cane's – 5036 Rufe Snow Drive

Dear Madam or Sir,

The City of North Richland Hills Development Review Committee (DRC) has reviewed the case listed above and has certified that it meets the requirements for site plan approval. You may proceed with building permit applications at your convenience, but the application must be submitted within one year of DRC certification of the site plan.

This approval certifies that the developer and all associated parties agree to follow the plans that were certified by the DRC on March 1, 2021. The applicable plan sheets are attached and are subject to the following conditions:

1. The landscape plan will be used for determining the location, species, and quantities of plant material to be used on the site, as the site layout does not reflect the final approved version. Refer to the site keynote plan for approved site layout.
2. Wall signs shown on the building elevations are for reference only. Signs for the building and site will be reviewed separately through the sign permit process.

This site plan approval does not extend to any zoning, sign, plat, building permit, civil construction plan, or other requests that might be associated with the subject property.

If you have any questions or need additional information, please contact me at 817-427-6307.

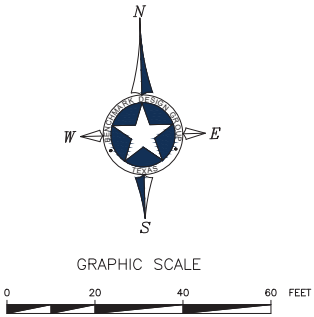
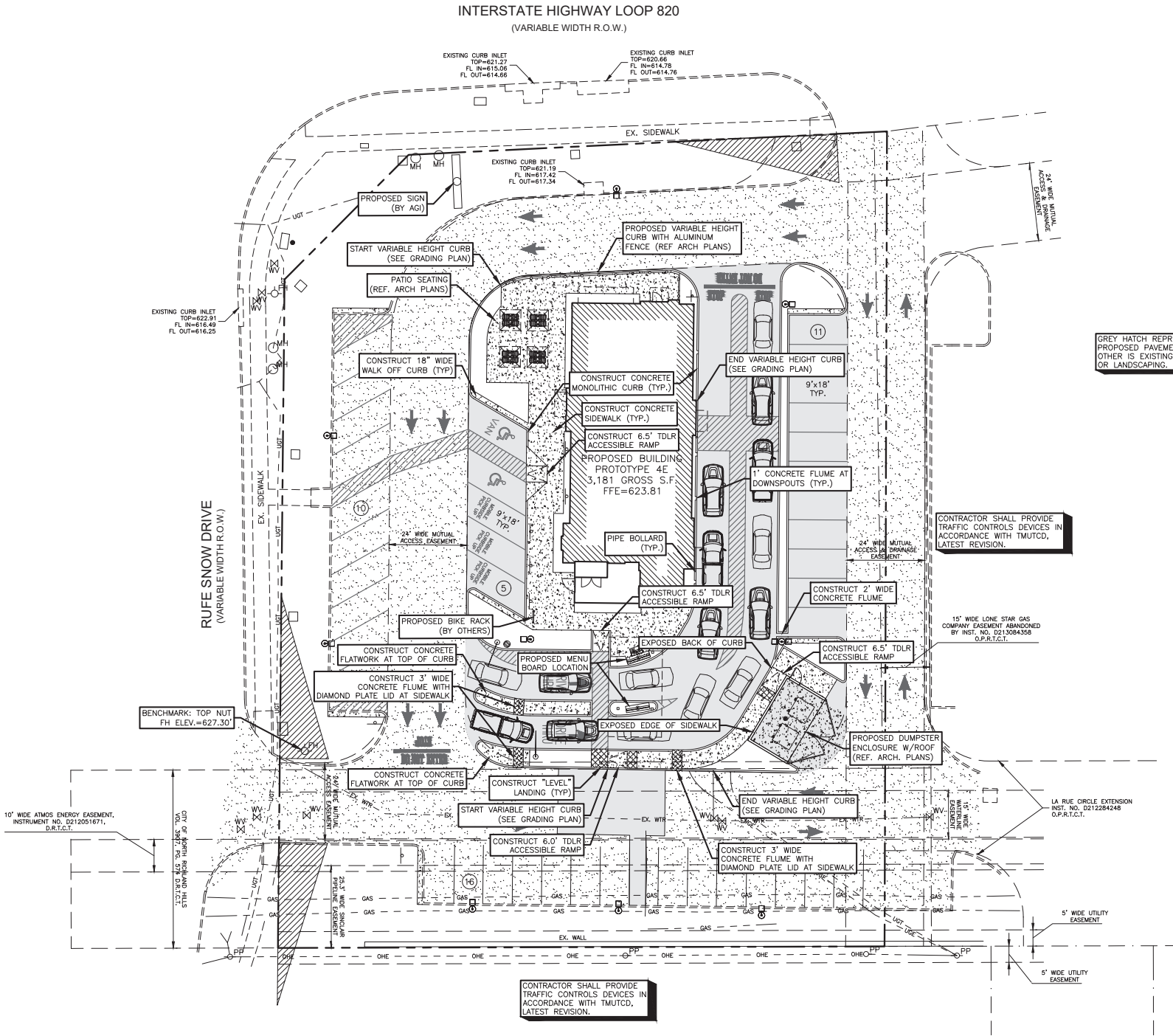
Best,

CITY OF NORTH RICHLAND HILLS

/s/Clayton Husband
Clayton Husband AICP
Principal Planner
4301 City Point Drive
North Richland Hills TX 76180
E-mail: chusband@nrhtx.com

Attachment

c: Benchmark Design Group



LEGEND	
TEL	EXISTING TELEPHONE PEDESTAL
PED	EXISTING CLEANOUT
C.O.O	EXISTING WATER VALVE
WV	EXISTING WATER METER
WM	EXISTING SAN. SEWER MANHOLE
MH	EXISTING POWER POLE
PP	EXISTING FIRE HYDRANT
FH	PROPOSED LP
---	EXISTING OVERHEAD ELECTRIC LINE
---	EXISTING WATER LINE
---	EXISTING SAN. SEWER LINE
---	PROPERTY LINE
⊗	PARKING SPACE COUNT
⊗	PROPOSED "LEVEL" LANDING (SLOPE OF LANDING SHALL NOT EXCEED 2% IN ANY DIRECTION)

- SITE NOTES:**
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF SLOPED PAVING, EXIT PORCHES, PRECISE BUILDING DIMENSIONS, EXACT BUILDING ENTRANCE LOCATIONS, TOTAL NUMBER, LOCATIONS, SIZES AND OUTFALLS OF ROOF DOWNSPOUTS.
 - ALL SIGNS PLACED IN AREAS ACCESSIBLE BY VEHICLE TRAFFIC SHALL BE PLACED IN GUARD POST.
 - ALL TRAFFIC CONTROL SIGNS SHALL BE FABRICATED AS SHOWN IN THE NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
 - ALL CURB RADIUS SHOWN ARE TO FACE OF CURB.
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**Know what's below.
Call before you dig.**

*** STOP! CALL BEFORE YOU DIG! ***

AS REQUIRED BY THE TEXAS UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT (TEXAS 811) MUST BE CONTACTED AT LEAST 2 WORKING DAYS PRIOR TO ANY EXCAVATION OPERATIONS BEING PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT TEXAS 811 AND ALL OTHER LOCATE COMPANIES PRIOR TO EXCAVATION ACTIVITIES.

NOTICE TO CONTRACTORS

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Telephone cable	Conduits	Pipes
Stormwater lines	Water lines	Gas lines
Television cables	Sanitary Sewer lines	Oil Production lines
Saltwater lines		
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SITE PLAN INFORMATION		
LOT: 2-R BLOCK: 25		
ZONING: NR-PD		
SETBACKS:		
FRONT: 25'	REAR: 0'	SIDE: 0'
TOTAL LOT AREA: 1.04 ACRES		
BUILDING AREA: 3,181 SF		
PARKING		
TOTAL BUILDING AREA = 3,181 SF		
DRIVE-IN @ 1 SPACE PER 150 SF OF 3,181 SF = 21 SPACES		
EMPLOYEE PARKING = 8 SPACES		
TOTAL PARKING	REQUIRED 29 SPACES	PROVIDED 47 SPACES

CASE SP 2020-08

Restaurant Support Office
6800 Bishop Road, Plano, TX 75024
Tel: 972-769-3100 Fax: 972-769-3101

Prototype Issue Date:

Store:

**Raising Cane's
Restaurant #0611
5036 RUFÉ SNOW DR
NORTH RICHLAND HILLS, TX
Prototype 4E-AV SCHEME A**

Designer Information:

BENCHMARK
DESIGN GROUP
CIVIL / ENVIRONMENTAL / PLANNERS

Prototype Update Phase: 2020-2.0

Update Issue Date: 12-08-2020

Project Manager: DP

**PERMIT SET
(CITY CASE NO: SP2020-08)**

Professional of Record:

Sheet Revisions:		(sheet specific per Designer)
#	Date:	Description:
1	12-7-2020	CITY COMMENTS
2	2-5-2021	CITY COMMENTS
	2-22-2021	CITY COMMENTS
	3-1-2021	CITY COMMENTS

Sheet Title:

**SITE KEYNOTE
PLAN**

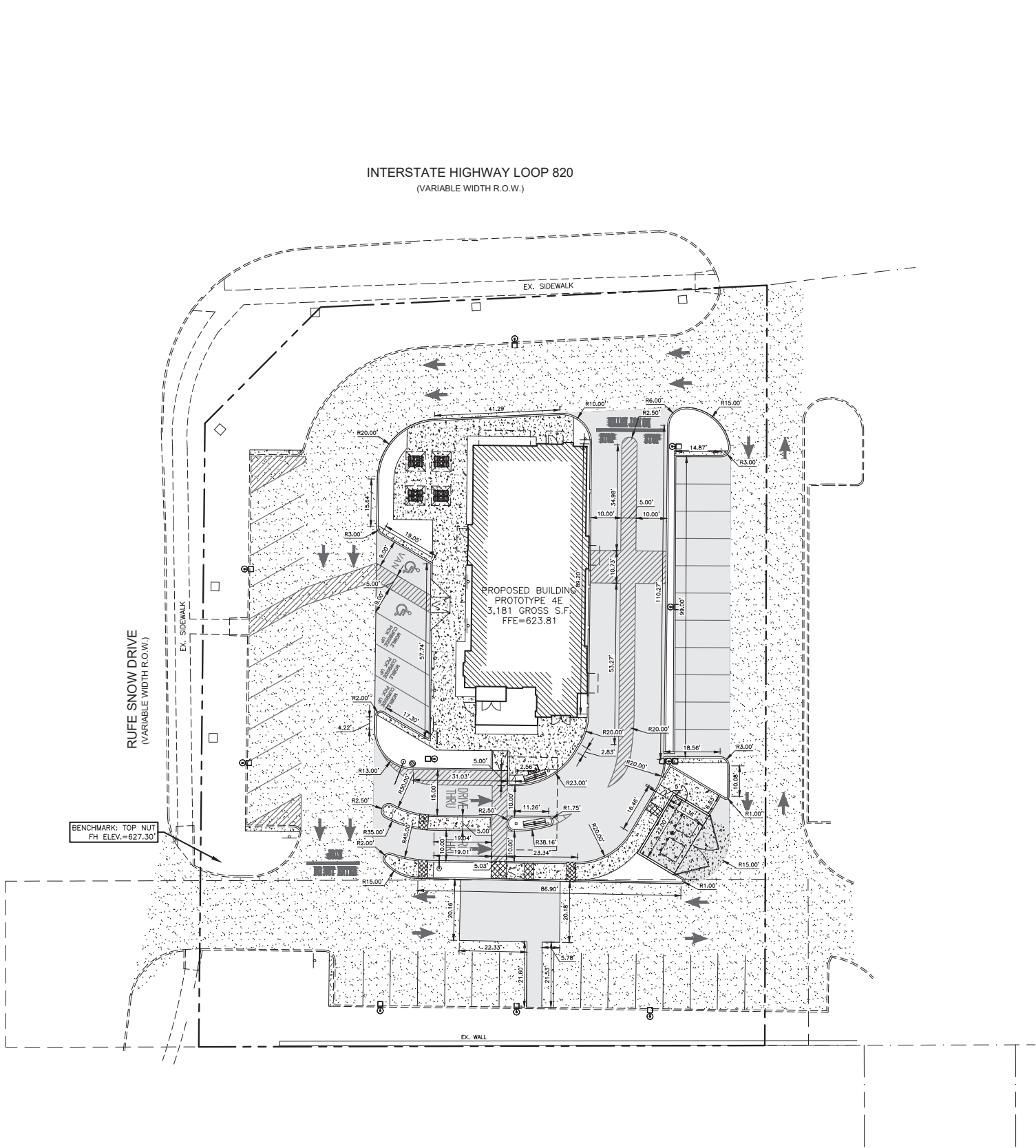
Date: OCTOBER 2020

Project Number: 2020.048

Drawn By: RWD

Sheet Number:

C-5.0



LEGEND	
TEL PED	EXISTING TELEPHONE PEDESTAL
C.O.O	EXISTING CLEANOUT
WV	EXISTING WATER VALVE
WM	EXISTING WATER METER
MH	EXISTING SAN. SEWER MANHOLE
PP-O	EXISTING POWER POLE
FH	EXISTING FIRE HYDRANT
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Prototype Issue Date:

Store:

**Raising Cane's
Restaurant #0611
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Prototype 4E-AV SCHEME A**

Designer Information:



**BENCHMARK
DESIGN GROUP**
CIVIL / ENVIRONMENTAL / PLANNERS
2024 REPUBLIC DRIVE, SUITE B, TYLER, TEXAS 75701 | (936) 534-3333
FIRM NUMBER: 1914-4 | WWW.BENCHMARKDESIGNGROUP.COM

Prototype Update Phase: 2020-2.0

Update Issue Date: 12-08-2020

Project Manager: DP

**PERMIT SET
(CITY CASE NO: SP2020-08)**

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**DIMENSIONAL
CONTROL PLAN**

Date: OCTOBER 2020

Project Number: 2020.048

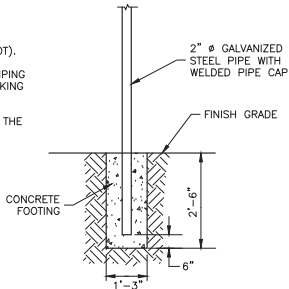
Drawn By: RWD

Sheet Number:

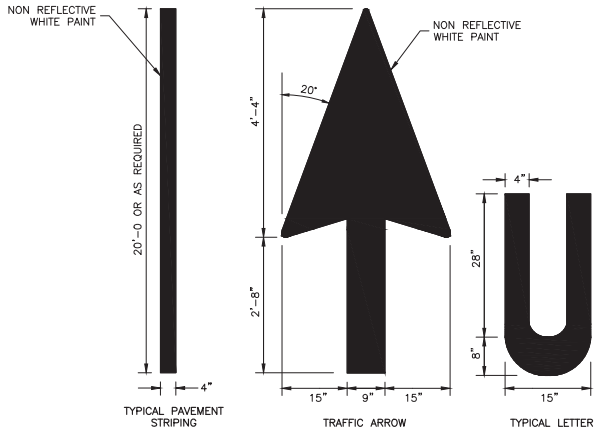
C-5.1

PARKING LOT NOTES:

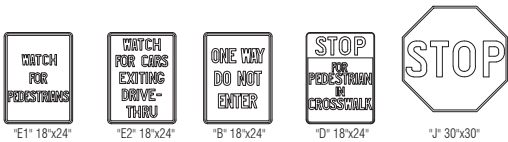
1. PARKING STALLS MUST BE STRIPED WITH A 4 INCH CONTRASTING STRIPE (WHITE ON CONCRETE AND WHITE ON ASPHALT PARKING LOT).
2. HANDICAP PARKING SPACES ARE TO BE DESIGNATED BY BLUE STRIPING & A WHITE SYMBOL ON A BLUE BACKGROUND. ALL HANDICAP PARKING STALLS REQUIRE THE INSTALLATION OF THE PROPER SIGNAGE.
3. ALL PARKING SPACES ARE TO BE LAID OUT IN ACCORDANCE WITH THE TYPICAL DETAIL AS SHOWN ON THIS PLAN UNLESS OTHERWISE INDICATED ON THIS PLAN.



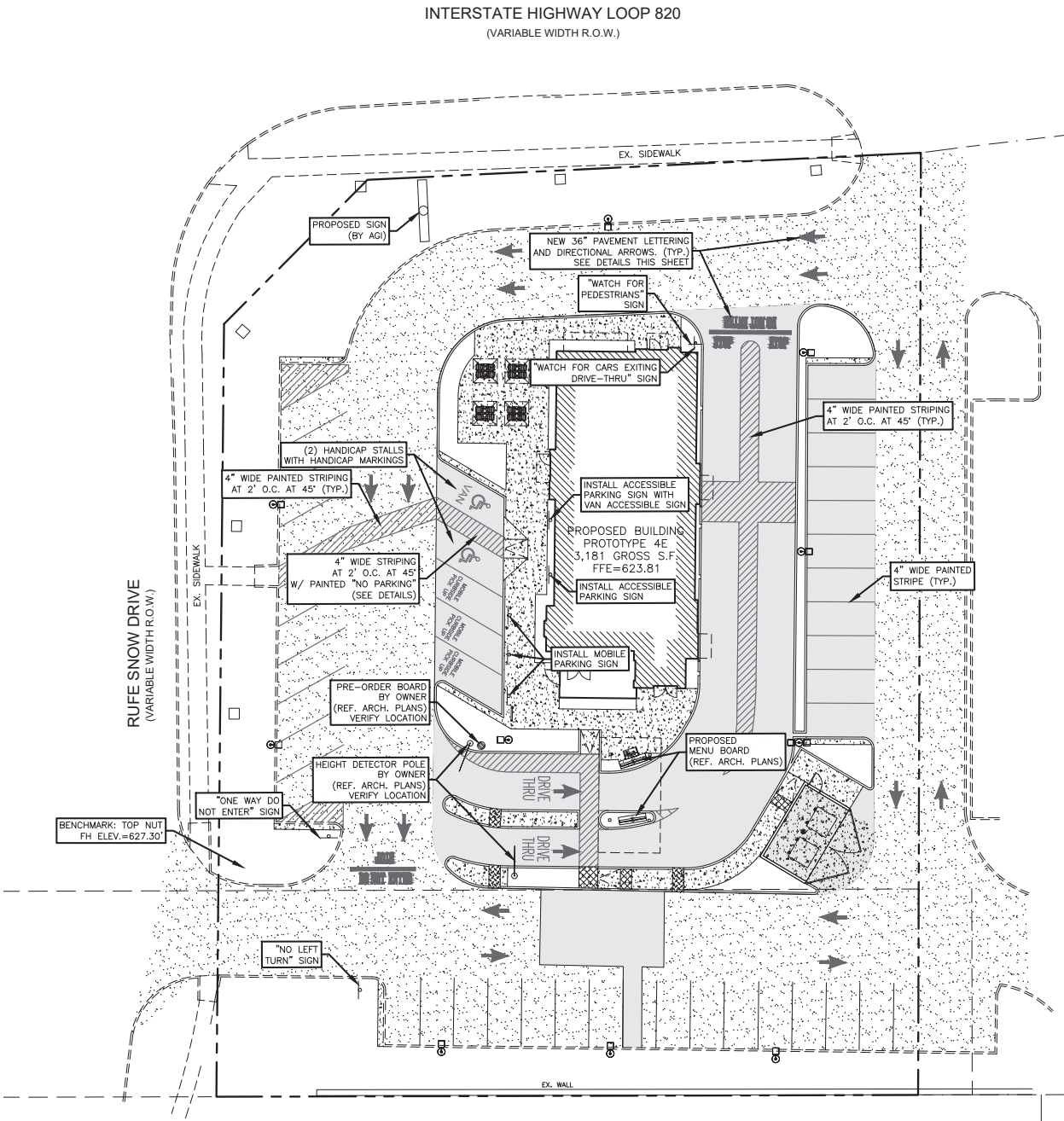
PARKING LOT SIGNAGE FOOTING
SCALE: NTS



TYPICAL PAVEMENT MARKINGS
SCALE: NTS



STANDARD PARKING LOT SIGNS
SCALE: NTS



CONTRACTOR TO VERIFY SIGNS AND SIGN LOCATIONS WITH OWNER PRIOR TO INSTALLATION



LEGEND

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C.O.O		□	EXISTING CLEANOUT
WV	⋈		EXISTING WATER VALVE
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FH	○		EXISTING FIRE HYDRANT
		—	PROPOSED LP
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WWW.BENCHMARKDESIGNGROUP.COM

Prototype Update Phase: 2020-2.0

Update Issue Date: 12-08-2020

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PERMIT SET
(CITY CASE NO: SP2020-08)

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STRIPING AND SIGNAGE PLAN

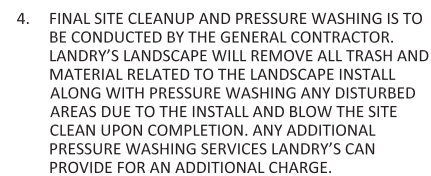
Date: OCTOBER 2020

Project Number: 2020.048

Drawn By: RWD

Sheet Number:

C-5.2



The image contains two technical drawings illustrating planting details. The left drawing, titled 'TREE DETAIL n.t.s.', shows a cross-section of a tree trunk and its root system. Labels include: 'DOUBLE STRAND, 1/2" DRYE MANAGED WIRE, TREATED THREE TIMES PER YEAR, SPREAD 12" APART' for the trunk support; 'WEAVING MATERIAL' for the trunk wrap; 'PLANTING SOIL' for the root zone; 'STAKES: NON-CORROSE METALLIC GROUND RODS, TOP OF STAKES FLUSH WITH GRADE' for the trunk support; 'FINISH GRADE' for the ground surface; 'ROOT BALL WITH TOP HALF OF BURLAP TURNED BACK' for the root system; 'SHRUB PIT EQUAL TO 2X THE DIAMETER OF THE ROOT BALL' for the planting hole; 'SUBSOIL BROKEN WITH PICK' for the bottom layer; '3" MULCH' for the surface layer; 'BERM' for the raised edge; 'FINISH GRADE' for the ground surface; and 'PLANTING SOIL MIXTURE' for the soil in the pit. The right drawing, titled 'SHRUB DETAIL n.t.s.', shows a cross-section of a shrub root system. Labels include: '3" MULCH' for the surface layer; 'BERM' for the raised edge; 'FINISH GRADE' for the ground surface; 'PLANTING SOIL MIXTURE' for the soil in the pit; 'ROOT BALL WITH TOP HALF OF BURLAP TURNED BACK' for the root system; 'SHRUB PIT EQUAL TO 2X THE DIAMETER OF THE ROOT BALL' for the planting hole; 'SUBSOIL BROKEN WITH PICK' for the bottom layer; and 'FINISH GRADE' for the ground surface.



Case SP 2020-08



Raising Cane's
Restaurant #0611
5036 Rufe Snow Dr.
North Richland Hills, TX 76180
Prototype 4E-AV Scheme A

Designer's Information:

CSRS

6767 Perkins Road, Suite 200
Baton Rouge, Louisiana 70801
Telephone: 225 769-0546
www.csrinc.com

Prototype Phase: Prototype AV 2020.2.0 Release

Project Issue Date: 12-08-20

SRS Project Manager: [

PERMIT SET
(City Case No: SP 2020-08)

CHRIS J. PELLEGRIN

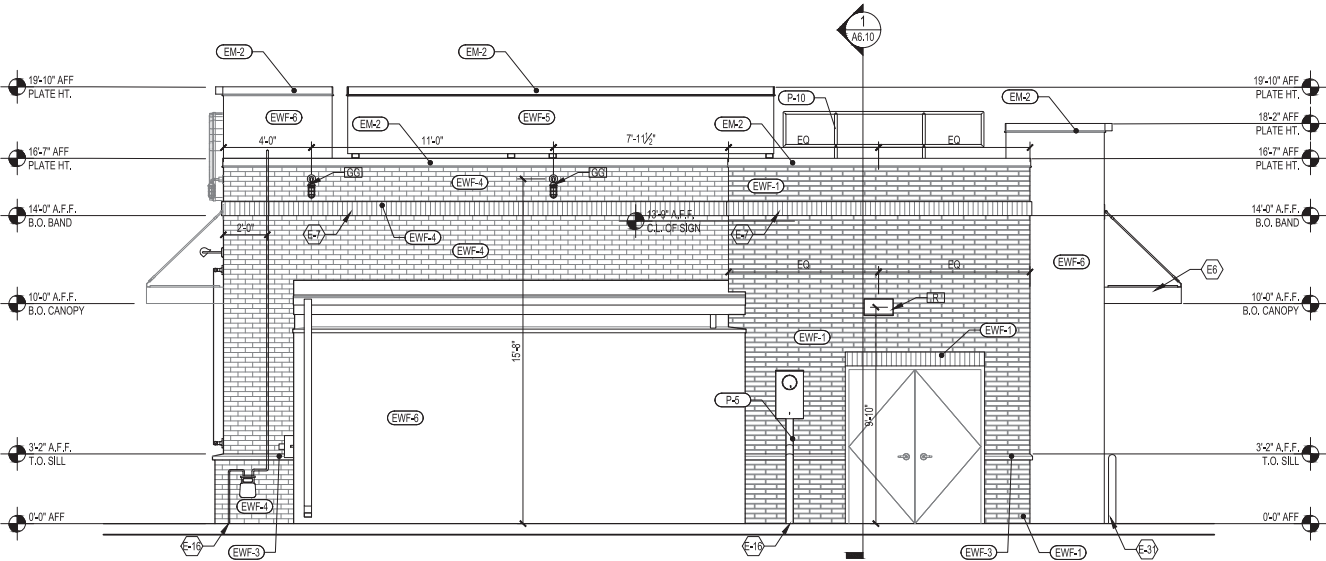
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Sheet Title:

EXTERIOR KEYNOTE
ELEVATIONS

Sheet Number:

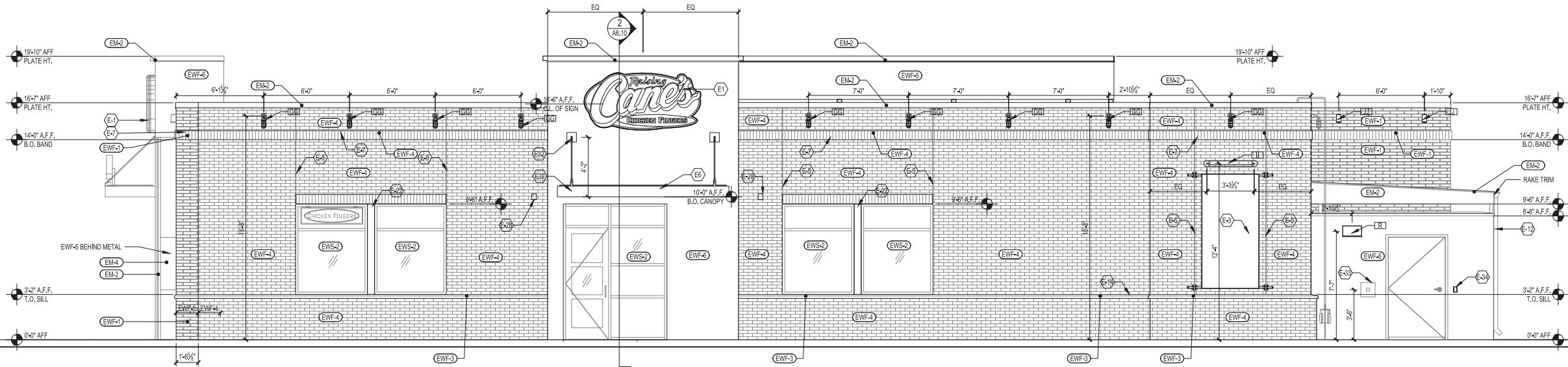
A4.10



01 REAR ELEVATION
1/4" = 1'-0"

SCHEDULE OF EXTERIOR MATERIALS

KEY	MATERIALS	MANUFACTURER	MODEL NO.	COLOR	FINISH	DESCRIPTION
EM-1	STANDING SEAM ROOF	BERRIDGE MANUFACTURING COMPANY	TEE-LOCK PANEL	MATTE BLACK	PRE-FINISHED KYNAR 500	GALVANIZED STEEL SHEET W/ KYNAR FINISH (24 GA.) STANDARD COLOR
EM-2	METAL CAP FLASHING	BERRIDGE MANUFACTURING COMPANY		MATTE BLACK	PRE-FINISHED KYNAR 500	GALVANIZED STEEL SHEET W/ KYNAR FINISH (24 GA.) STANDARD COLOR
EM-3	HOT ROLLED STEEL WITH CLEAR COAT FINISH	AGI	CUSTOM FABRICATED	RAW STEEL	CLEAR	HOT ROLLED STEEL WITH CLEAR COAT FINISH
EM-4	RECLAIMED CARHOOD PANELS	AGI	CUSTOM FABRICATED	RED - RECLAIMED	CLEAR	1" SIGN TO BE APPLIED OVER STUCCO WALL EWF-5
EM-5	BRICK VENEER	BELDEN BRICK	NORMAN STANDARD	MEDIUM RANGE IRON SPOT	SMOOTH	1/2" RUNNING BOND, REFER TO DETAIL. MORTAR: SOLOMAN COLORS, INC. 10X LIGHT BUFF, PROFILE: WEATHER-STRUCK JOINT ON EXTERIOR BRICK
EM-6	ELASTOMETRIC COATING	DRYVIT	"E"	SW 7669 SUMMIT GRAY	SANDPEBBLE "E"	APPLIED OVER PORTLAND CEMENT STUCCO AT EXTERIOR WALLS, APPLIED OVER MASONRY AT CORRAL & DUMPSTER
EM-7	EXTERIOR CAST STONE LEDGE	MARCSTONE		6443 - ARCHITECT'S GREY	SMOOTH	MORTAR: ARGOS MAGNOLIA MASONS MIX
EM-8	BRICK VENEER	BORAL	MODULAR	ALAMO	SACK RUB	MORTAR: LAFARGE IVORY BUFF, SACK RUB FINISH
EM-9	ELASTOMETRIC COATING	DRYVIT	"E"	#132 MOUTAIN FOG	SANDPEBBLE	APPLIED OVER PORTLAND CEMENT STUCCO EXTERIOR WALL, APPLIED OVER EIFS AT ROOF SCREEN,
EM-10	ELASTOMETRIC COATING	DRYVIT	"E"	#456 OYSTER SHELL	SANDPEBBLE	APPLIED OVER PORTLAND CEMENT STUCCO AT EXTERIOR WALLS,
EM-11	DRIVE THRU WINDOW	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE	
EM-12	ALUMINUM STOREFRONT	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE	REFER TO WINDOW SCHEDULE	



02 SIDE ENTRY ELEVATION
1/4" = 1'-0"

SYMBOL LEGEND

	WINDOW DESIGNATION
	KEY NOTE
	DOOR DESIGNATION
	ROOM NAME & NUMBER
	DETAIL OR SECTION DESIGNATION
	INTERIOR ELEVATION MARK
	EXTERIOR ELEVATION MARK
	FINISH TAG

KEYNOTES

E-1	SIGN, BY OWNER. PROVIDE BLOCKING AS REQ'D (4'-0" x 8'-0" OVAL)
E-2	FLAG, WHEN PERMITTED
E-3	WALL ART BY OWNER
E-4	CONTROL JOINT
E-5	PRE-FABRICATED METAL CANOPY, G.C. TO PERMIT SEPARATELY
E-6	8" ACCENT BAND
E-7	METAL, GUTTER & DOWNSPOUT EM-2, RE: A0.10 FOR CONTINUATION
E-12	CAST STONE SILL
E-14	UTILITY METERS & CONDUIT, PAINT TO MATCH ADJACENT CLADDING MATERIAL
E-22	BREAK METAL BETWEEN WINDOWS PRE-FINISHED TO MATCH STOREFRONT
E-28	EXTERIOR SPEAKERS - MOUNTED AT 10'-0"
E-31	4" BOLLARD W/ BLACK PLASTIC SLEEVE RE: 5/A0.20
E-32	2X WOOD BLOCKING REQUIRED IN WALL CAVITY, REFER TO WALL SECTIONS
E-33	DARPRO OUTLET AND SECURITY BOX.
E-34	ORIA 4-DIGIT KEY STORAGE BOX

GENERAL NOTES

1	SIGNAGE TO BE APPROVED UNDER SEPARATE FILING (DEFERRED SUBMITTAL).
2	CANOPIES AND AWNINGS ARE REQUESTED AS DEFERRED SUBMITTALS AS INDICATED ON SHEET POS. G.C. TO PERMIT CANOPIES AND AWNINGS USING MANUFACTURER SPECIFICATIONS AND SHOP DRAWINGS.
3	CONFIRM OUTDOOR SPEAKER LOCATIONS WITH I.T.
4	VERIFY ROOF FLAGS, LOGO SIGNS, PAINTED MURAL W/ SIGNAGE VENDOR.

SEALANT NOTES

1	PROVIDE SEALANT & BACKER RODS AT ALL DISSIMILAR MATERIALS.
2	MATCH FRAME COLOR AT ALL DOORS AND WINDOWS. MATCH ADJACENT WALL MATERIAL COLOR AT WALL PENETRATIONS AND CONSTRUCTION JOINTS; AT JOINT BETWEEN TWO DIFFERENT WALL MATERIALS, MATCH DARKER MATERIAL.



Restaurant Support Office
6800 Bishop Road, Plano, TX 75024
Tele: 972-769-3100 Fax: 972-769-3101

Store:

Raising Cane's
Restaurant #0611
5036 Rufe Snow Dr.
North Richland Hills, TX 76180
Prototype 4E-AV Scheme A

Designer's Information:

CSRS

6767 Perkins Road, Suite 200
Baton Rouge, Louisiana 70808
Telephone: 225 769-0546
www.csrsinc.com

Prototype Phase: Prototype AV 2020.2.0 Release

Project Issue Date: 12-08-2020

CSRS Project Manager: DP

PERMIT SET
(City Case No: SP 2020-08)

CHRIS J. PELLEGRIN



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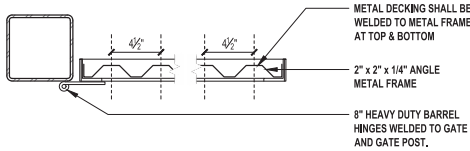
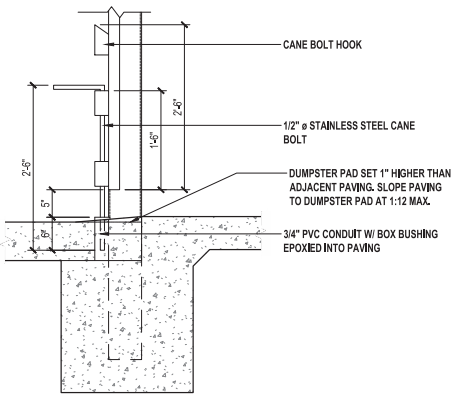
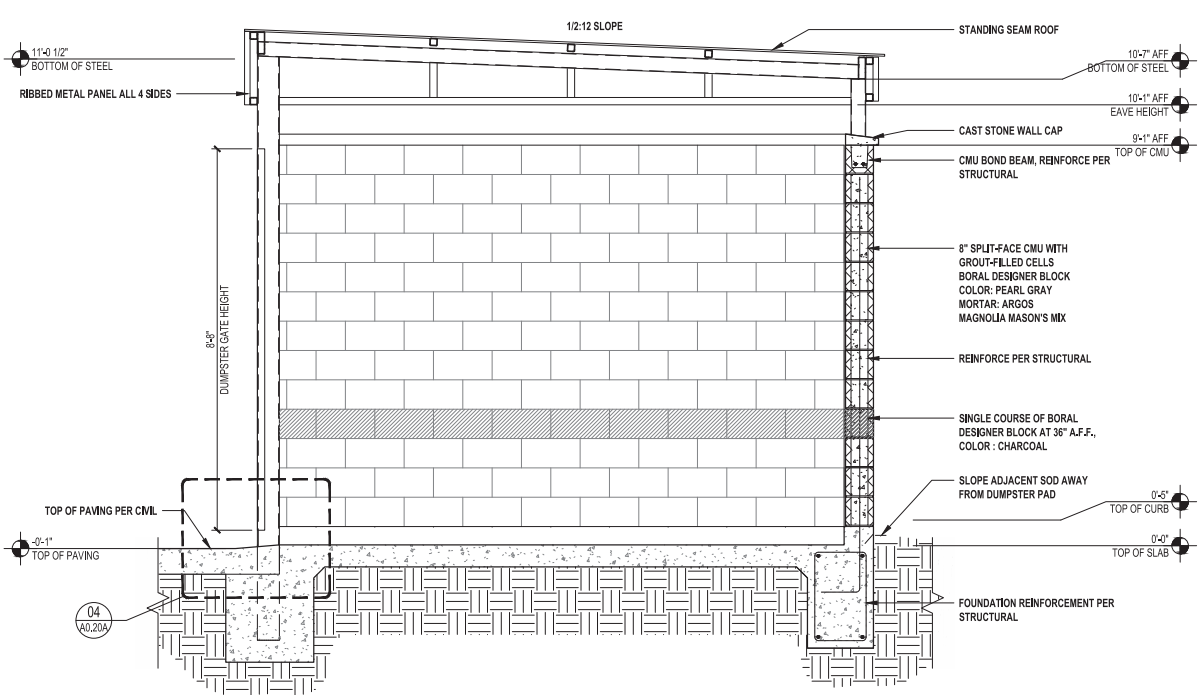
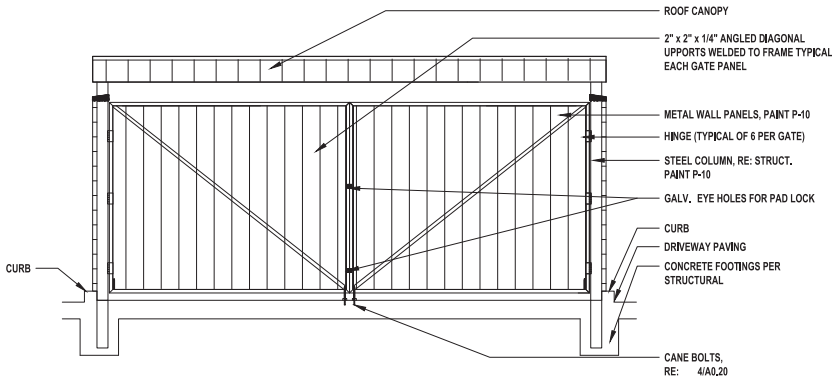
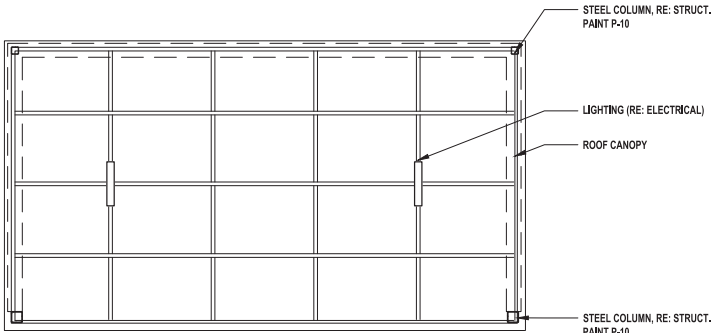
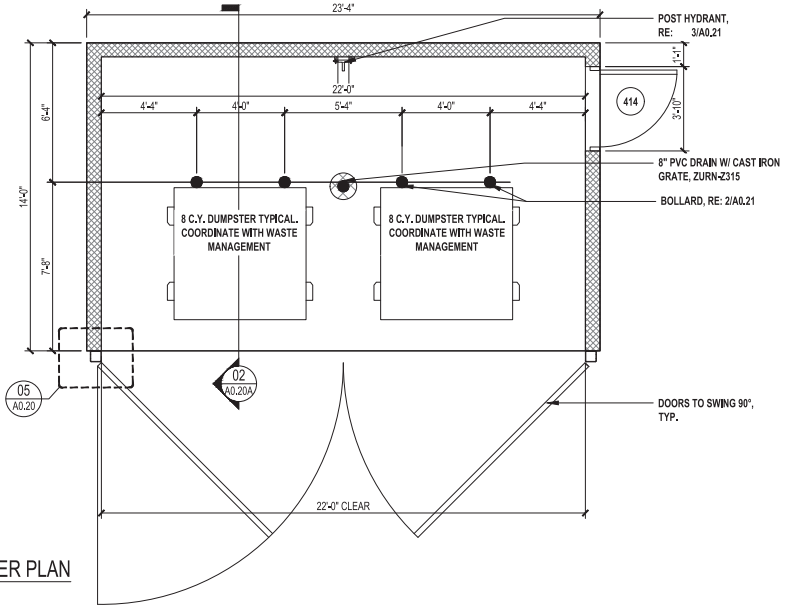
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Sheet Title:

EXTERIOR KEYNOTE
ELEVATIONS

Sheet Number:

A4.20



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CHRIS J. PELLEGRIN



Sheet Versions:

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Sheet Title:

DUMPSTER DETAILS

Sheet Number:

A0.20

07 NOT USED
3/4" = 1'-0"



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8417 Kelwood Avenue
Baton Rouge, Louisiana 70806
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TEXAS REGISTRATION NUMBER F-9267

Sheet Versions:

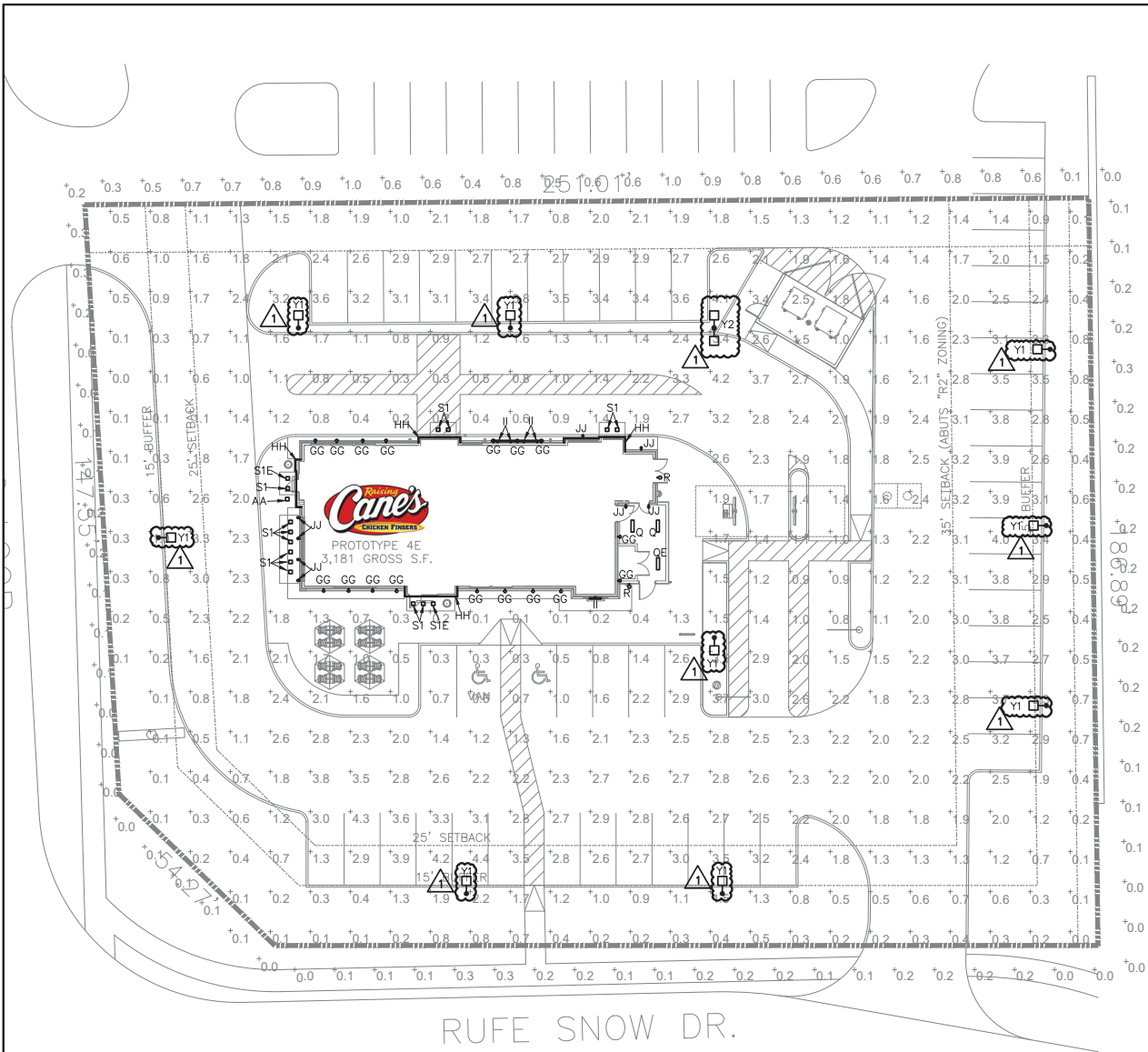
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Sheet Title:

Photometric Site
Plan

Sheet Number:

E1.1



1 PHOTOMETRIC SITE PLANS
1" = 20'-0"

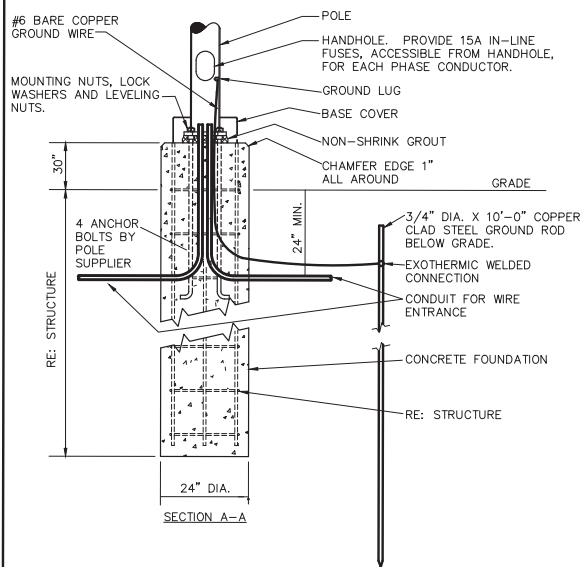
2 SITE LIGHTING PHOTOMETRIC DATA

ALL PHOTOMETRIC DATA IS TAKEN SHOWING HORIZONTAL FOOT CANDLES AT 3FT.

- MAX POLE HEIGHT FOR SITE: 20 FT
- AVERAGE FOOT CANDLES FOR SITE: 1.7FC
- MAXIMUM FOOT CANDLES FOR SITE: 4.4FC
- MAXIMUM FOOT CANDLES AT SOUTH PERIMETER: 0.2FC
- MAXIMUM FOOT CANDLES AT EASTERN PERIMETER: 1.0FC
- MAXIMUM FOOT CANDLES AT NORTH AND WEST PERIMETER: 0.2FC

3 LIGHTING FIXTURE SCHEDULE (EXTERIOR)

Q	MANUF/NUMBER: LITHONIA/DMW2-L24-3000LM-ACL-MD-MVOLT-GZ1-35K-80-MS10NW	DD	REMARKS: LED STRING LIGHTS FOR INSTALLATION AFTER LANDSCAPING HAS GROWN. DO NOT PROVIDE. THEY SHALL BE PROVIDED AT A LATER DATE BY LANDSCAPING TO BE PLACED IN THE PLANTERS AND TREES AROUND THE PREMISES. POWER VIA EXTERIOR RECEPTACLE CALLED OUT ON E2.1.
	VOLTAGE: 120		
	FINISH: WHITE		
	LAMP: QUANTITY: -		
	WATTS: 18		
	TYPE: LED		
REMARKS:	2'-0" ENCLOSED, GASKETED LED STRIP FIXTURE WITH REINFORCED FIBERGLASS HOUSING. FIXTURE SHALL BE LISTED FOR WET LOCATIONS. PROVIDE WITH WEATHER PROOF OCCUPANCY SENSOR.	GG	MANUF/NUMBER: BOCK/VWV5-G041/G-G0/LVX01-19W-30K-120
			VOLTAGE: 120
			FINISH: BLACK
			QUANTITY: 1
			WATTS: 8
			TYPE: LED
QE	MANUF/NUMBER: LITHONIA/DMW2-L24-3000LM-ACL-MD-MVOLT-GZ1-35K-80-PS1050-MS10NW		REMARKS: LED JELLY JAR LIGHTING FIXTURE. COORDINATE ELEVATION AND LOCATION WITH ARCHITECTURAL ELEVATIONS.
	VOLTAGE: 120		
	FINISH: WHITE		
	LAMP: QUANTITY: -		
	WATTS: 18		
	TYPE: LED		
REMARKS:	2'-0" ENCLOSED, GASKETED LED STRIP FIXTURE WITH REINFORCED FIBERGLASS HOUSING. PROVIDE BATTERY BACKUP TO ACTIVATE IN THE EVENT OF A POWER OUTAGE. FIXTURE SHALL BE LISTED FOR WET LOCATIONS. PROVIDE WITH WEATHER PROOF OCCUPANCY SENSOR.	HH	MANUF/NUMBER: CUSTOM LED COVE LIGHT PROVIDED BY AGI AND INSTALLED BY CONTRACTOR
			VOLTAGE: 120
			FINISH: BLACK
			QUANTITY: 1
			WATTS: 8
			TYPE: LED
R	MANUF/NUMBER: ATLAS/WLMFC43LED		REMARKS: LED WALL MOUNTED WRAP LIGHTS TO BE MOUNTED IN ARCHITECTURAL ELEMENT AT THE ROOF PARAPITS. PROVIDE ALL NECESSARY PERIPHERALS TO HAVE A COMPLETE AND WORKING SYSTEM. PROVIDE DRIVERS IN THE CLOSEST ACCESSIBLE CEILING SPACE OR DIRECTLY NEXT TO AN ACCESS HATCH. DO NOT MOUNT DRIVERS EXPOSED.
	VOLTAGE: 120		
	FINISH: BLACK		
	LAMP: QUANTITY: 1		
	WATTS: 34		
	TYPE: LED		
REMARKS:	LED WALL PACK WITH DIE CAST ALUMINUM HOUSING, SPECULAR REFLECTOR AND BOROSILICATE GLASS REFRACTOR. FIXTURE SHALL BE LISTED FOR WET LOCATIONS.	II (BLUE DOG)	MANUF/NUMBER: SPI LIGHTING/SEW-12146-3FT-L43W-AN08-120-277V-30K-3FT-RUN-OAP 18'-DF-MCS
			VOLTAGE: 120
			FINISH: BLACK
			QUANTITY: 1
			WATTS: 18
			TYPE: LED
S1	MANUF/NUMBER: ACUTY BRANDS/LDN6SQ27/15MVOLT/ELHSGU		REMARKS: LED WALL MOUNTED SIGN LIGHTER. COORDINATE ELEVATION AND LOCATION WITH ARCHITECTURAL ELEVATIONS. PROVIDE THIS FOR THE BLUE DOG MURAL.
	REMARKS: SUPPLIED WITH AWNING. CONTRACTOR SHALL CONNECT TO CIRCUIT INDICATED ON PLAN.		
S1E	MANUF/NUMBER: ACUTY BRANDS/LDN6SQ27/15MVOLT/ELHSG		REMARKS: LED WALL MOUNTED SIGN LIGHTER. COORDINATE ELEVATION AND LOCATION WITH ARCHITECTURAL ELEVATIONS. PROVIDE THIS FOR THE BLUE DOG MURAL.
	REMARKS: SUPPLIED WITH AWNING. CONTRACTOR SHALL CONNECT TO CIRCUIT INDICATED ON PLAN, AND PROVIDE A BATTERY BACKUP MOUNTED ABOVE THE TRUSSES ON THE INTERIOR TO POWER THE LIGHT IN THE CASE OF A POWER OUTAGE.	II (FLAMING ARROW AND MURAL)	MANUF/NUMBER: SPI LIGHTING/SEW-12146-3FT-L43W-AN08-120-277V-30K-3FT-RUN-OAL 14'-DF-MCS
			VOLTAGE: 120
			FINISH: BLACK
			QUANTITY: 1
			WATTS: 18
			TYPE: LED
X	MANUF/NUMBER: WAC LIGHTING/FM-2605-BK		REMARKS: LED WALL MOUNTED SIGN LIGHTER. COORDINATE ELEVATION AND LOCATION WITH ARCHITECTURAL ELEVATIONS. PROVIDE THIS FOR THE FLAMING ARROW.
	VOLTAGE: 120		
	FINISH: BLACK		
	LAMP: QUANTITY: 1		
	WATTS: 18		
	TYPE: LED		
REMARKS:	3" LED PENDANT MOUNTED CYLINDER WITH CLEAR SATIN REFLECTOR AND BLACK HOUSING. SHALL BE ENERGY STAR RATED, AND HAVE 0-10V DIMMING. COLOR TEMPERATURE SHALL BE 3000K.	JJ	MANUF/NUMBER: MODERN FORMS/GH-WS-W70612
			VOLTAGE: 120
			FINISH: BLACK
			QUANTITY: 1
			WATTS: 5
			TYPE: LED
			REMARKS: LED WALL MOUNTED ACCENT LIGHT. COORDINATE ELEVATION AND LOCATION WITH ARCHITECTURAL ELEVATIONS.
Y1	MANUF/NUMBER: LITHONIA/RSX1-LED-P2-50K-R3-HS		
	VOLTAGE: 208		
	FINISH: DARK BRONZE		
	LAMP: QUANTITY: 1		
	WATTS: 75		
	TYPE: LED		
REMARKS:	LED POLE MOUNTED FIXTURE WITH SEGMENTED ALUMINUM OPTICS AND HOUSE SIDE SHIELD. 17' TALL SQUARE STRAIGHT STEEL POLE, LITHONIA SSS-17-5G-DM19-DDB		
Y2	MANUF/NUMBER: LITHONIA/RSX1-LED-P2-50K-R3/DOUBLE HEADED		
	VOLTAGE: 208		
	FINISH: DARK BRONZE		
	LAMP: QUANTITY: 1		
	WATTS: 150		
	TYPE: LED		
REMARKS:	[2] LED POLE MOUNTED FIXTURE WITH SEGMENTED ALUMINUM OPTICS MOUNTED AT 180 DEGREE APART. 17' TALL SQUARE STRAIGHT STEEL POLE, LITHONIA SSS-17-5G-DM19-DDB		
AA	MANUF/NUMBER: PERFORMANCE LIGHTING/75460-NS		
	VOLTAGE: 120		
	FINISH: BLACK		
	LAMP: QUANTITY: 1		
	WATTS: 24		
	TYPE: LED		
REMARKS:	GROUND MOUNTED LIGHTING FIXTURE. PROVIDE WITH NON-SLIP LENS. REFER TO DETAIL 2 ON E3.2 FOR CONCRETE MOUNTING.		



4 POLE FOUNDATION DETAIL FIXTURE TYPE "Y"
N.T.S.