



PUBLIC HEARING NOTICE

CASE: SRB 2021-01

«OWNER»
«MAILING_ADDRESS»
«CITY_STATE» «ZIP»

You are receiving this notice because you are a property owner of record within 200 feet of the property requesting a **sign variance** as shown on the attached map.

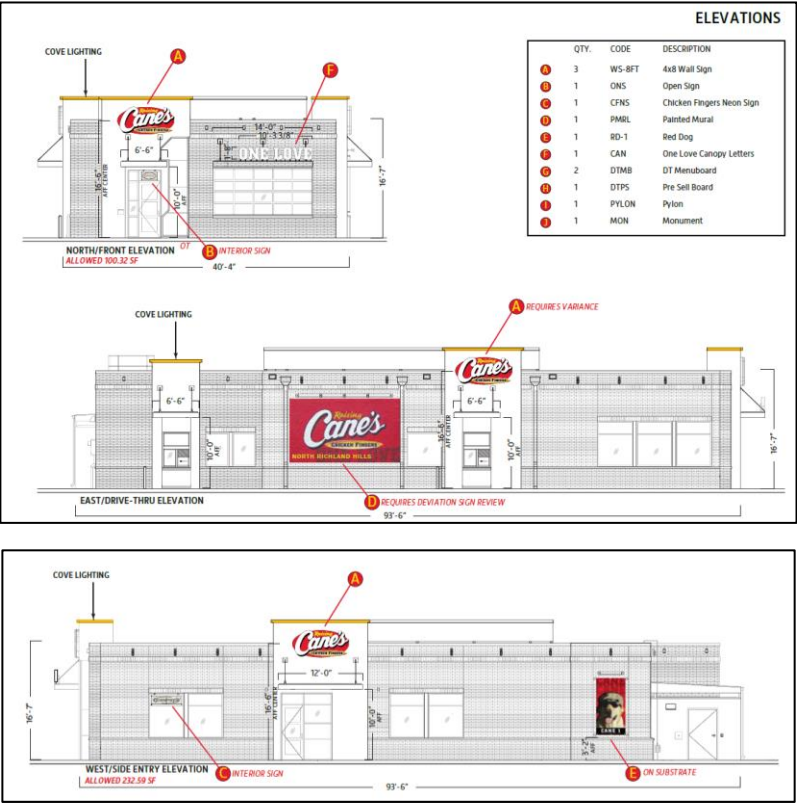
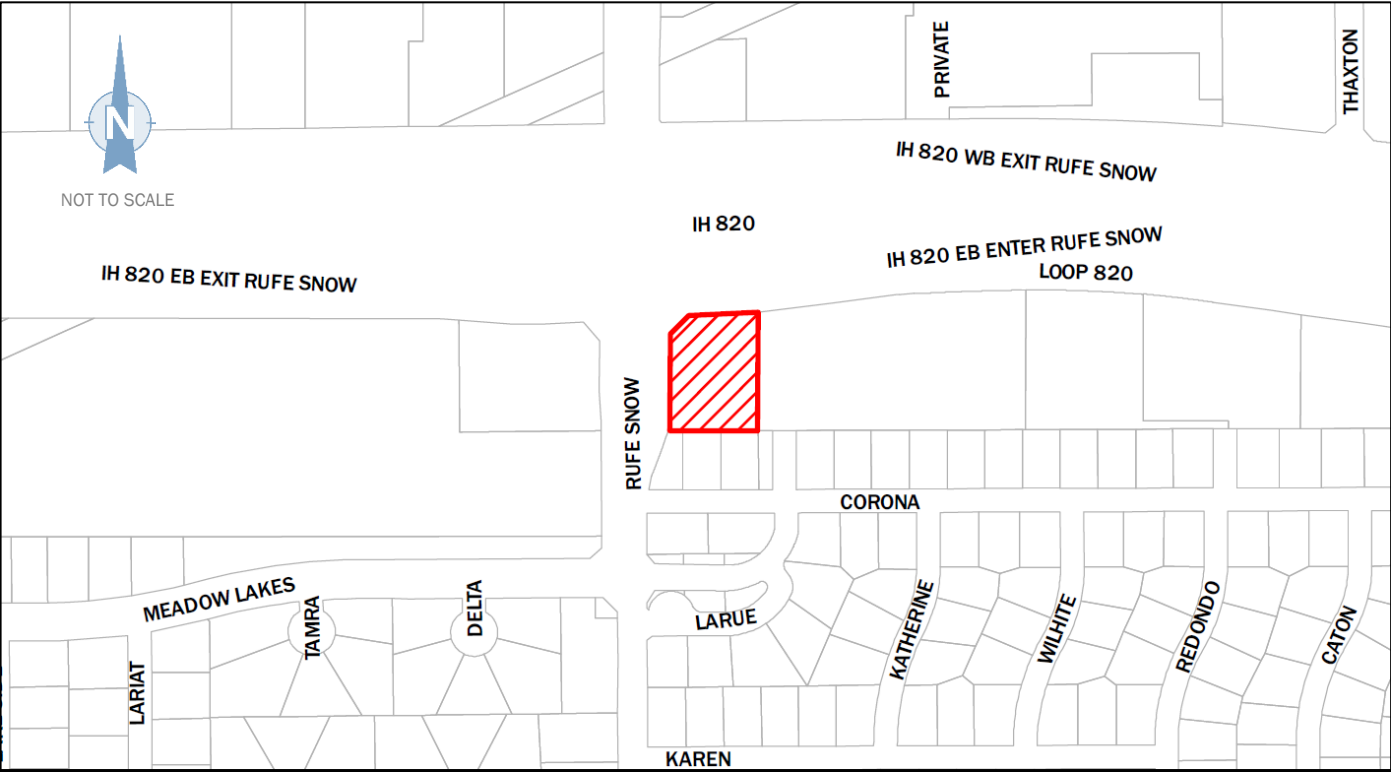
APPLICANT	Barnett Signs
LOCATION	5036 Rufe Snow Drive
REQUEST	Public hearing and consideration of a request from Barnett Signs for a variance to Chapter 106 (Signs) of the North Richland Hills Code of Ordinances at 5036 Rufe Snow Drive, being 1.04 acres described as Lot 2R, Block 25, Snow Heights Addition.
DESCRIPTION	Variance request for Raising Cane's restaurant site to allow 1) wall signs on three sides of the building, and 2) wall signs on the east side of the building to exceed 15% of the habitable wall area.
PUBLIC HEARING DATE	Sign Review Board 7:00 PM Monday, June 14, 2021
MEETING LOCATION	City Council Chamber - Third Floor 4301 City Point Drive North Richland Hills, Texas

CORONAVIRUS INFORMATION

Enhanced sanitation protocols, social distancing, and wearing of face coverings are in effect for all public meetings.

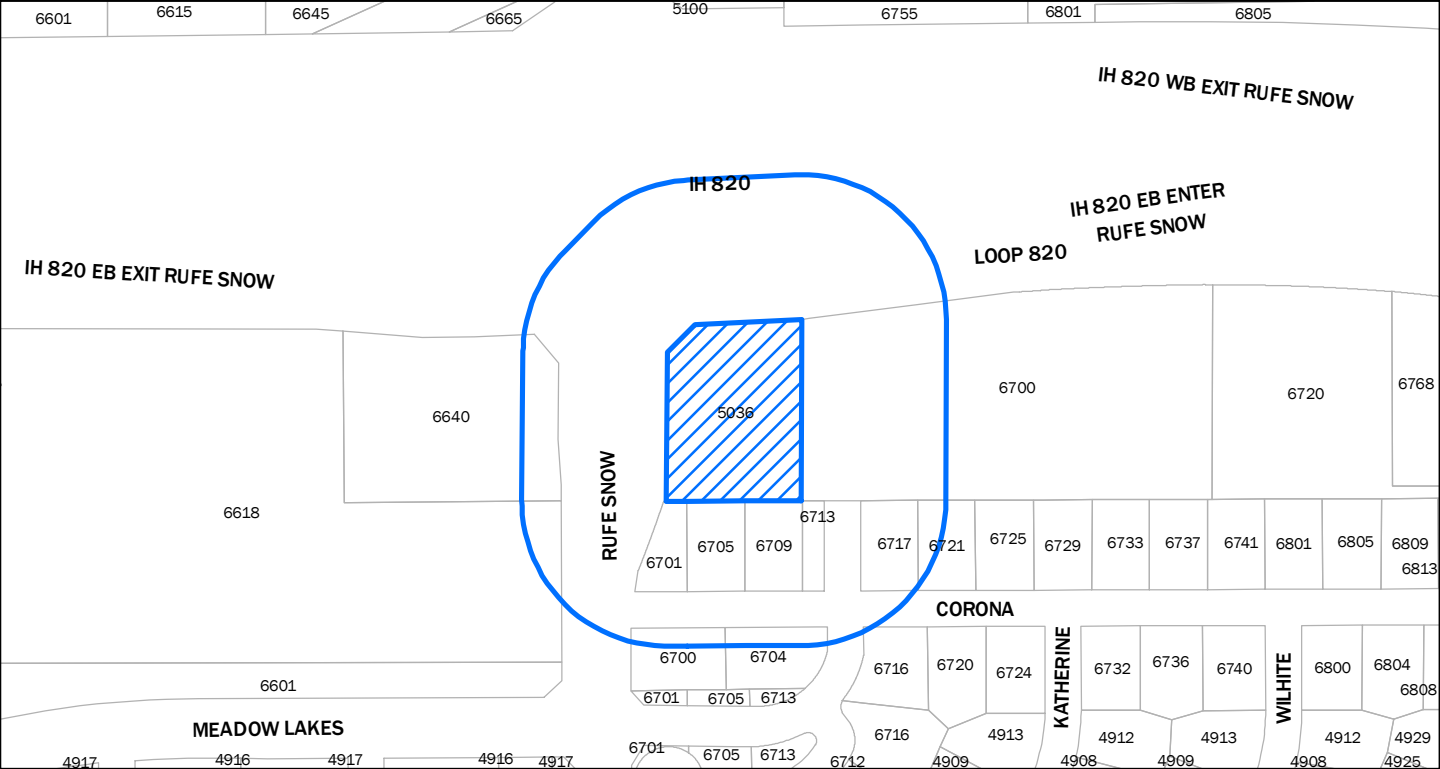
People interested in submitting letters of support or opposition are encouraged to contact the Planning & Zoning Department for additional information. Letters must be received by the close of the Sign Review Board public hearing. Because changes are made to requests during the public hearing process, you are encouraged to follow the request through to final action by Sign Review Board.

FOR MORE INFORMATION, VISIT NRHTX.COM/MAP



NOTIFIED PROPERTY OWNERS
SRC 2021-01

OWNER	MAILING ADDRESS	CITY STATE	ZIP
CHAMBLEE, VIRGINIA M	6700 CORONA DR	NORTH RICHLAND HILLS TX	76180
DUNCAN, STEVEN L	6721 CORONA DR	NORTH RICHLAND HILLS TX	76180
LOET PROPERTIES LLC	PO BOX 23516	PROVIDENCE RI	02903
PACK PROPERTIES	PO BOX 110098	CARROLLTON TX	75011
SOUTH RIVER RANCH NORTH RICHLA	87 SANDERLING HILL	WATSONVILLE CA	95076
SUTTON, JEFFREY G	6716 CORONA DR	NORTH RICHLAND HILLS TX	76180
VISION PATNERS LLC	150 N MARKET ST	WICHITA KS	67202



Prepared by Planning 05/19/2021

DISCLAIMER: This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

