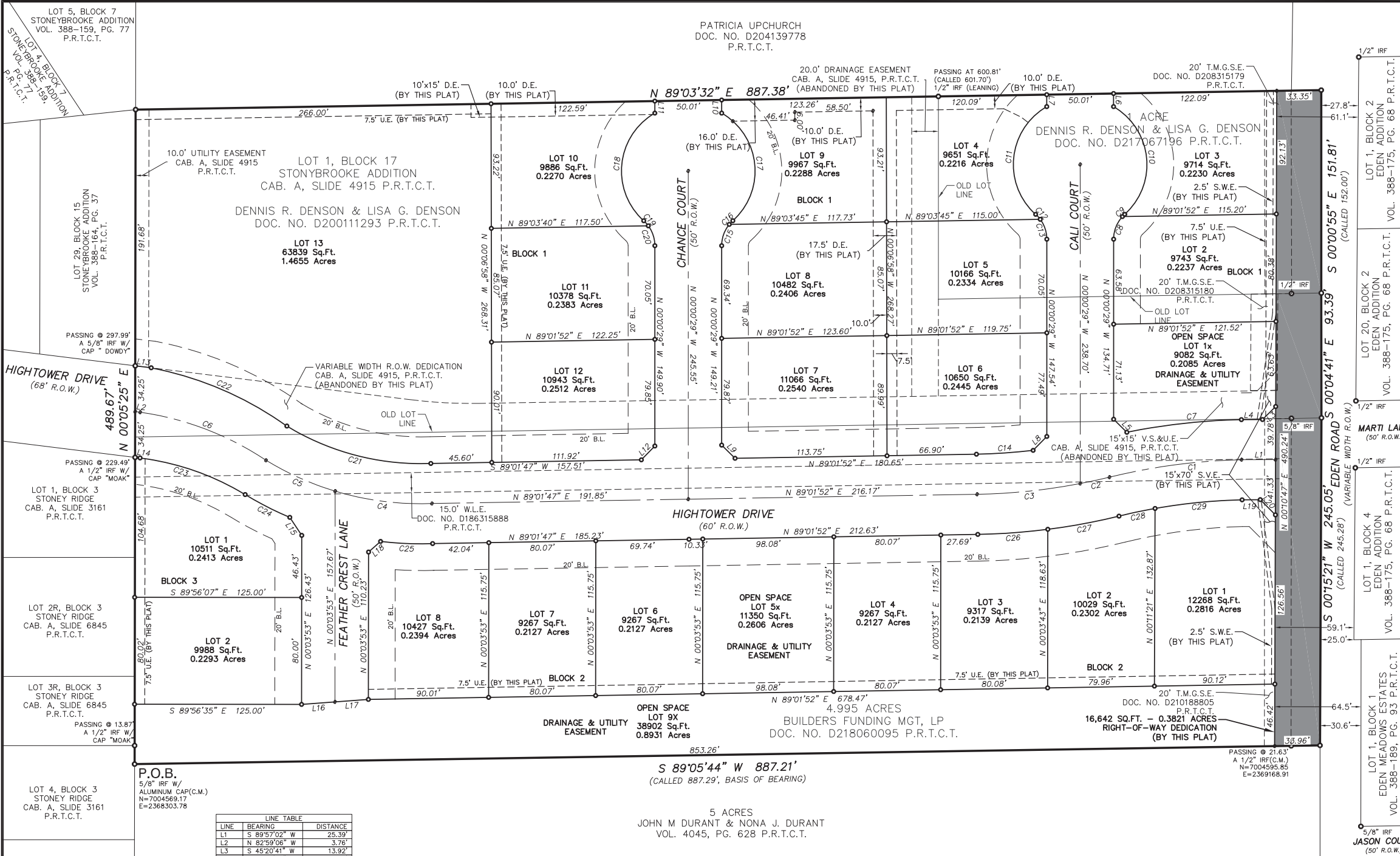


Aug 06, 2019 - 11:55am
S:\034-246 Eden Estates - NRH\30-Plat\SPRY-EdenEstates-Plat.dwg



VICINITY MAP
NOT TO SCALE

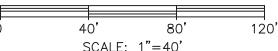
SITE

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 89°57'02" W	25.39'
L2	N 82°59'06" W	3.76'
L3	S 45°20'41" W	13.92'
L4	S 89°57'02" W	15.81'
L5	N 45°29'18" W	13.86'
L6	N 00°00'29" W	9.79'
L7	S 00°00'29" E	8.97'
L8	S 44°30'42" W	14.50'
L9	N 82°59'06" W	12.02'
L10	S 82°59'06" E	3.76'
L11	S 33°29'23" E	16.17'
L12	N 85°42'53" E	25.07'
L13	N 85°42'53" E	25.07'
L14	N 48°30'09" E	12.01'
L15	N 89°57'02" E	13.67'
L16	S 44°48'27" E	15.95'

LEGEND
● BOUNDARY CORNER NOT TO SCALE
● LOT CORNER
● EASEMENT CORNER

ABBREVIATIONS

P.R.T.C.T. PUBLIC RECORDS OF TARRANT COUNTY, TEXAS
VOL. VOLUME
PG. PAGE
CAB. CABINET
DOC. NO. DOCUMENT NUMBER
C.M. CONTROLLING MONUMENT
IRF IRON ROD FOUND
R.O.W. RIGHT-OF-WAY
CONC. CONCRETE
S.V.E. SIGHT VISIBILITY EASEMENT
S.W.E. SCREEN WALL EASEMENT
T.M.G.S.E. TEXAS MIDSTREAM GAS SERVICES EASEMENT
Graphic Scale in Feet



PATRICIA UPCHURCH
DOC. NO. D204139778
P.R.T.C.T.

5 ACRES
JOHN M DURANT & NONA J. DURANT
VOL. 4045, PG. 628 P.R.T.C.T.

CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	458.77	99.95	99.75	S 82°28'19" W
C2	448.00	22.40	22.40	S 77°39'47" W
C3	448.00	77.69	77.59	S 84°03'48" W
C4	222.54	73.34	73.01	N 82°43'30" W
C5	222.54	56.84	56.68	N 65°58'04" W
C6	227.50	101.67	100.82	N 69°05'25" W
C7	485.66	86.34	86.23	S 83°41'25" W
C8	25.00	18.58	18.15	N 21°16'54" E
C9	25.00	2.45	2.45	N 45°22'36" E
C10	50.00	94.41	81.00	N 05°54'48" W
C11	50.00	94.41	81.00	S 05°53'50" W
C12	25.00	5.09	5.08	S 42°21'56" E
C13	25.00	15.94	15.67	S 18°16'15" E
C14	418.00	42.57	42.55	S 86°06'50" W
C15	25.00	17.23	16.89	N 19°43'59" E
C16	25.00	3.80	3.80	N 43°49'41" E
C17	50.00	94.41	81.00	N 05°54'48" W
C18	50.00	94.41	81.00	S 05°53'50" W
C19	25.00	5.09	5.08	S 42°21'56" E
C20	25.00	15.94	15.67	S 18°16'15" E
C21	192.54	112.93	111.32	N 75°27'12" W
C22	257.50	111.37	110.51	N 66°45'36" W
C23	197.50	83.88	83.25	S 70°48'05" E
C24	252.54	37.57	37.54	S 62°54'47" E
C25	252.54	39.59	39.55	S 87°39'12" E
C26	478.00	52.54	52.52	N 85°52'55" E
C27	478.00	54.29	54.25	N 73°28'54" E
C28	428.77	27.55	27.55	N 78°04'17" E
C29	428.77	65.54	65.48	N 84°17'29" E

NOTES

- This Survey is issued without the benefit of a current title report and is subject to revision upon receipt thereof. Surveyor has done no additional research for possible easements, restrictions or covenants which may affect this property.
- All bearings shown hereon are based on the south line of the 4.995 acre tract described in the deed to Builders Funding MGT, LP, recorded in Document Number D218060095 in the Public Records of Tarrant County, Texas.
- The Surveyor has not physically located any underground utilities and/or improvements which may be located under or near the subject property.
- According to the Flood Insurance Rate Map No. 48439C0090 K, published by the Federal Emergency Management Agency, dated: September 25, 2009, the surveyed property shown hereon does not lie within any special flood hazard area inundated by the 100-year flood.
- Selling a portion of this addition by metes and bounds is a violation of the city Subdivision Ordinance and State platting statutes and is subject to fines and withholding of utilities and building permits.
- Unless otherwise noted, all boundary and/or lot corners for the subject property shown hereon are 1/2" iron rods set with a cap stamped "SPRY 5647".
- This plat does not remove any existing covenants or restrictions, if any, on the property.
- Lots designated with "x" suffix are hereby dedicated as Open Space Lots. No habitable buildings shall be constructed upon these lots. All Open Space Lots shall be maintained by the HOA.
- No above ground utility appurtenances allowed in the fronts of lots.
- Driveway access is not permitted on Hightower Drive for Lots 6, 7, and 12, Block 1

WHEREAS the City Council of North Richland Hills, Texas, voted affirmatively on this _____ day _____, _____ to approve this Plat for filing of record.

Mayor, City of North Richland Hills

Attest: City Secretary

WHEREAS the PLANNING AND ZONING COMMISSION of the City of North Richland Hills, voted affirmatively on this _____ day _____, _____ to recommend approval of this Plat

Chairman, Planning and Zoning Commission

Attest: Secretary, Planning and Zoning Commission

OWNER'S DEDICATION
STATE OF TEXAS
COUNTY OF TARRANT

WHEREAS Builders Funding MGT, LP and Dennis & Lisa Denson, are the owners of all that certain 9.982 acres of land, which is all of Lot 1, Block 17, Stonybrooke Addition, recorded in Cabinet A, Slide 4915, recorded in the Public Records of Tarrant County, Texas (P.R.T.C.T.), a 1 acre tract, recorded in Document Number D217067196, P.R.T.C.T., and a 4.995 acre tract recorded in Document Number D218060095, P.R.T.C.T., in the J.B. Edens Survey, A-499, City of North Richland Hills, Tarrant County, Texas and more particularly described by metes and bounds as follows: (All bearings shown hereon are based on the south line of the said 4.995 acre tract)

BEGINNING at a 5/8" iron rod with an aluminum cap found for the southwest corner of the herein described tract, common to the southwest corner of said 4.995 acre tract, in the east line of Block 3, Stony Ridge, recorded in Cabinet A, Slide 3161, P.R.T.C.T.;

THENCE North 00° 05' 25" East passing at a distance of 13.87' a 1/2" iron rod with a cap stamped "MOAK" found for the northeast corner of Lot 4, of said Block 3, Stony Ridge, then passing at a distance of 229.49' a 1/2" iron rod with a cap stamped "MOAK" found for the northeast corner of Lot 1, of said Block 3, Stony Ridge, in the south right-of-way line of Hightower Drive (68' right-of-way), then passing at a distance of 297.99' a 5/8" iron rod with a cap stamped "DOWDY" found for the southeast corner of Lot 29, Block 15, Stonybrooke Addition, recorded in Volume 388-164, Page 37, P.R.T.C.T., in the north right-of-way line of said Hightower Drive, continuing for a total distance of 489.67', to the northwest corner of the herein described tract;

THENCE North 89° 03' 32" East - 887.38' to the northeast corner of the herein described tract, common to the northeast corner of said 1 acre tract, in the centerline of Eden Road;

THENCE along the centerline of said Eden Road the following courses:

South 00° 00' 55" East - 151.81' (called 152.00') to the southeast corner of said 1 acre tract;

South 00° 04' 41" East - 93.39' to the northeast corner of said 4.995 acre tract;

South 00° 15' 21" West - 245.05' (called 245.28') to the southeast corner of the here described tract, common to the southeast corner of said 4.995 acre tract and a 5 acre tract conveyed to John & Nona Durant, recorded in Volume 4045, Page 628, P.R.T.C.T.;

THENCE South 89° 05' 44" West passing at a distance of 21.63' a 1/2" iron rod found in the west right-of-way line of said Edne Road, continuing for a total distance of 887.21 (called 887.29') to the POINT OF BEGINNING and containing 9.982 acres of land.

NOW THEREFORE, KNOW ALL PERSONS BY THESE PRESENTS:

THAT, Building Funding MGT, LP and Dennis & Lisa Denson, does hereby adopt this plat designating the herein before described real property as **Lots 1x & 2-13, Block 1, Lots 1-4, 5x, 6-8, & 9x, Block 2, Lots 1-2, Block 3, Eden Estates**, an addition to the City of North Richland Hills, Tarrant County, Texas, and do hereby dedicate to the publics' use the streets, rights-of-way, and alleys, and any other public areas shown on this plat.

Witness our hands this _____ day of _____

BUILDERS FUNDING MGT, LP PRINTED NAME & TITLE

Before me, the undersigned authority, a Notary Public in and for the said County and State, on this day personally appeared _____ known to me to be the persons whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same for the purposes and considerations expressed herein.

Given under my hand and seal of office, this _____ day of _____

My Printed Name Notary Stamp:

My Commission Expires

Witness our hands this _____ day of _____

Dennis Denson Lisa Denson

NOTARY CERTIFICATE
STATE OF TEXAS
COUNTY OF TARRANT

Before me, the undersigned authority, a Notary Public in and for the said County and State, on this day personally appeared _____ known to me to be the persons whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same for the purposes and considerations expressed herein.

Given under my hand and seal of office, this _____ day of _____

My Printed Name Notary Stamp:

My Commission Expires
SURVEYOR CERTIFICATE

That I, David Carlton Lewis, a Registered Professional Land Surveyor licensed in the State of Texas, do hereby certify that I have prepared this plat from the ground survey of the land and the monuments shown hereon were found and/or placed under my personal supervision and in accordance with the Platting Rules and Regulations of the City Plan Commission of the City of North Richland Hills, Texas.

This document shall not be recorded for any purpose. This drawing shall be used for

REVIEW PURPOSES ONLY

David Carlton Lewis
R.P.L.S. No. 5647

Date: August 6, 2019

David Carlton Lewis, R.P.L.S.
Texas Registration No. 5647
Spry Surveyors, LLC
8241 Mid-Cities Blvd Ste 102
North Richland Hills, TX 76182



PLAT PURPOSE:
The purpose of this plat is to create a 22 lot residential subdivision.

A FINAL PLAT OF
LOTS 1x & 2-13, BLOCK 1, LOTS 1-4, 5x, 6-8, & 9x, BLOCK 2,
& LOTS 1-2, BLOCK 3

EDEN ESTATES

AN ADDITION TO THE CITY OF NORTH RICHLAND HILLS, BEING A REPLAT OF LOT 1, BLOCK 17, STONYBROOKE ADDITION, AND A PLAT OF A 1 ACRE TRACT & 4.995 ACRE TRACT, WHICH IS 9.982 ACRES IN THE J.B. EDENS SURVEY, A-499 CITY OF NORTH RICHLAND HILLS, TARRANT COUNTY, TEXAS

SURVEYOR:

Spry Surveyors, LLC
8241 Mid-Cities Blvd., Ste.102
North Richland Hills, TX 76182
Phone: 817-776-4049
Firm Reg. No. 10112000

ENGINEER:

Hamilton Duffy, P.C.
E.S.&C.M., Inc.
8241 Mid-Cities Blvd., Ste.100
North Richland Hills, TX 76182
Phone: 817-268-0408

OWNER:

Builders Funding MGT LP
Brent Turner
6900 Reverchon Court
Colleyville, TX 76034
Phone: 817-253-2601

OWNER:

Dennis & Lisa Denson
8751 Hightower Drive
North Richland Hills, TX 76182
Phone: 817-235-5771

CITY CASE NO.: FP02019-05
SPRY PROJECT NO. 034-246-30
DATE: APRIL 2019