



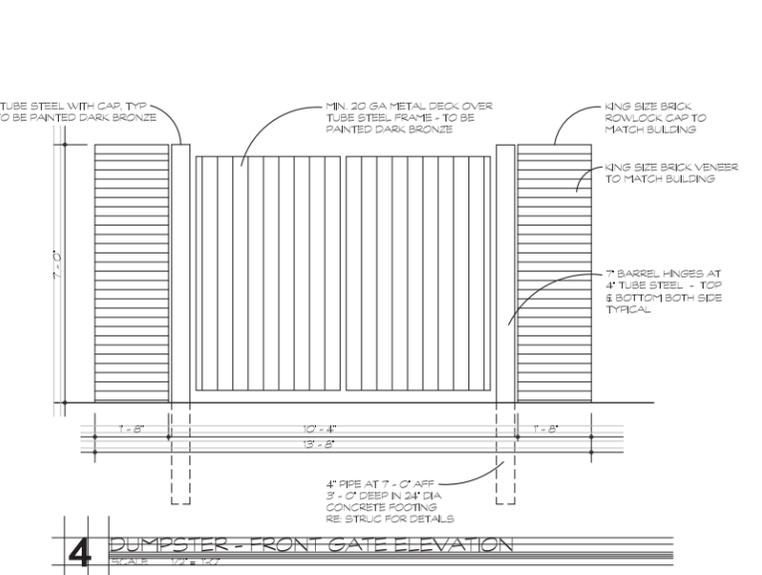
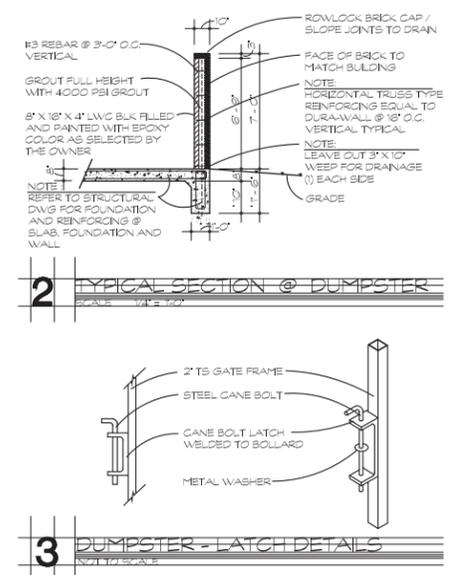
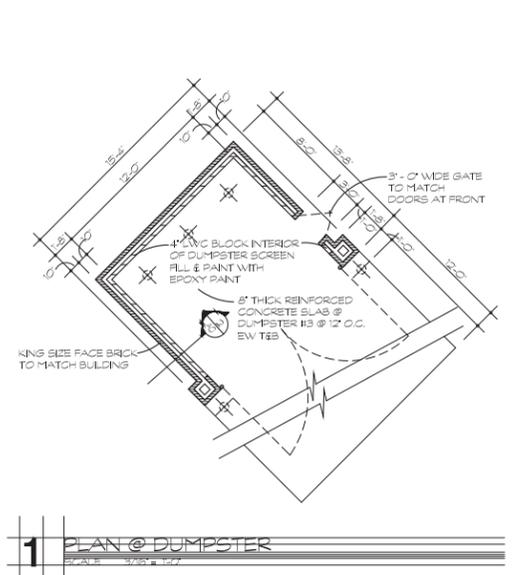
A NEW ELEVATED BUILDING OVER PARKING FOR :

METCON INC.

**6428 DAVIS BOULEVARD
NORTH RICHLAND HILLS, TEXAS**

CITY OF NORTH RICHLAND HILLS CASE No. SDP 2019-01

DRAWING DATE : 02/28/2019

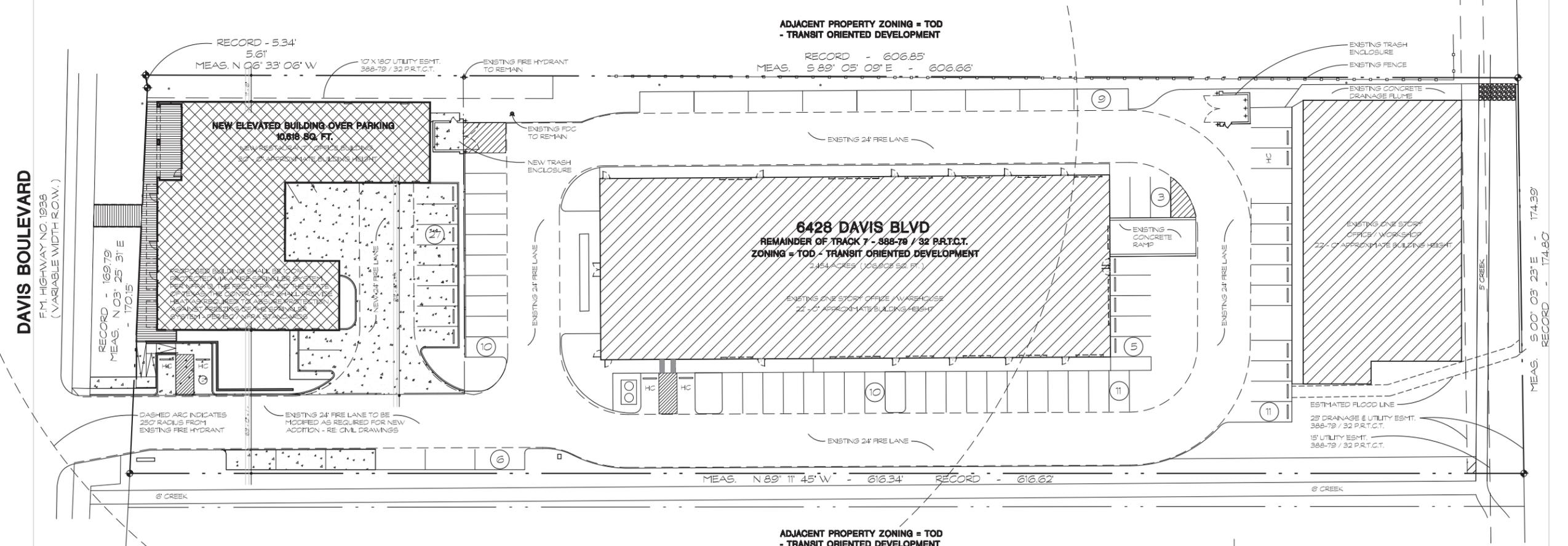


LOT COVERAGE:
 LOT SIZE: APPROX. 106,905 SF
 BUILDING FOOTPRINT: 35,155 SF
 PERCENTAGE OF LOT COVERED BY BUILDINGS: APPROX. 32.9 PERCENT

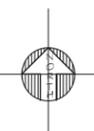
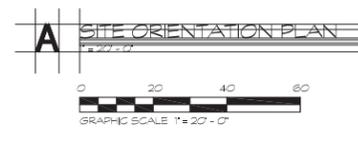
LANDSCAPE / GREEN AREA COVERAGE:
 LOT SIZE: APPROX. 106,905 SF
 LANDSCAPED AREA: 21,703 SF
 PERCENTAGE OF LANDSCAPING: APPROX. 20.3 PERCENT

PARKING RECAP:
 THIS PROPERTY SHALL FOLLOW THE PARKING PROVISIONS OF SECTION 118-470 (C) OF THE TOWN CENTER ZONING DISTRICT, INCLUDING THE HOURLY ACCUMULATION OF PARKED VEHICLES BY PERCENTAGE OF PEAK HOUR.

TOTAL PROVIDED:
 92 SPACES (5 HC)



DAVIS BOULEVARD
 F.M. HIGHWAY NO. 1938
 (VARIABLE WIDTH R.O.W.)



CITY OF NORTH RICHLAND HILLS CASE No. SDP 2019-01
SITE ORIENTATION PLAN

PREPARED FOR:
NETCON INC.
 8408 DAVIS BOULEVARD
 NORTH RICHLAND HILLS, TEXAS

FOR: **REVEST, LLC.**
 8800 KOPPEL DR.
 NORTH RICHLAND HILLS, TEXAS 75080
 PH: 817-636-8884 FX: 817-636-8807

PROJECT NUMBER:
A1A

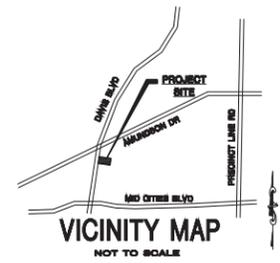
1 OF 1

MINIMUM PARKING COUNT WEEKDAY											
USE	OFFICE		FLEX OFFICE / WAREHOUSE		RETAIL		GYM / FIT. CENTER		RESTAURANT		TOTAL
GROSS FLOOR AREA	4,674 S.F.		20,350 S.F.		XXXX S.F.		6,000 S.F.		5,600 S.F.		36,624 S.F.
PARKING RATIO	300		400		250		400		150		
TIME OF DAY	%	# OF SPACES	%	# OF SPACES	%	# OF SPACES	%	# OF SPACES	%	# OF SPACES	# OF SPACES
6:00 AM	3%	0	3%	2	0%	--	30%	5	0%	0	7
7:00 AM	20%	3	35%	18	8%	--	35%	5	2%	1	27
8:00 AM	63%	10	75%	38	18%	--	40%	6	5%	2	56
9:00 AM	93%	14	95%	48	42%	--	30%	5	10%	4	71
10:00 AM	100%	16	100%	51	68%	--	15%	2	20%	7	76
11:00 AM	100%	16	94%	48	87%	--	15%	2	30%	11	77
12:00 PM	90%	14	85%	43	97%	--	25%	4	50%	19	80
1:00 PM	90%	14	90%	46	100%	--	25%	4	70%	26	90
2:00 PM	97%	15	95%	48	97%	--	15%	2	60%	22	87
3:00 PM	93%	14	90%	46	95%	--	15%	2	60%	22	84
4:00 PM	77%	12	75%	38	87%	--	20%	3	50%	19	72
5:00 PM	47%	7	44%	22	79%	--	65%	10	70%	26	65
6:00 PM	23%	4	20%	10	82%	--	85%	13	90%	34	61
7:00 PM	7%	1	7%	4	89%	--	100%	15	100%	37	57
8:00 PM	7%	1	7%	4	87%	--	90%	14	100%	37	56
9:00 PM	3%	0	3%	2	61%	--	75%	11	100%	37	50
10:00 PM	3%	0	3%	2	32%	--	50%	8	90%	34	44
11:00 PM	0%	0	0%	0	13%	--	15%	2	70%	26	28
12:00 AM	0%	0	0%	0	0%	--	5%	1	50%	19	20

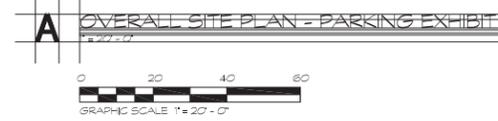
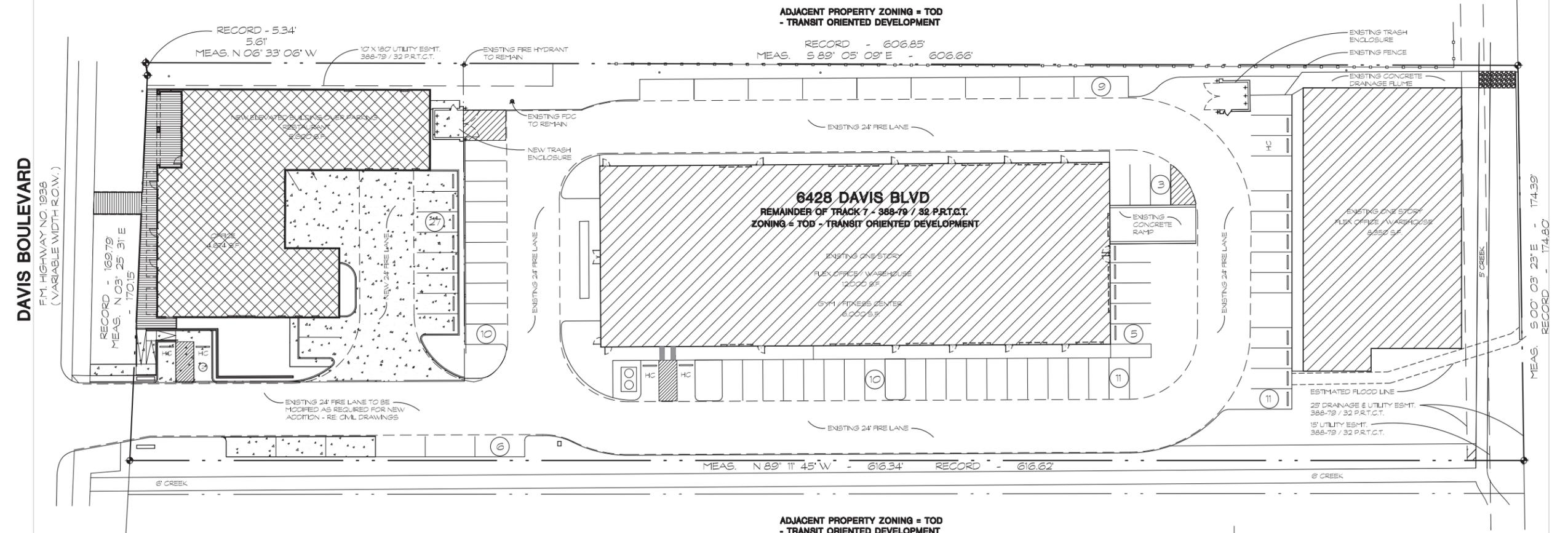
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GROSS FLOOR AREA	4,674 S.F.		20,350 S.F.		XXXX S.F.		6,000 S.F.		5,600 S.F.		36,624 S.F.
PARKING RATIO	300		400		250		400		150		
TIME OF DAY	%	# OF SPACES	%	# OF SPACES	%	# OF SPACES	%	# OF SPACES	%	# OF SPACES	# OF SPACES
6:00 AM	3%	0	0%	0	0%	--	25%	4	0%	0	4
7:00 AM	20%	3	30%	15	8%	--	30%	5	2%	1	24
8:00 AM	60%	9	70%	36	18%	--	45%	7	3%	1	53
9:00 AM	80%	12	100%	51	42%	--	60%	9	6%	2	74
10:00 AM	80%	12	90%	46	68%	--	70%	11	8%	3	72
11:00 AM	100%	16	85%	43	87%	--	80%	12	10%	4	75
12:00 PM	100%	16	70%	36	97%	--	95%	14	30%	11	77
1:00 PM	80%	12	60%	31	100%	--	85%	13	45%	17	73
2:00 PM	60%	9	50%	25	97%	--	80%	12	45%	17	63
3:00 PM	40%	6	40%	20	95%	--	60%	9	45%	17	52
4:00 PM	40%	6	35%	18	87%	--	55%	8	45%	17	49
5:00 PM	20%	3	10%	5	79%	--	35%	5	60%	22	35
6:00 PM	20%	3	5%	3	82%	--	30%	5	90%	34	45
7:00 PM	20%	3	3%	2	89%	--	30%	5	95%	35	45
8:00 PM	20%	3	0%	0	87%	--	20%	3	100%	37	43
9:00 PM	0%	0	0%	0	61%	--	5%	1	100%	37	38
10:00 PM	0%	0	0%	0	32%	--	5%	1	95%	35	36
11:00 PM	0%	0	0%	0	13%	--	5%	1	85%	32	33
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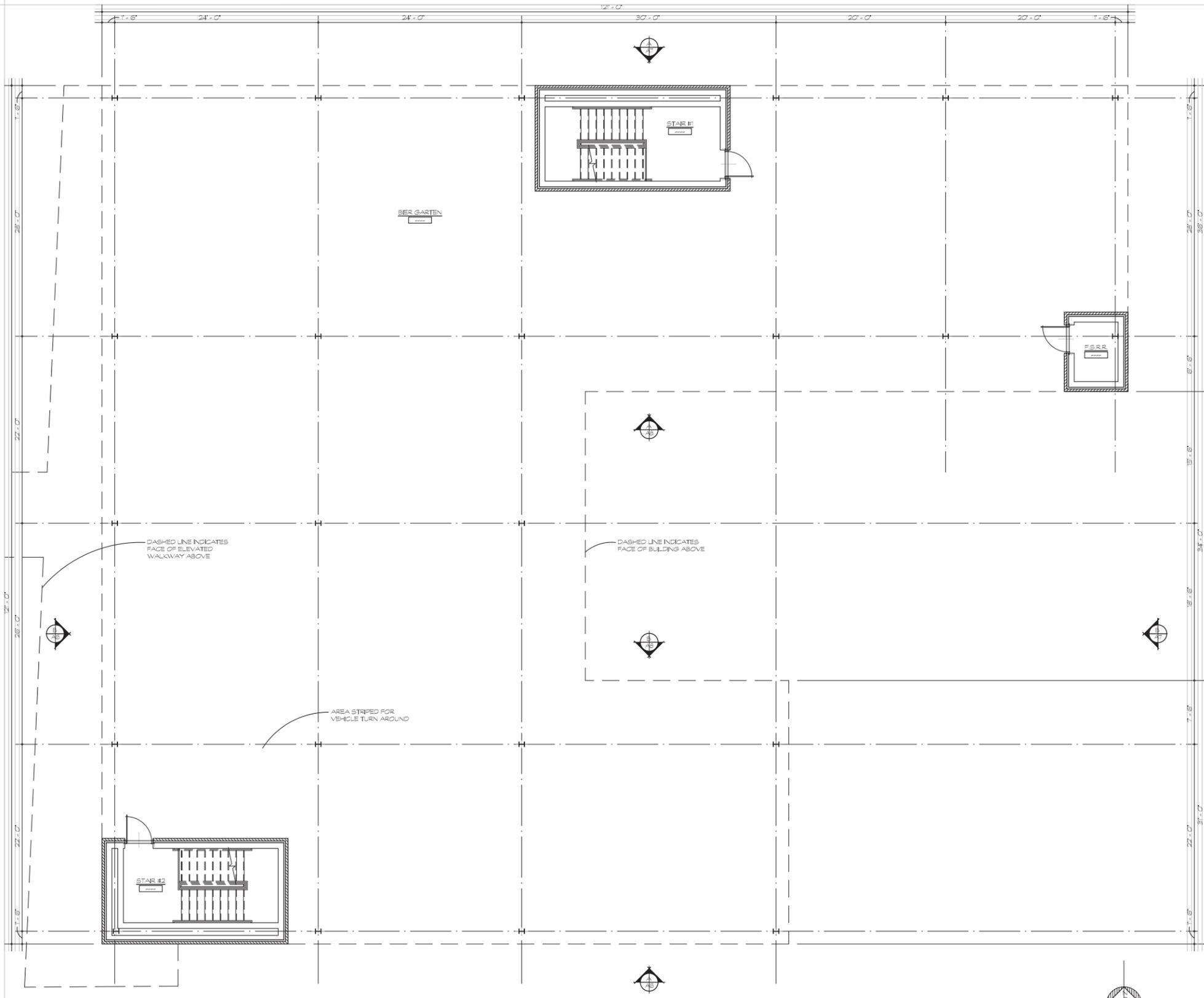
CITY OF NORTH RICHLAND HILLS CASE No. SDP 2019-01
PARKING EXHIBIT

ALL OFFICE AND RETAIL BUILDINGS FOR
NETCON INC.
 6428 DAVIS BOULEVARD
 NORTH RICHLAND HILLS, TEXAS

FOR: REVEST, LLC.
 8800 KOPK CRT
 NORTH RICHLAND HILLS, TEXAS 75080
 PH: 817-636-8884 FX: 817-691-8807

PROJECT NUMBER
A1B

3 OF 10



FLOOR PLAN LEGEND	
	ROOM NAME AND NUMBER MARKER
	WALL TYPE MARKER
	STOREFRONT TYPE MARKER
	WINDOW TYPE MARKER
	DOOR NUMBER MARKER
	BUILDING ELEVATION MARKER
	WALL / BUILDING SECTION MARKER
	DETAIL MARKER
	LARGE SCALE PLAN MARKER

THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE AND SHALL BE RESPONSIBLE FOR CONDITIONS OF ALL WORK AND MATERIALS, INCLUDING THOSE FURNISHED BY SUBCONTRACTORS.

DISCREPANCIES AND / OR VARIATIONS SHALL IMMEDIATELY BE REPORTED TO THE ARCHITECT IN WRITING. CONTRACTOR SHALL RECEIVE CLARIFICATION FROM ARCHITECT PRIOR TO START OF WORK.

THE ARCHITECT PRODUCING THESE PLANS WILL NOT BE RESPONSIBLE FOR FIELD CHANGES AND FIELD DECISIONS UNLESS NOTIFIED IN WRITING OF REQUEST FOR CHANGES AND THEN ONLY BY WRITTEN RESPONSE OF THE ARCHITECT.

ALL PLAN DIMENSIONS ARE TO FINISH FACE OF WALL OR FACE OF MASONRY UNLESS NOTED OTHERWISE.

CONTRACTOR SHALL NOT SCALE DRAWINGS. IN THE EVENT OF OMISSION OF DIMENSIONS THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. FAILURE TO DO SO WILL LEAVE THE CONTRACTOR SOLELY RESPONSIBLE FOR ANY DISCREPANCIES, CORRECTIONS, ETC. RESULTING FROM THE SAME.

ALL MATERIALS AND WORKMANSHIP SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL STANDARDS AND TO THE APPLICABLE PROVISIONS OF THE GOVERNING BUILDING CODE.

THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE UNLESS OTHERWISE INDICATED. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE, WORKMEN, AND OTHER PERSONS DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO BRACING, SHORING FOR THE EARTH, BANKS, FORMS, SCAFFOLDING, PLANNING, SAFETY NETS, SUPPORT AND BRACING FOR CRANES, GIN POLES, ETC. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, AND HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY THE ARCHITECT OR THE ENGINEER SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEMS.

THESE DRAWINGS SHOW ONLY REPRESENTATIVE AND TYPICAL DETAILS TO ASSIST THE CONTRACTOR. THE DRAWINGS DO NOT ILLUSTRATE EVERY CONDITION. ALL ATTACHMENTS, CONNECTIONS, FASTENINGS, ETC. SHALL BE PROPERLY SECURED IN CONFORMANCE WITH THE BEST PRACTICE, AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING THEM.

THE USE OF REPRODUCTIONS OF THESE CONTRACT DRAWINGS BY ANY CONTRACTOR, SUBCONTRACTOR, ERECTOR, FABRICATOR, OR MATERIAL SUPPLIER IN LIEU OF PREPARATION OF SHOP DRAWINGS SIGNIFIES HIS ACCEPTANCE OF ALL INFORMATION SHOWN HEREON AS CORRECT, AND OBLIGATED HIMSELF TO ANY JOB EXPENSE, REAL OR IMPLIED, ARISING DUE TO ANY ERRORS THAT MAY OCCUR HEREON.

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THE CONTRACTOR SHALL CONFIRM ALL REQUIREMENTS OF OWNER FURNISHED EQUIPMENT WITH THE OWNER AND THE MANUFACTURER OF SAID EQUIPMENT PRIOR TO START OF CONSTRUCTION AND SHALL INSTALL ALL FITS, PUMPS, EQUIPMENT, UTILITIES, ETC. AS REQUIRED BY EQUIPMENT MANUFACTURER FOR FULL AND COMPLETE INSTALLATION.

GYPSUM BOARD WALLS SHALL BE FIRE RATED TYPE 'X' GYPSUM BOARD AND SHALL BE TAPERED, BEDDED, AND TEXTURED (TEXTURE AS SELECTED BY THE ARCHITECT). ALL TEXTURED WALLS SHALL BE PAINTED (COLOR AS SELECTED BY THE ARCHITECT).

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ALL PLUMBING WALLS SHALL HAVE SOUND BATT INSULATION INSTALLED PER CITY STANDARDS AND CODES.

ALL DOORS / FRAMES / HARDWARE SHALL BE INSTALLED PER TEXAS DEPARTMENT OF LICENSING AND REGULATION (TDLR), TEXAS ACCESSIBILITY STANDARDS, ANSI AND ADA - TYPICAL.

ALL PLUMBING FITURES AND FITTINGS SHALL BE INSTALLED PER TEXAS DEPARTMENT OF LICENSING AND REGULATION (TDLR), TEXAS ACCESSIBILITY STANDARDS, ANSI AND ADA - TYPICAL.

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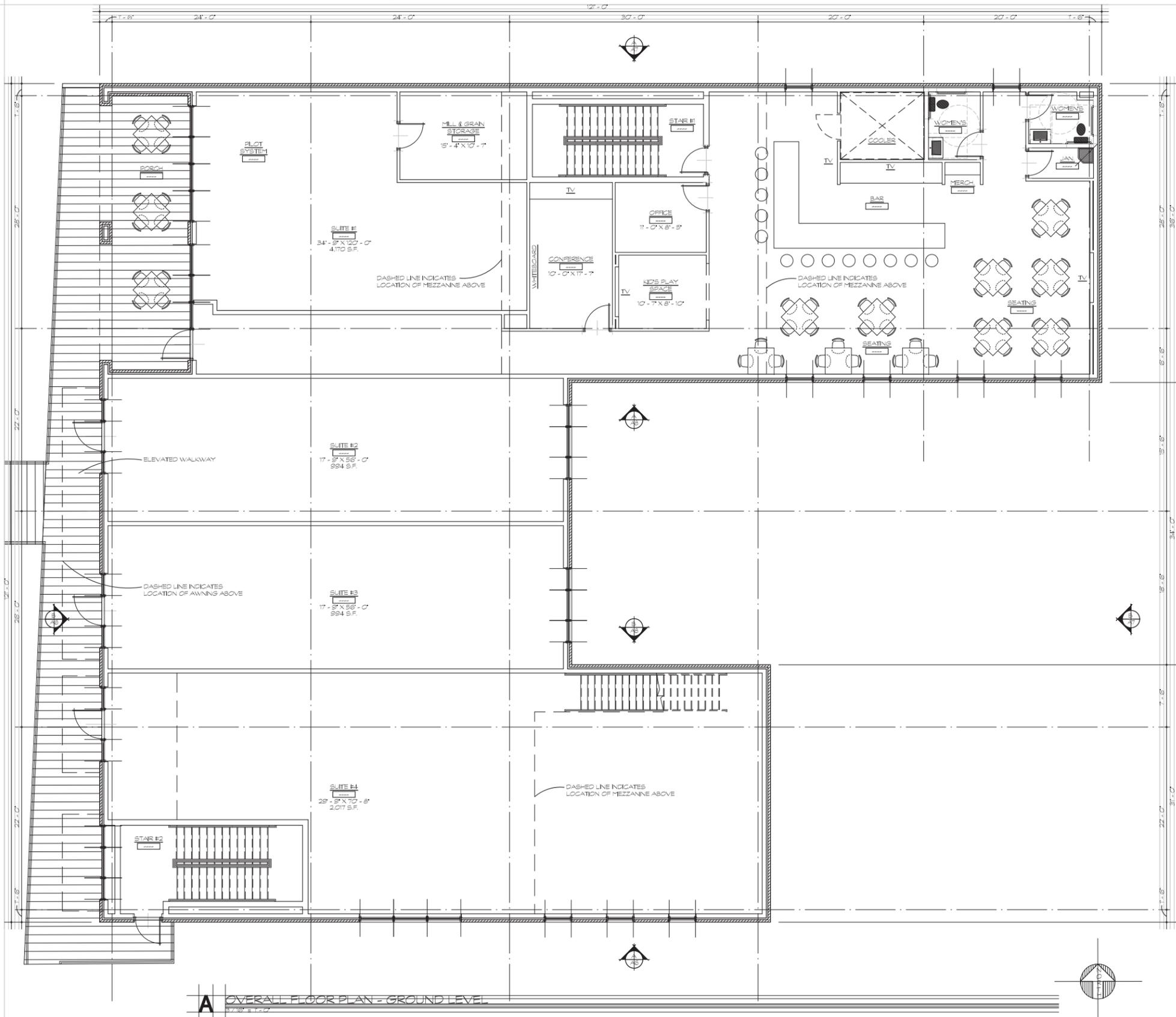
PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED THROUGHOUT THE FACILITY AS REQUIRED BY NFPA STANDARD NO. 10 AND AS DETERMINED BY THE LOCAL FIRE DEPARTMENT.

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A OVERALL FLOOR PLAN - PARKING LEVEL

CITY OF NORTH RICHLAND HILLS CASE No. SDP 2019-01
PARKING LEVEL FLOOR PLAN

ALL OFFICE AND RESID. BUILDING FOR NETCON INC. 8488 DAVIS BOULEVARD NORTH RICHLAND HILLS, TEXAS	SHEET NUMBER A3 4 OF 10
FOR: REVEST, LLC. 8000 KERIC DR NORTH RICHLAND HILLS, TEXAS 75060 PH: 817-608-0854	PK: 817-608-0807



FLOOR PLAN LEGEND	
	ROOM NAME AND NUMBER MARKER
	WALL TYPE MARKER
	STOREFRONT TYPE MARKER
	WINDOW TYPE MARKER
	DOOR NUMBER MARKER
	BUILDING ELEVATION MARKER
	WALL / BUILDING SECTION MARKER
	DETAIL MARKER
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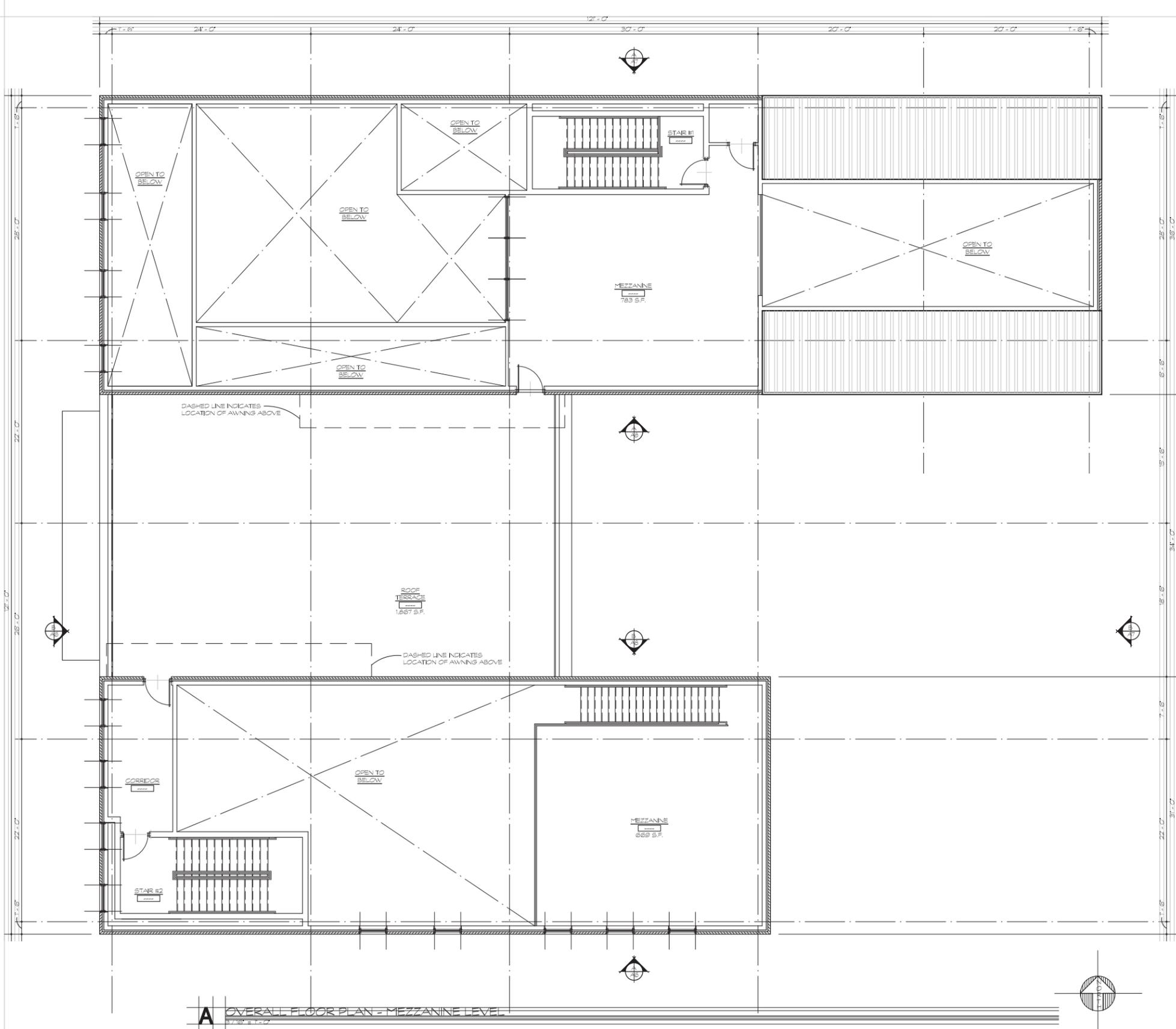
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A OVERALL FLOOR PLAN - GROUND LEVEL

CITY OF NORTH RICHLAND HILLS CASE No. SDP 2019-01
GROUND LEVEL FLOOR PLAN

ALL OFFICE AND RETAIL BUILDING FOR NETCON INC. 8488 DAVIS BOULEVARD NORTH RICHLAND HILLS, TEXAS	SHEET NUMBER A4 6 OF 10
FOR: REVEST, LLC. 8000 KERIC DR NORTH RICHLAND HILLS, TEXAS 78601 PH: 817-605-0554	PK: 817-605-0507



FLOOR PLAN LEGEND	
	ROOM NAME AND NUMBER MARKER
	WALL TYPE MARKER
	STOREFRONT TYPE MARKER
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THE CONTRACTOR SHALL CONFIRM ALL REQUIREMENTS OF OWNER FURNISHED EQUIPMENT WITH THE OWNER AND THE MANUFACTURER OF SAID EQUIPMENT PRIOR TO START OF CONSTRUCTION AND SHALL INSTALL ALL FITS, PUMPS, EQUIPMENT, UTILITIES, ETC AS REQUIRED BY EQUIPMENT MANUFACTURER FOR FULL AND COMPLETE INSTALLATION.

GYPSUM BOARD WALLS SHALL BE FIRE RATED TYPE 'X' GYPSUM BOARD AND SHALL BE TAPER, BEDDED, AND TEXTURED (TEXTURE AS SELECTED BY THE ARCHITECT). ALL TEXTURED WALLS SHALL BE PAINTED (COLOR AS SELECTED BY THE ARCHITECT).

ALL GYPSUM BOARD PARTITIONS SHALL HAVE CORNER BEADS AND CASTING BEADS. METAL ACCESSORIES AS REQUIRED TO PROVIDE FINISHED SURFACE TERMINATIONS. ALL GYPSUM BOARD SHALL BE 5/8" THICK, FIRE RATED TYPE 'X' GYPSUM BOARD (UNO). GYPSUM BOARD SHALL BE WATER RESISTANCE (WR) AT ALL WET LOCATIONS, (E. TOILET ROOMS, SHOWERS, JANITORS, ETC.)

ALL PLUMBING WALLS SHALL HAVE SOUND BATT INSULATION INSTALLED PER CITY STANDARDS AND CODES.

ALL DOORS / FRAMES / HARDWARE SHALL BE INSTALLED PER TEXAS DEPARTMENT OF LICENSING AND REGULATION (TDLR) TEXAS ACCESSIBILITY STANDARDS, ANSI AND ADA - TYPICAL.

ALL PLUMBING FITURES AND FITTINGS SHALL BE INSTALLED PER TEXAS DEPARTMENT OF LICENSING AND REGULATION (TDLR) TEXAS ACCESSIBILITY STANDARDS, ANSI AND ADA - TYPICAL.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE SEALING OF AIR AND MECHANICAL SHAFTS AT ALL WALLS, CEILING, ROOF, ETC. PER CODE REQUIREMENTS.

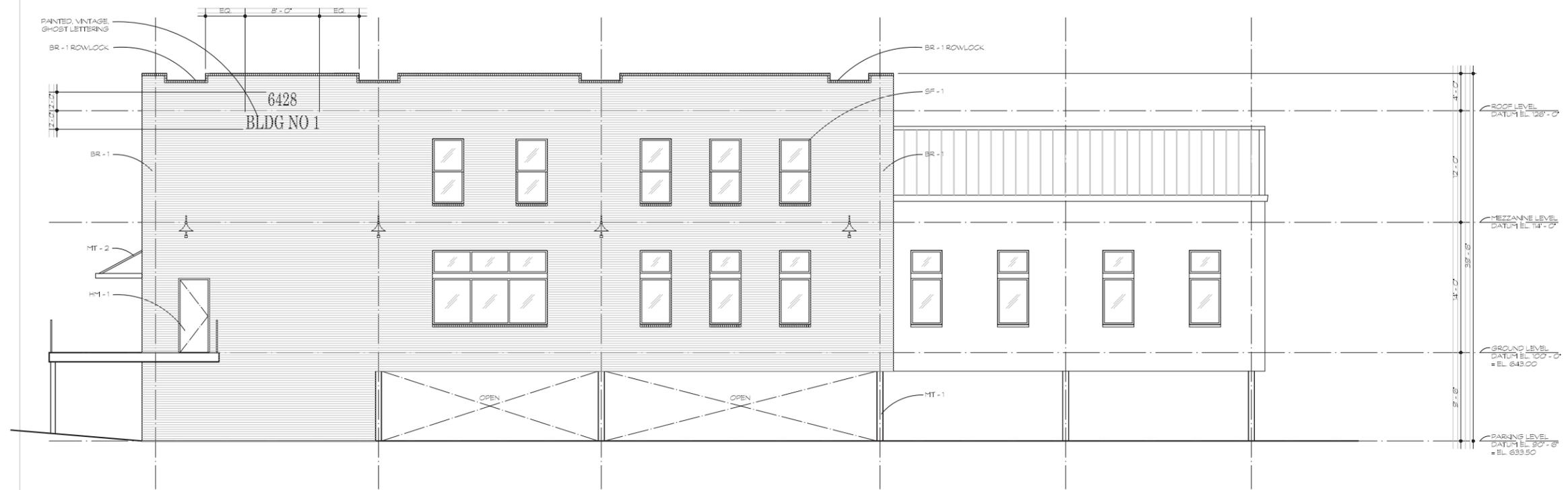
PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED THROUGHOUT THE FACILITY AS REQUIRED BY NFPA STANDARD NO. 10 AND AS DETERMINED BY THE LOCAL FIRE DEPARTMENT.

THE BUILDING SHALL HAVE FIRE ALARM / SMOKE DETECTION SYSTEM AND FIRE SPRINKLER SYSTEM PER THE MOST CURRENT INTERNATIONAL BUILDING CODES AND AS REQUIRED BY LOCAL CODE. THE BUILDING SHALL BE PROTECTED 100% BY FIRE DETECTION AND FIRE SPRINKLER PROTECTION SYSTEMS PER NFPA STANDARDS.

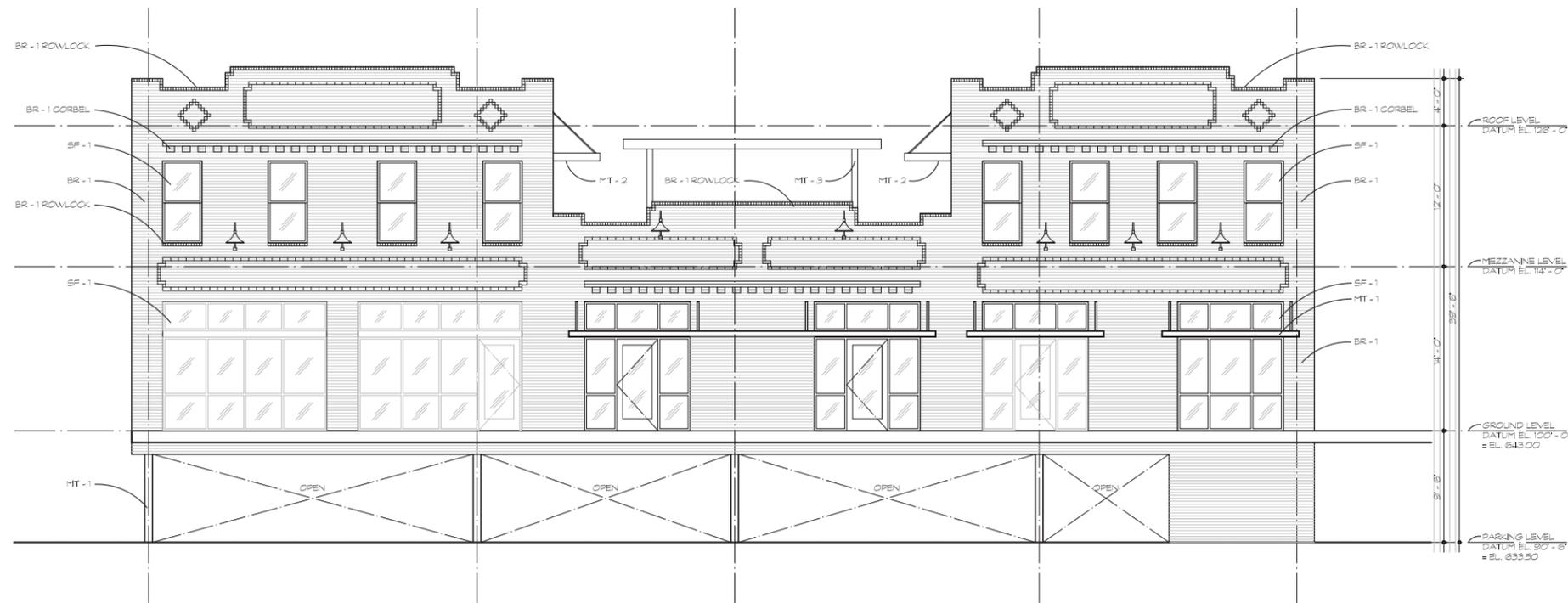
A OVERALL FLOOR PLAN - MEZZANINE LEVEL

CITY OF NORTH RICHLAND HILLS CASE No. SDP 2019-01
MEZZANINE LEVEL FLOOR PLAN

ALL OFFICE AND RESIDENT BUILDINGS FOR NETCON INC. 8488 DAVIS BOULEVARD NORTH RICHLAND HILLS, TEXAS FOR: REVEST, LLC. 8000 KERIC DR NORTH RICHLAND HILLS, TEXAS 75060 PH: 817-608-8854 FX: 817-608-8907	SHEET NUMBER A5 6 OF 10
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A SOUTH ELEVATION



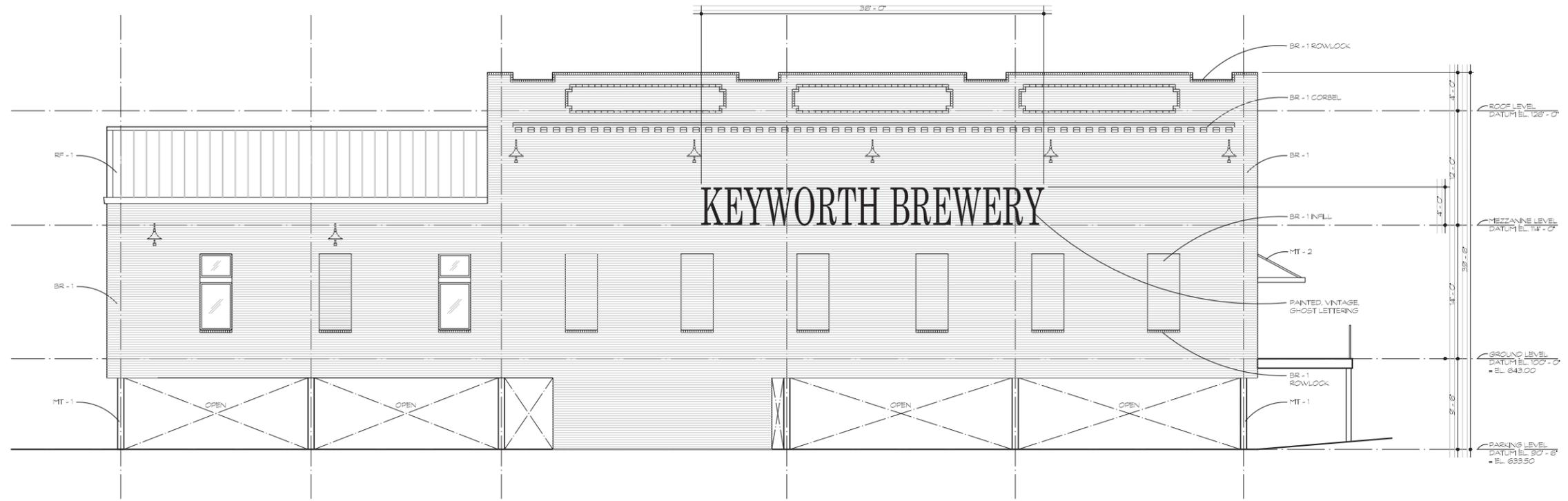
B WEST ELEVATION

EXTERIOR FINISH LEGEND		
SERIES		FINISH
BR-1	KING SIZE FACE BRICK ACME	BLEND : XXXX TEXTURE : XXXX
HM-1	PAINTED HOLLOW METAL DOOR AND FRAME	FINISH : DARK BRONZE - SEMI-GLOSS
MT-1	PAINTED STRUCTURAL STEEL	FINISH : DARK BRONZE - SEMI-GLOSS
MT-2	STEEL FABRICATION AWNING	FINISH : DARK BRONZE - SEMI-GLOSS
MT-3	STEEL FABRICATION TRELLIS	FINISH : DARK BRONZE - SEMI-GLOSS
RF-1	STANDING SEAM METAL ROOFING SYSTEM	FINISH : DARK BRONZE
SF-1	ALUMINUM STOREFRONT SYSTEM	FINISH : DARK BRONZE GLAZING : 1" INSULATED GLAZING

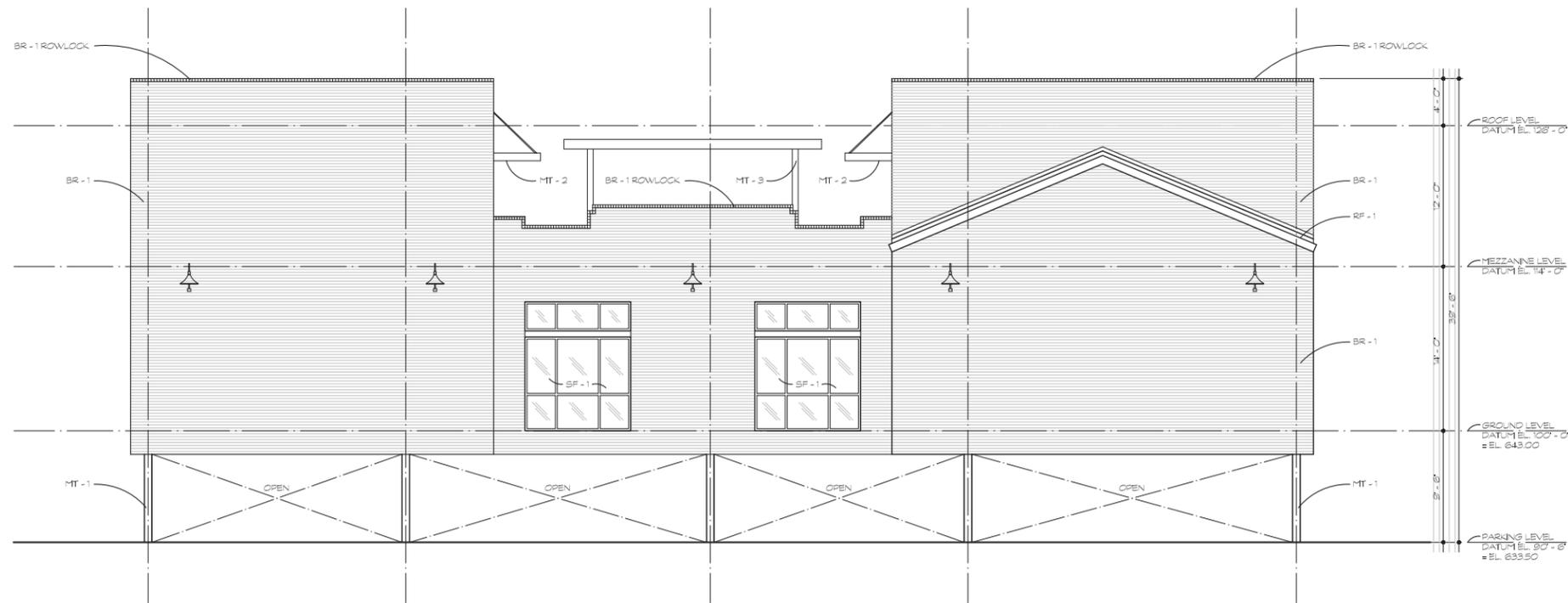
MATERIAL PERCENTAGES				
	NORTH	SOUTH	EAST	WEST
1. TOTAL FACADE S.F.	3,552	2,806	2,859	2,993
2. DOORS AND WINDOWS (SF-1)	0 / 0.0%	329 / 11.8%	192 / 6.8%	849 / 28.3%
3. MASONRY TOTALS (BR-1)	3,503 / 99.1%	2,465 / 87.8%	2,644 / 92.2%	2,124 / 71.0%
4. METAL TOTALS (MT-1)	32 / 0.9%	16 / 0.6%	27 / 0.9%	2 / 0.7%
	NORTH - INT.	SOUTH - INT.		
1. TOTAL FACADE S.F.	1,678	2,418		
2. DOORS AND WINDOWS (SF-1)	27 / 1.6%	135 / 5.6%		
3. MASONRY TOTALS (BR-1)	1,646 / 98.1%	2,283 / 93.8%		
4. METAL TOTALS (MT-1)	5 / 0.3%	16 / 0.6%		

CITY OF NORTH RICHLAND HILLS CASE No. SDP 2019-01
EXTERIOR ELEVATIONS

ALL OFFICE AND RESIDENT BUILDINGS FOR NETCON INC. 8488 DAVIS BOULEVARD NORTH RICHLAND HILLS, TEXAS FOR: REVEST, LLC. 5000 KIRK CDT NORTH RICHLAND HILLS, TEXAS 75080 PH. 817-608-0884	SHEET NUMBER A6 7 OF 10
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A NORTH ELEVATION
3/10/2019 11:07



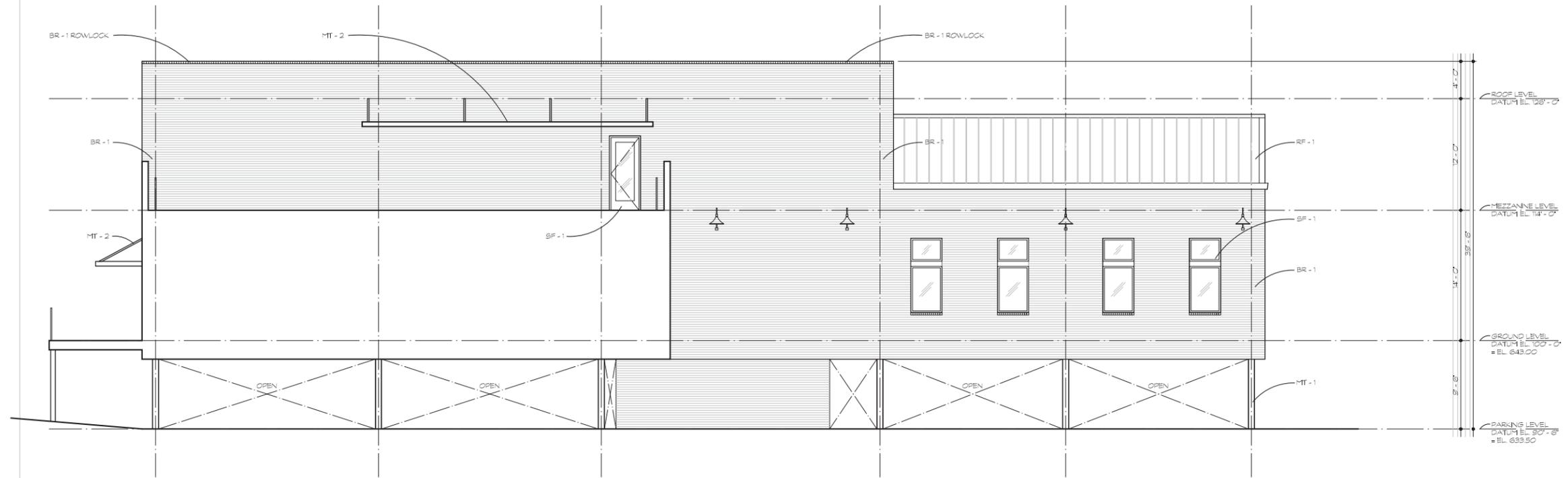
B EAST ELEVATION
3/10/2019 11:07

EXTERIOR FINISH LEGEND		
SERIES		FINISH
BR-1	KING SIZE FACE BRICK ACME	BLEND : XXXX TEXTURE : XXXX
HM-1	PAINTED HOLLOW METAL DOOR AND FRAME	FINISH : DARK BRONZE - SEMI-GLOSS
MT-1	PAINTED STRUCTURAL STEEL	FINISH : DARK BRONZE - SEMI-GLOSS
MT-2	STEEL FABRICATION AWNING	FINISH : DARK BRONZE - SEMI-GLOSS
MT-3	STEEL FABRICATION TRELLIS	FINISH : DARK BRONZE - SEMI-GLOSS
RF-1	STANDING SEAM METAL ROOFING SYSTEM	FINISH : DARK BRONZE
SF-1	ALUMINUM STOREFRONT SYSTEM	FINISH : DARK BRONZE GLAZING : 1" INSULATED GLAZING

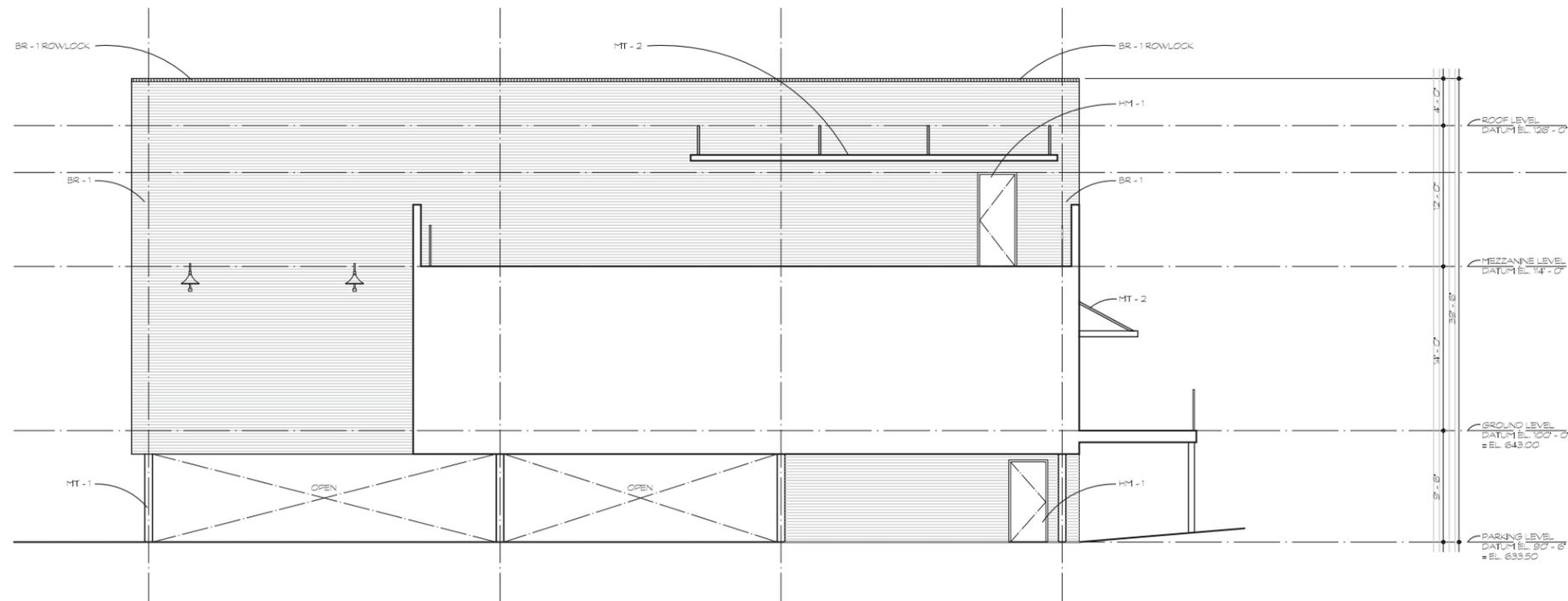
MATERIAL PERCENTAGES				
	NORTH	SOUTH	EAST	WEST
1. TOTAL FACADE S.F.	3552	2806	2859	2993
2. DOORS AND WINDOWS (SF-1)	0 / 0.0%	329 / 11.8%	194 / 6.8%	849 / 28.3%
3. MASONRY TOTALS (BR-1)	3503 / 98.6%	2465 / 87.8%	2644 / 92.2%	2124 / 71.0%
4. METAL TOTALS (MT-1)	32 / 0.9%	16 / 0.6%	27 / 0.9%	2 / 0.7%
	NORTH - INT.	SOUTH - INT.		
1. TOTAL FACADE S.F.	1678	2418		
2. DOORS AND WINDOWS (SF-1)	27 / 1.6%	135 / 5.6%		
3. MASONRY TOTALS (BR-1)	1646 / 98.1%	2282 / 93.8%		
4. METAL TOTALS (MT-1)	5 / 0.3%	16 / 0.6%		

CITY OF NORTH RICHLAND HILLS CASE No. SDP 2019-01
EXTERIOR ELEVATIONS

<p>ALL OFFICE AND RESID. BUILDING FOR</p> <p>NETCON INC.</p> <p>8488 DAVIS BOULEVARD NORTH RICHLAND HILLS, TEXAS</p> <p>FOR: REVEST, LLC.</p> <p>5000 KIRK CDT NORTH RICHLAND HILLS, TEXAS 75060</p> <p>PH: 817-609-8284 FX: 817-609-8307</p>	<p>SHEET NUMBER</p> <p>A7</p> <p>8 OF 10</p>
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A SOUTH INTERIOR ELEVATION
2/10/2019



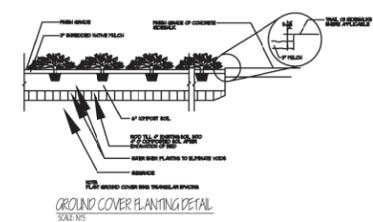
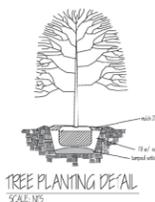
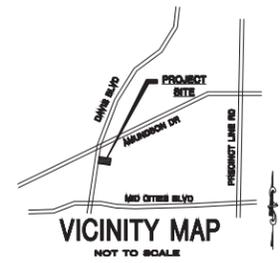
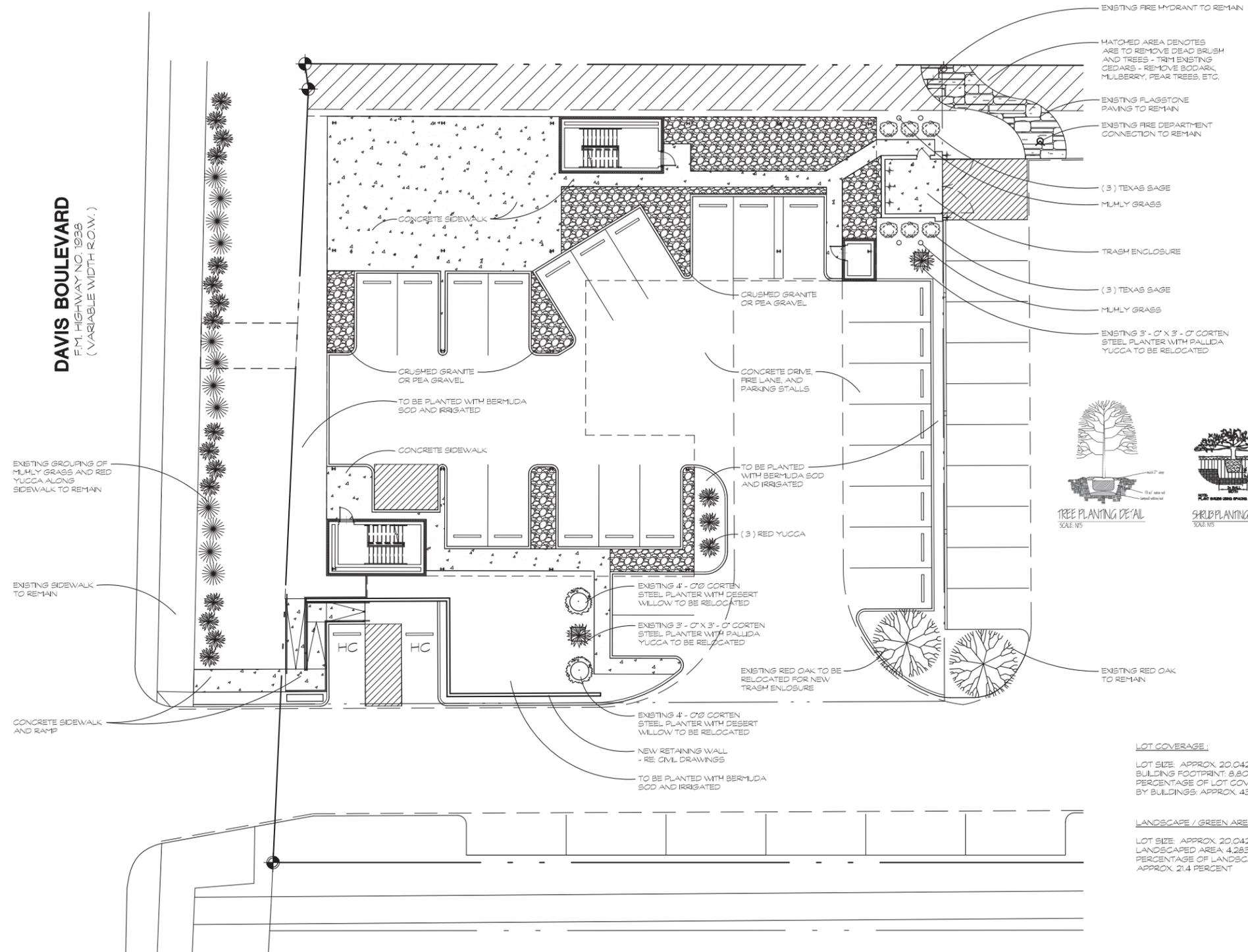
B NORTH INTERIOR ELEVATION
2/10/2019

EXTERIOR FINISH LEGEND		
SERIES		FINISH
BR-1	KING SIZE FACE BRICK ACME	BLEND : XXXX TEXTURE : XXXX
HM-1	PAINTED HOLLOW METAL DOOR AND FRAME	FINISH : DARK BRONZE - SEMI-GLOSS
MT-1	PAINTED STRUCTURAL STEEL	FINISH : DARK BRONZE - SEMI-GLOSS
MT-2	STEEL FABRICATION AWNING	FINISH : DARK BRONZE - SEMI-GLOSS
MT-3	STEEL FABRICATION TRELLIS	FINISH : DARK BRONZE - SEMI-GLOSS
RF-1	STANDING SEAM METAL ROOFING SYSTEM	FINISH : DARK BRONZE
SF-1	ALUMINUM STOREFRONT SYSTEM	FINISH : DARK BRONZE GLAZING : 1" INSULATED GLAZING

MATERIAL PERCENTAGES				
	NORTH	SOUTH	EAST	WEST
1. TOTAL FACADE S.F.	3552	2806	2859	2993
2. DOORS AND WINDOWS (SF-1)	0 / 0.0%	329 / 11.8%	194 / 6.8%	849 / 28.3%
3. MASONRY TOTALS (BR-1)	3503 / 99.1%	2465 / 87.8%	2644 / 92.2%	2124 / 70.6%
4. METAL TOTALS (MT-1)	32 / 0.9%	16 / 0.6%	27 / 0.9%	2 / 0.7%
	NORTH - INT.	SOUTH - INT.		
1. TOTAL FACADE S.F.	1678	2418		
2. DOORS AND WINDOWS (SF-1)	27 / 1.6%	135 / 5.6%		
3. MASONRY TOTALS (BR-1)	1646 / 98.1%	2287 / 93.8%		
4. METAL TOTALS (MT-1)	5 / 0.3%	16 / 0.6%		

CITY OF NORTH RICHLAND HILLS CASE No. SDP 2019-01
EXTERIOR ELEVATIONS

ALL OFFICE AND RESIDENT BUILDINGS FOR NETCON INC. 8488 DAVIS BOULEVARD NORTH RICHLAND HILLS, TEXAS	SHEET NUMBER A8 9 OF 10
FOR: REVEST, LLC. 5000 KIRK C. DR. NORTH RICHLAND HILLS, TEXAS 75080 PH. 817-608-0854	



LOT COVERAGE:
 LOT SIZE: APPROX 20,042 SF
 BUILDING FOOTPRINT: 8,805 SF
 PERCENTAGE OF LOT COVERED BY BUILDINGS: APPROX. 43.9 PERCENT

LANDSCAPE / GREEN AREA COVERAGE:
 LOT SIZE: APPROX 20,042 SF
 LANDSCAPED AREA: 4,283 SF
 PERCENTAGE OF LANDSCAPING: APPROX. 21.4 PERCENT

LANDSCAPING:

QTY:	SPECIES:	HGT/SIZE:
1	RED OAK (RELOCATED)	3' CAL, 7'-8' TALL
3	RED YUCCA	2' TALL
3	TEXAS SAGE - COMPACTA	2' TALL
4	MULHLY GRASS	2' TALL
2	PALLIDA YUCCA (RELOCATED)	4' TALL
2	DESERT WILLOW (RELOCATED)	4' TALL

DAVIS BOULEVARD
 F.M. HIGHWAY NO. 1936
 (VARIABLE WIDTH R.O.W.)

EXISTING GROUPING OF MULHLY GRASS AND RED YUCCA ALONG SIDEWALK TO REMAIN

EXISTING SIDEWALK TO REMAIN

CONCRETE SIDEWALK AND RAMP

A LANDSCAPING PLAN
 1/2" = 1'-0"



CITY OF NORTH RICHLAND HILLS CASE No. SDP 2019-01
LANDSCAPING PLAN

IN OFFICE AND RECAL BUILDING FOR
METCON INC.
 6848 DAVIS BOULEVARD
 NORTH RICHLAND HILLS, TEXAS 76180
 FOR: **REVEST, LLC.**
 6800 KOPIC DR.
 NORTH RICHLAND HILLS, TEXAS 76180
 PH: 817-636-8884 FX: 817-691-8807

SECRET NUMBER
L1
 10 OF 10