

WARD ARCHITECTURE PLLC
 609 CHEEK SPARGER RD
 COLLEVILLE, TEXAS 76034
 (817) 281-5600
 GERALD@WARDARCHITECTUREPLLC.COM

2/18/2019

OWNER INFORMATION:
 FALSE IDOL BREWERY
 MR. BRANDON PITZER
 7924 MAPLEWOOD AVENUE
 NORTH RICHLAND HILLS, TX 76180
 (817) 281-5600
 BPITZER56@GMAIL.COM

APPLICANT INFORMATION:
 WARD ARCHITECTURE PLLC
 MR. GERALD A. WARD
 5004 THOMPSON TERRACE #107
 COLLEVILLE, TEXAS 76034
 (817) 281-5600
 GERALD@WARDARCHITECTUREPLLC.COM

FALSE IDOL BREWERY
 7924 MAPLEWOOD AVE.
 NORTH RICHLAND HILLS, TX

SITE PLAN INFORMATION:

TOTAL ACREAGE OF SITE: 40,327 SF
 TOTAL SQUARE FOOTAGE OF SITE: 40,327 SF
 PROPOSED LOT ZONING: SLP
 TOTAL BUILDING SQUARE FOOTAGE: 4,454 SF
 TOTAL NUMBER OF PROVIDED PARKING: 40

Drawn By: CRA, MLP
 Checked By: GAW
 Project No: 18-44

No.	Date	Description

Issued: ZONING CHANGE APPLICATION 12/04/2018

Sheet Title:
ARCHITECTURAL SITE PLAN

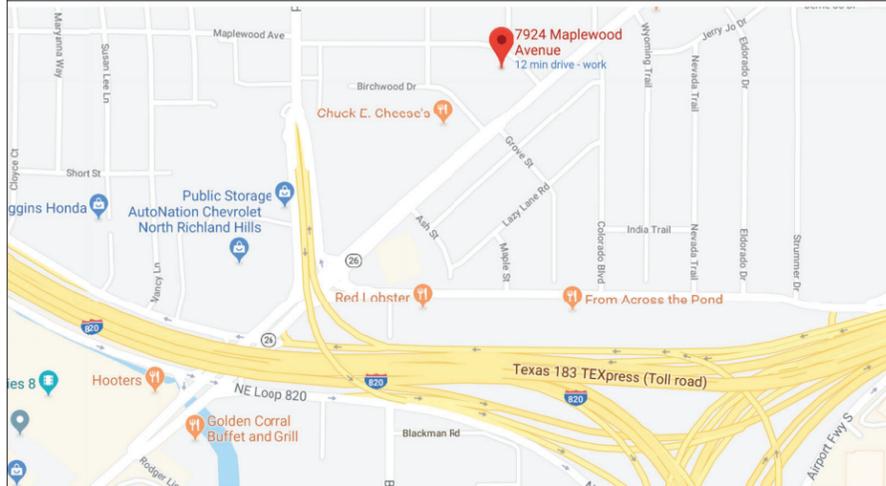
A1.01

Sheet Number

01 SITE PLAN
 SCALE: 1/16" = 1'-0"
 TRUE NORTH

CASE: SUP 2019-02

<p>LEGAL DESCRIPTION:</p> <p>LEGAL JURISDICTION: CITY OF NORTH RICHLAND HILLS, TX</p> <p>BUILDING ADDRESS: 7924 MAPLEWOOD AVENUE NORTH RICHLAND HILLS, TX 796108</p> <p>OWNER/ DEVELOPER :</p> <p>FALSE IDOL BREWERY</p> <p>OWNER CONTACT INFORMATION:</p> <p>FALSE IDOL BREWERY BRANDON PITZER 7924 MAPLEWOOD AVENUE NORTH RICHLAND HILLS, TX 76180 PHONE: EMAIL:BPITZER56@GMAIL.COM</p>	<p>DESIGN PROFESSIONAL:</p> <p>WARD ARCHITECTURE, PLLC.</p> <p>DESIGN CONTACT INFORMATION:</p> <p>ARCHITECT: GERALD A. WARD</p> <p>5004 THOMPSON TERRACE #107 COLLEVILLE, TEXAS 76034</p> <p>PHONE: 817-281-5600 EMAIL: GERALD@WARDARCHITECTUREPLLC.COM</p>	<p>SITE DATA SUMMARY:</p> <table border="1"> <tr> <td>EXISTING ZONING:</td> <td>C-1</td> </tr> <tr> <td>LOT AREA (ACRES OR SQ FOOTAGE):</td> <td>40,327 SF</td> </tr> <tr> <td>LOT COVERAGE (PERCENT BUILDING COVER):</td> <td>4,454 SF</td> </tr> <tr> <td>AREA OF IMPERVIOUS COVERAGE (BUILDING & PAVING):</td> <td>31,557 SF</td> </tr> <tr> <td>NUMBER OF PARKING SPACES PROVIDED:</td> <td>41 SPACES</td> </tr> <tr> <td>BUILDING HEIGHT:</td> <td>14'- 8"</td> </tr> <tr> <td>LAND USE:</td> <td>BREWERY & RESTAURANT</td> </tr> </table>	EXISTING ZONING:	C-1	LOT AREA (ACRES OR SQ FOOTAGE):	40,327 SF	LOT COVERAGE (PERCENT BUILDING COVER):	4,454 SF	AREA OF IMPERVIOUS COVERAGE (BUILDING & PAVING):	31,557 SF	NUMBER OF PARKING SPACES PROVIDED:	41 SPACES	BUILDING HEIGHT:	14'- 8"	LAND USE:	BREWERY & RESTAURANT	<p>GENERAL SITE PLAN NOTES:</p> <ol style="list-style-type: none"> ALL MECHANICAL EQUIPMENT TO BE LOCATED ON BUILDING ROOF SCREENED BY PARAPET MASONRY FENCE TO BE 6 FT TALL PREFABRICATED CONCRETE PANEL FENCING WITH STONE DESIGN. DUMPSTER ENCLOSURE TO BE MASONRY SCREENED. NO OUTSIDE STORAGE OR DISPLAY AREAS ARE PROVIDED.
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LAND USE:	BREWERY & RESTAURANT																



LOCATION MAP NOTE:

- ALL LIGHTS TO BE WALL MOUNTED OR DOWN LIGHTS
- ALL EXTERIOR LIGHTING TO BE COMPLIANT WITH THE CURRENT CITY ORDINANCE. REFERENCE SEC. 118-728. - OUTDOOR LIGHTING.
- NO LIGHTING SHALL TRAVEL BEYOND PROPERTY BOUNDARIES. EXTERIOR LIGHTING WILL CURTAIL LIGHT POLLUTION, REDUCE SKY GLOW AND IMPROVE THE NIGHT TIME ENVIRONMENT. EXTERIOR LIGHTING WILL CONSERVE ENERGY TO THE GREATEST EXTENT POSSIBLE.
- ALL NEW LIGHTING WILL COMPLY WITH THE APPLICABLE CODES. ALL OUT DOOR LIGHTING SHALL BE INSTALLED IN CONFORMANCE WITH THE PROVISIONS OF THIS SECTION, APPLICABLE ELECTRICAL AND ENERGY CODES, AND APPLICABLE SECTIONS OF THE BUILDING CODE. ALL NON COMPLIANT EXISTING LIGHTING TO BE REMOVED AND REPLACE WITH COMPLIANT LIGHTING.
- COMPLIANT 6' PREFABRICATED MASONRY PANEL FENCING TO BE INSTALLED AT ALL PROPERTY BOUNDARIES THAT TOUCH RESIDENTIAL PROPERTIES. PLEASE SEE FENCING EXAMPLE 03.
- EXTERIOR PATIO SEATING AREAS TO BE SURROUNDED WITH A 4'-0" TALL WROUGHT IRON FENCING. PLEASE SEE FENCING EXAMPLE 02.

Superior Customization for Fences and Landscaping

Specifications and technical expertise in the production of decorative steel-reinforced modular precast concrete make Superior Concrete Products a leader in the fence, sound barrier, retaining wall and building industry. Since 1986, Superior Concrete Products, Inc. has manufactured and installed modular systems nationwide. Precast concrete fence and building components are produced using patented molding equipment and proprietary manufacturing techniques.

Known for strength and durability, modular precast concrete fences, barriers, retaining walls and building systems are resistant to wind, water and seismic movements. In addition, the fences, walls and buildings that Superior Concrete Products manufactures also prevent damage from fire, insects, animals and inclement weather. Specified by a growing number of professionals, the products made by Superior Concrete are preferred by a growing number of architects, residential and commercial builders, contractors, municipal and state governments, and other leaders in the construction industry.

Design Engineering

Every fence, sound barrier, retaining wall or building system is designed by the Superior Concrete Products professional engineering team to meet exacting design specifications. Go to [Design Engineering](#) to learn more.

Installation

The modular design of Superior Concrete Products precast post and panel systems makes installing a fence, sound barrier, retaining wall, building or other structure faster than using conventional methods. To learn more, see [installations](#).

FENCING MATERIAL:
SUPERIOR FENCING
6 FT HIGH PRECAST CONCRETE TEXTURED INTEGRAL COLOR
PRODUCT:
SUPERIOR LEDGESTONE
COLOR : NATURAL

03 COMMERCIAL TO RESIDENTIAL FENCING
TYP. CONCRETE PANEL SYSTEM FENCING
SCALE: NTS



02 TYP. WROUGHT IRON FENCING
SCALE: NTS

FREEDOM (ACTUAL: 3.91' x 6.026') STANDARD NEW HAVEN BLACK ALUMINUM DECORATIVE FENCE PANELS TO BE USED AT OUTDOOR SEATING PATIO

Technical Specifications

General

- Screening/Sound/Building wall systems and Split Rail fence systems.
- Decorative reinforced precast concrete modular component systems.
- Screening and sound walls include posts, panels and caps. Split rail fences include posts and rails.
- Precast concrete shall have a minimum compression strength of 5,000 psi @ 28 days.
- Fiberglass and steel reinforced components All reinforcing steel shall conform to ASTM - A615, Grade 60. All ties and stirrups shall conform to the requirements of ASTM - A 615, Grade 40.
- Systems manufactured in integrally colored earth tones. Custom, white and premium colors are available.
- Systems are anchored to ground by poured concrete piers, 5' on-center (wall systems) and 8' on-center (SUPERIOR-FENCE and rail systems). A continuous foundation/footing running the length of the wall is not required.
- Method of post attachment to concrete footing/ pier is by embedment in poured concrete. Depth of concrete pier and embedment of post are as shown on Shop Drawing.
- Pier depth varies with soil conditions, wind load and fence height.
- Loading: Wind loading and surcharge loads will be applied to the panels, columns, and foundation components per local building code requirements.

Materials

1. Wall System

- SUPERIOR-LEDGESTONE™, SUPERIOR-BRICK™ and SUPERIOR WOOD PLUS™ wall systems with heights up to 30'. SUPERIOR-FENCE wall system with heights up to 8'.
- Panels, posts and caps to have same texture on both sides.
 - Superior Ledgestone™ stacked stone.
 - Superior Brick™ classic brick.
 - Superior Cobblestone™
 - Superior Wood™ horizontal lap-wood.
 - Superior Fence™ - vertical or horizontal in a cedar look and texture.
 - Superior Board-on-Board™ - vertical rough out cedar look.
 - Superior Stucco™ - horizontal appearance of hand-troweled stucco.
 - Reinforced with wire-mesh.
- Includes decorative textured panel caps and post caps (Superior Brick™ and Superior Cobblestone).
- Posts are set five feet apart (maximum). SUPERIOR-FENCE posts are set eight feet apart.
- Posts shall have a typical cross sectional dimension of 5" as measured from face-to-face.
- Panels shall have typical dimensions of 56 3/4" long by 12" high by 1" minimum thickness and 1 5/8" maximum thickness.

- Versatile - Variable heights as needed, and can be easily modified to meet a wide range of special requirements.
- Reliable High-performance precast concrete (5,000 psi @ 28 days).
- Durable - Engineered to last, with improved reinforcement.
- Quality - National Precast Concrete Association (NPCA) Certified factory (only 60 factories in the US are similarly certified).
- Expertise - Prestressed/Precast Concrete Industry (PCI) Certified technical team.
- Assurance - Quality controlled manufacturing.
- Local Production - Manufactured in the USA.
- Strong - Repels the effects of wind, water, seismic movement, fire, insects, animals, decay and inclement weather.

Superior Ledgestone™ will have a new and improved tongue and groove panel interlocks, which may result in the appearance of grooves between panels.

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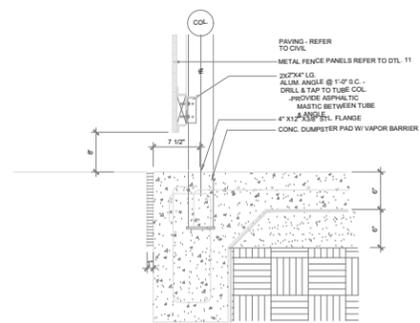
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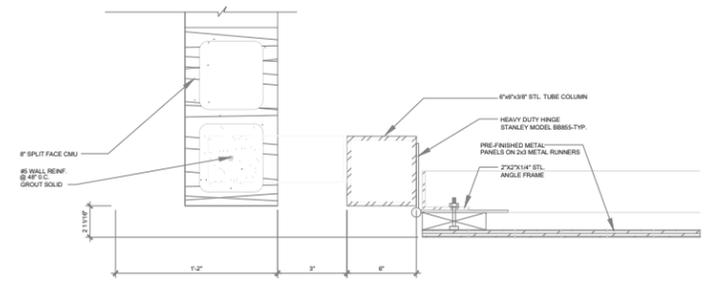
Drawn By: CRA, MLP
Checked By: GAW
Project No: 18 - 44

Revisions	
No.	Description

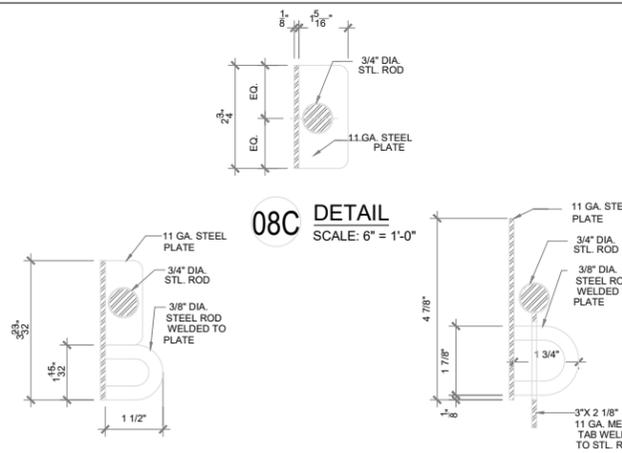
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Sheet Title: **SITE INFORMATION**
A1.00
Sheet Number



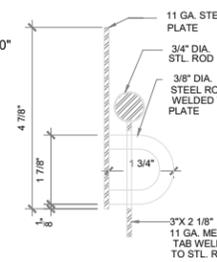
10 SCREEN WALL SECTION
SCALE: 1" = 1'-0"



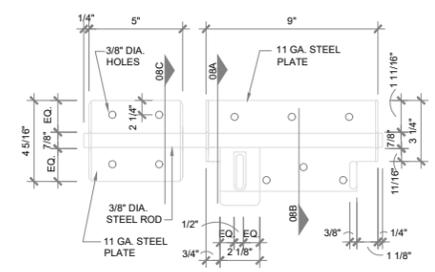
09 GATE JAMB DETAIL
SCALE: NTS



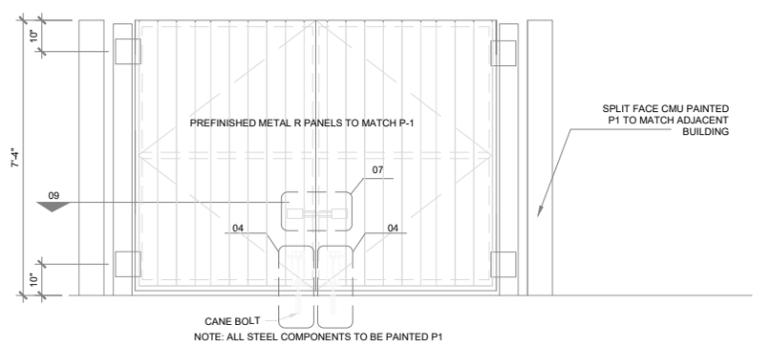
08A DETAIL
SCALE: 6" = 1'-0"



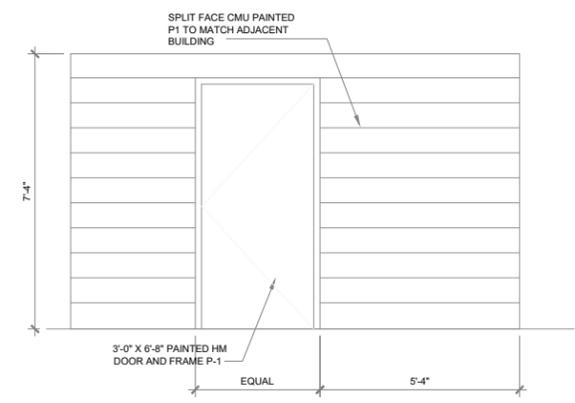
08B DETAIL
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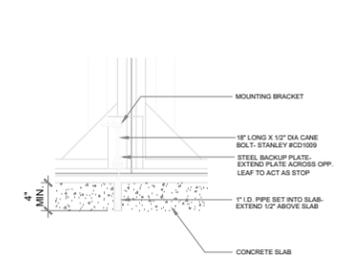
07 LATCH DETAIL
SCALE: 3" = 1'-0"



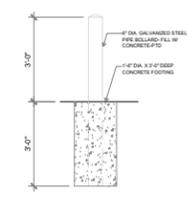
06 FRONT SCREEN WALL ELEVATION
SCALE: 1/2" = 1'-0"



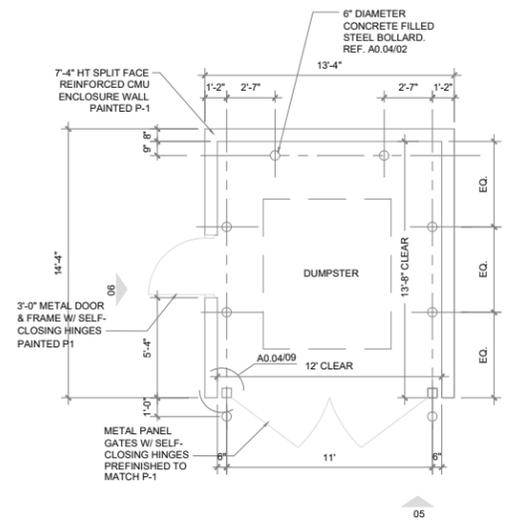
05 SIDE SCREEN WALL ELEVATION
SCALE: 1/2" = 1'-0"



04 GATE DETAIL
SCALE: 3/4" = 1'-0"



02 BOLLARD ELEVATION
SCALE: 3/4" = 1'-0"



NOTE: REFER TO CIVIL PLANS FOR LOCATION

01 DUMPSTER ENCLOSURE FLOOR PLAN
SCALE: 1/4" = 1'-0"



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Sheet Title: **DUMPSTER DETAILS**

Sheet Number: **A0.06**



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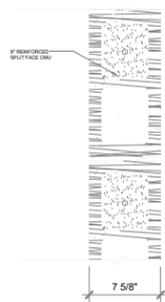
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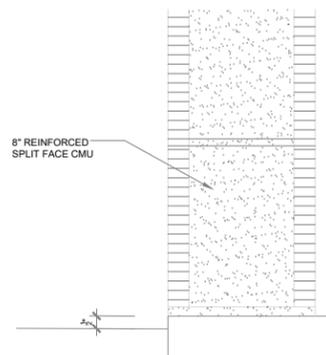
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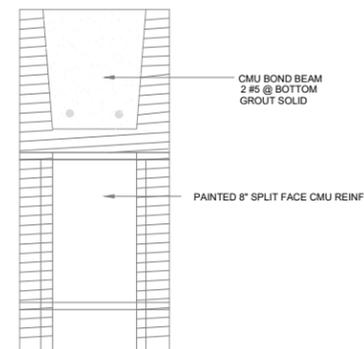
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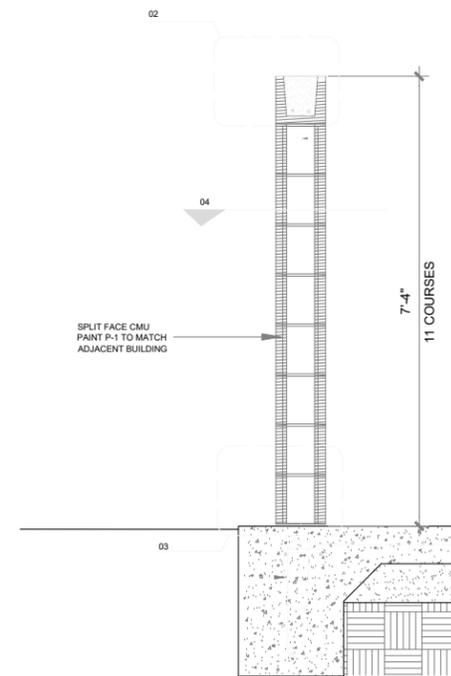
04 SCREEN WALL DETAIL
 SCALE: 3" = 1'-0"



03 SCREEN WALL DETAIL
 SCALE: 3" = 1'-0"



02 SCREEN WALL DETAIL
 SCALE: 3" = 1'-0"



01 SCREEN WALL SECTION
 SCALE: 1/2" = 1'-0"

CASE: SUP 2019-02



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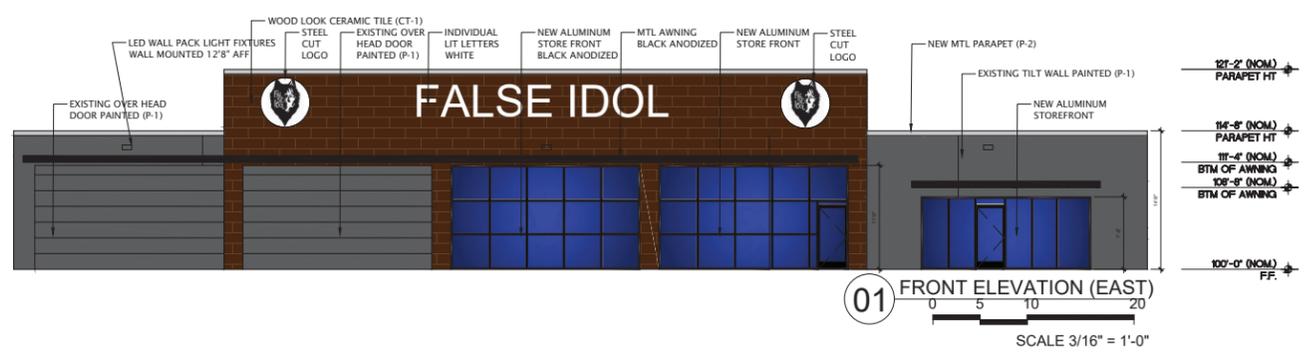
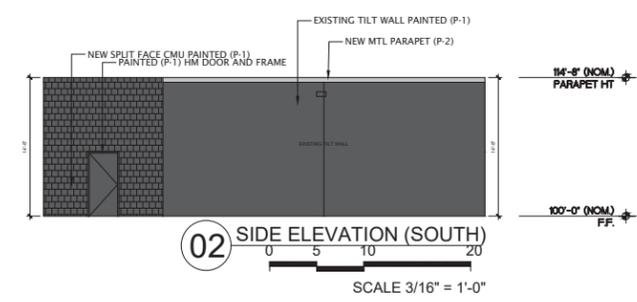
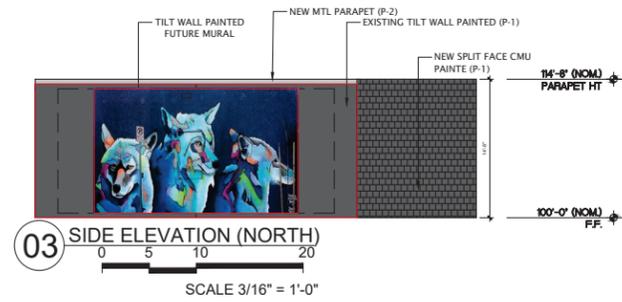
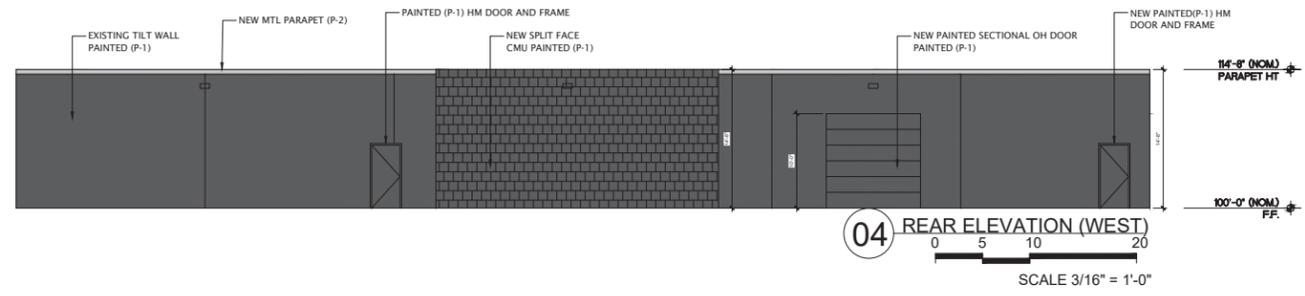
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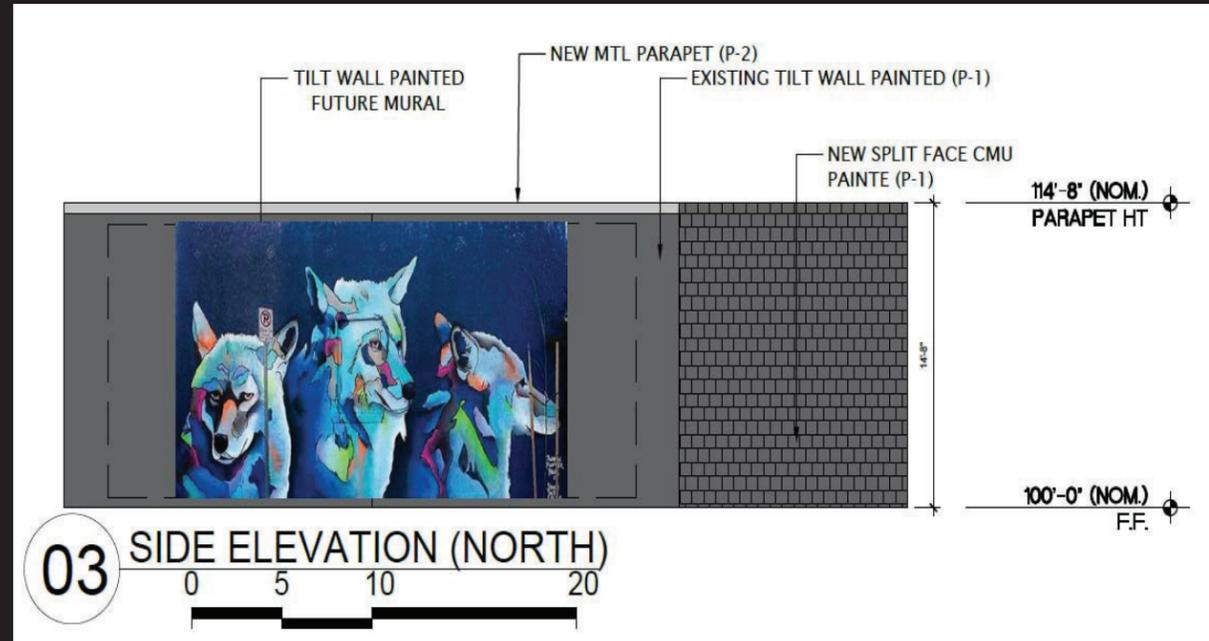
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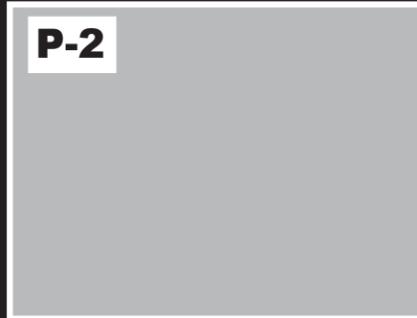
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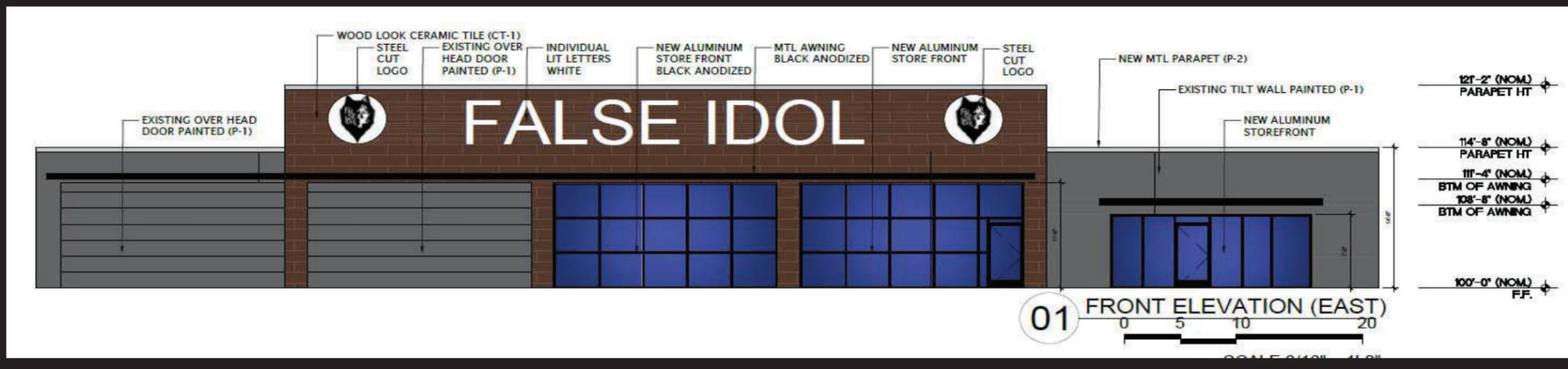
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 FALSE IDOL BREWERY
 7924 MAPLEWOOD AVE, NRH, TX 76180

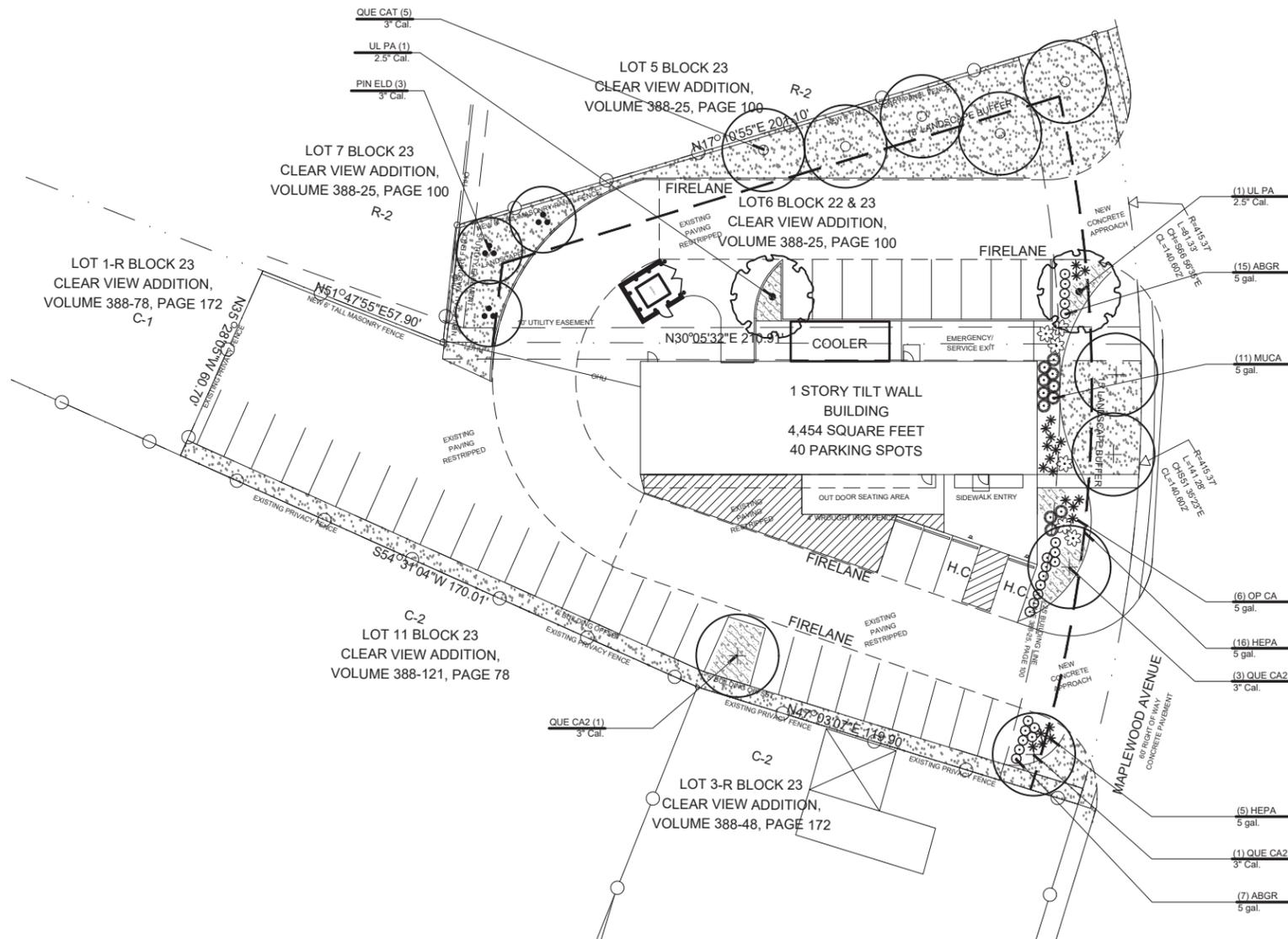
**DALTILE
 CERAMIC WOOD LOOK TILE PLANKING
 SADDLEBROOK XT: WALNUT CREEK SD85**



**KELLY MOORE EXTERIOR
 SANDPIPER COVE
 KM5821
 FINISH: EGGSHELL**

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 SANDPIPER COVE
 KM5821
 FINISH: EGGSHELL**

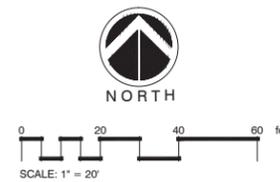




PLANT SCHEDULE

TREES	COMMON NAME
	Alghan Pine
	Cathedral Live Oak
	Drake Elm
SHRUBS	COMMON NAME
	Dwarf Abelia
	Brakelights Red Yucc
	Pink Muhly Grass
	Spineless Prickly Pear
GROUND COVERS	COMMON NAME
	Bermuda Grass - Sod
	Mexican Feathergrass

Required Site Landscape	15% of Total Site to be Landscape	Required	Provided
Required Site Landscape	15% of Total Site to be Landscape	6057 sf	8650 sf
Landscape Setback	Minimum 15' Landscape Setback	15 sf	15 sf
Street Frontage Trees	One (1) 3" Cal. Large Tree per 50 lf of Street Frontage	6 Trees, 3" Cal.	6 Trees, 3" Cal.
Street Frontage Shrubs	10 Small Shrubs per 50 lf of Street Frontage	56 Shrubs, 2' Min. height	60 Shrubs, 2' Min. height
Parking Lot Landscape	5% of Total Parking Area to be Landscape	270 sf	406 sf
Parking Lot Trees	1 Tree Per Every 20 Spaces	2 Trees, 3" Cal.	2 Trees, 3" Cal.
Parking Lot Screening Shrubs	Parking Lots shall be screened from Public View	Screening	Screening
Buffer Yard Requirements	15' Width Buffer between Nonresidential and Residential	15' avg.	15' avg.
Buffer Yard Trees	One (1) Tree, 3" Cal., per 30 lf, 40% shall be evergreen	7 Trees, 3" Cal.	7 Trees, 3" Cal.



- NOTES:
- TEMPORARY IRRIGATION WILL BE REQUIRED TO ESTABLISH TURF IN ALL DISTURBED AREAS WITHOUT A PERMANENT IRRIGATION SYSTEM.
 - PLACE HYDROSEED IN ALL DISTURBED AREAS AS IDENTIFIED ON GRADING AND EROSION CONTROL PLANS. REFERENCE SHEET L-2 FOR PLANT LEGEND.
 - NO LANDSCAPE PLANTINGS WITHIN 30' OF PARKING LOT CURBS, PER CITY OF NORTH RICHLAND HILLS REQUIREMENTS.
 - LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR AND SHALL MAINTAIN THE LANDSCAPING FOR 90 DAYS PAST THE FINAL INSPECTION.

THIS ELECTRONIC DRAWING FILE IS RELEASED UNDER THE AUTHORITY OF GREGORY A. CUPPETT, LANDSCAPE ARCHITECT REGISTRATION NUMBER 2672 ON 03/09/19, WHO MAINTAINS THE ORIGINAL FILE. THIS ELECTRONIC DRAWING FILE MAY BE USED AS A BACKGROUND DRAWING. PURSUANT TO THE RULES AND REGULATIONS OF THE TEXAS STATE BOARD OF ARCHITECTURAL EXAMINERS, THE USER OF THIS ELECTRONIC DRAWING FILE AGREES TO ASSUME ALL RESPONSIBILITY FOR ANY MODIFICATION TO OR USE OF THIS DRAWING FILE THAT IS INCONSISTENT WITH THE REQUIREMENTS OF THE RULES AND REGULATIONS OF THE TEXAS STATE BOARD OF ARCHITECTURAL EXAMINERS. NO PERSON MAY MAKE MODIFICATIONS TO THIS ELECTRONIC DRAWING FILE WITHOUT THE LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION.



CAUTION!!
UNDERGROUND UTILITIES ARE LOCATED IN THIS AREA. 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES, CONTACT LINE LOCATES FOR FRANCHISE UTILITY INFO. CALL BEFORE YOU DIG.
TEXAS EXCAVATION SAFETY SYSTEM (TESS)
1-800-344-8377
TEXAS ONE CALL SYSTEMS
1-800-245-4545
LONE STAR NOTIFICATION CENTER
1-800-669-8344 EXT. 5



CASE: SUP 2019-02



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FALSE IDOL BREWERY
7924 MAPLEWOOD AVE.
NORTH RICHLAND HILLS, TX

SITE PLAN INFORMATION:

TOTAL ACREAGE OF SITE: 40,327 SF
TOTAL SQUARE FOOTAGE OF SITE: 40,327 SF
PROPOSED LOT ZONING: SUIP
TOTAL BUILDING SQUARE FOOTAGE: 4,454 SF
TOTAL NUMBER OF PROVIDED PARKING: 40

Drawn By: CRA-MLP
Checked By: GAW
Project No: 18-44

Revisions		
No.	Date	Description

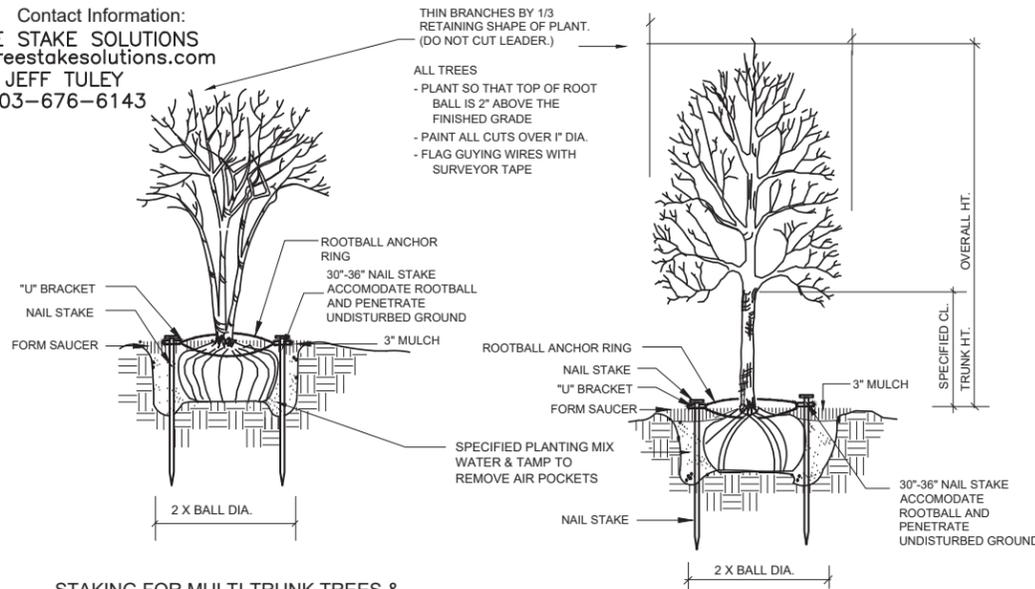
Issued: ZONING CHANGE APPLICATION 12/04/2018

Sheet Title
LANDSCAPE PLAN

L1.01

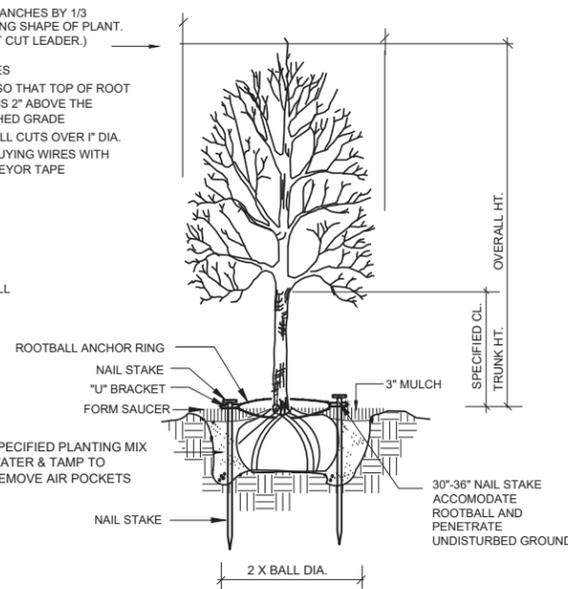
Sheet Number

Contact Information:
TREE STAKE SOLUTIONS
 www.treestakesolutions.com
JEFF TULEY
 903-676-6143



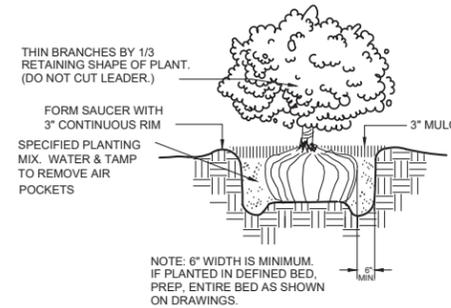
STAKING FOR MULTI-TRUNK TREES & TREES 2" CAL. & UNDER

SCALE: NOT TO SCALE



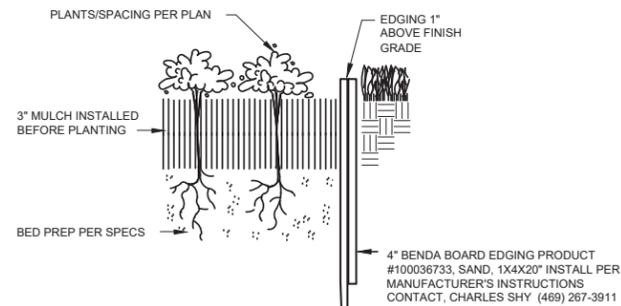
SAFETY STAKE BY TREE STAKE SOLUTIONS

SCALE: NOT TO SCALE



SHRUB PLANTING

SCALE: NOT TO SCALE

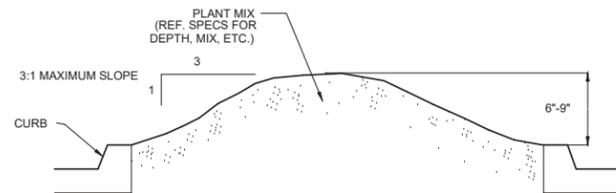


BEDDING PLANTS/ EDGING DETAIL

SCALE: NOT TO SCALE

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPACING	REMARKS
	PIN ELD	3	Pinus ularia	Alghan Pine	3" Cal.	12' Height Min		
	QUE CA2	5	Quercus virginiana 'Cathedral'	Cathedral Live Oak	3" Cal.	12' Min. Ht	As Shown	Single straight trunk. Main leader intact with no broken limbs and not root bound
	QUE CAT	5	Quercus virginiana 'Cathedral'	Cathedral Live Oak	3" Cal.	12' Min. Ht	As Shown	Single straight trunk. Main leader intact with no broken limbs and not root bound
	UL PA	2	Ulmus parvifolia 'Drake'	Drake Elm	2.5" Cal.	8'-10' HT.	As Shown	Single straight trunk. Main leader intact with no broken limbs and not root bound
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPACING	REMARKS
	ABGR	22	Abelia x grandiflora 'Shenwood'	Dwarf Abelia	5 gal.	18"-24"	36" oc	Container grown, mature root system but not root bound. Full broad top
	HEPA	21	Hesperaloe parviflora 'Perpa' TM	Brakelights Red Yucc	5 gal.	18"-24"	30"-36"	Container grown, mature root system but not root bound. Full broad top
	MUCA	11	Muhlenbergia capillaris 'Regal Mist' TM	Pink Muhly Grass	5 gal.	18"-24"	48" oc	Container grown, mature root system but not root bound. Full broad top
	OP CA	6	Opuntia cactanapa 'Ellisiana'	Spineless Prickly Pear	5 gal.	18"-24"	60" oc	Container grown, mature root system but not root bound.
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPACING	REMARKS
	CYN DAC	7,090 sf	Cynodon dactylon	Bermuda Grass - Sod	sod			REF. TURF SPECIFICATIONS
	NA TE	501 sf	Nassella tenuissima 'Pony Tails'	Mexican Feathergrass	1 gal.	10"-12"	24" o.c.	Container grown, mature root system but not root bound. Full broad top



TYPICAL PARKING LOT ISLAND MOUNDING

SCALE: NOT TO SCALE

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 - PLACE HYDROSEED IN ALL DISTURBED AREAS AS IDENTIFIED ON GRADING AND EROSION CONTROL PLANS. REFERENCE SHEET L-2 FOR PLANT LEGEND.
 - NO LANDSCAPE PLANTINGS WITHIN 30' OF PARKING LOT CURBS, PER CITY OF NORTH RICHLAND HILLS REQUIREMENTS.
 - LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR AND SHALL MAINTAIN THE LANDSCAPING FOR 90 DAYS PAST THE FINAL INSPECTION.

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CASE: SUP 2019-02



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Sheet Title

PLANTING DETAILS

L1.02

Sheet Number

SECTION 02800

FINISH GRADING, LAWN WORK, WILD FLOWERS

PART I - GENERAL

1.01 DESCRIPTION

A. Work includes turf establishment (sod, hydromulch, etc.) as described on drawings.

B. Make required analysis and material tests for topsoil, fertilizers, and other materials of similar character per current methods of the Association of Official Agricultural Chemists, when required.

C. Grass seed shall conform to tolerances for germination and purity per applicable standards of U.S. Department of Agriculture.

D. The turf contractor shall have a stand of grass established prior to substantial completion of the project. If this is not possible due to time of year or schedule, he shall maintain and protect the seeded areas until the grass is established.

PART II - PRODUCTS

2.01 TOPSOIL MATERIAL

A. Topsoil material (stockpiled, as specified in Specifications) has been saved for use in finish grading. After sifting out all plant growth, rubbish, and stones, use for areas designated to receive grass. If stockpiled topsoil is not sufficient quantity to complete work, furnish acceptable topsoil from another approved source to provide four inches (4") of topsoil for grass areas unless otherwise noted on drawings. Grass areas shall be defined as the graded areas disturbed during construction not to be paved or built upon.

B. Acceptable topsoil material shall be defined as natural, fertile, agricultural soil, capable of sustaining vigorous plant growth, uniform composition throughout admixture of subsoil, free of stones, lumps, plants, and their roots, sticks, or other extraneous matter; do not deliver while in a frozen or muddy condition.

2.02 FERTILIZER

A. Provide a commercial balanced fertilizer delivered to the job in bags labeled with manufacturer's guaranteed analysis. Store in weatherproof storage, place in such a manner that its effectiveness will not be impaired.

B. Fertilizer shall be a grade containing the percentages of plant food elements by weight as specified elsewhere in these specifications.

C. Availability of various elements shall be per Standards of the Association of Official Agricultural Chemists.

2.03 GRASS SEED

A. Grass seed shall be of the previous season's crop and the date of analysis shown on each bag shall be within nine (9) months of the time of delivery to the project. When requested by the Owner or Representative, the seeding contractor shall furnish a sample of seed from each bag for testing.

B. The seed shall comply with all provisions of the U.S. Department of Agriculture as to labeling, purity, and germination.

2.04 MULCHING

A. Dry straw or hay of good quality, free of seeds of competing plants and at such rate of 1 1/2 - 2 tons per acre; or,

B. Wood cellulose or cane fiber mulch at a rate of 1,000 pounds per acre when the slope is 3/4:1 and steeper; or,

C. A combination of good quality dry straw or hay free of seeds of competing plants at a rate of 2 1/2 tons per acre and wood cellulose or cane fiber mulch at a rate of 500 pounds per acre. This combination shall be used when the slope is flatter than 3/4:1; or,

D. *Sericea lespedza* seed bearing hay at a rate of 3 tons per acre. This mulch may be applied green or air dried, but must contain mature seed.

E. Manufactured mulch materials, such as soil retention blankets, erosion control netting, or others that may be required on special areas of high water concentration or unstable soils. When these materials are used, follow the manufacturer's recommendations for installation.

2.05 HYDRO-MULCHING

Wood cellulose fiber or cane fiber mulch will be applied with hydraulic seeding and fertilizing equipment. All slurry ingredients shall be mixed to form a homogeneous slurry and spray applied within one hour after the mixture is made.

When wood cellulose or cane fiber mulch is used at the 500 pound per acre rate, straw or hay mulch with asphalt emulsion is applied over this to complete the mulch.

Wood cellulose or cane fiber mulch at the 1,000 pound per acre rate is used alone where other mulch material will not stick.

Wood cellulose or cane fiber mulch is self anchoring.

PART III - EXECUTION

3.01 RESPONSIBILITY

The site grading contractor will be responsible to stockpile acceptable topsoil in a sufficient quantity to provide four inches (4") minimum cover for all grass areas, including but not limited to all curbed islands, and topsoil planting mounds/berms at the appropriate height and width as defined and shown on the landscaping and/or planting drawings. The topsoil and grass areas shall be further defined as any area disturbed during the grading and construction process.

The site grading contractor, shall be responsible to spread the topsoil within all perimeter graded areas and future building areas only.

The site grading contractor shall be responsible for backfilling of all curbed islands and planting mounds/berms. They shall also be responsible for removal of all stones, roots, and raking of all topsoil areas that are to be seeded and/or planted. It will also be the site grading contractor's responsibility to provide fertilizer, grass seed, and any additional topsoil required and mulching.

3.02 GRASS SEEDING

A. Remove stones, roots, rubbish and other deleterious materials from topsoiled areas that are to be seeded.

B. Immediately prior to sowing seed, scarify ground as necessary; rake until surface is smooth and friable. Sow seed evenly, lightly wood rake into 02800-3

C. Ground, then roll ground with suitable roller; water thoroughly with fine spray. During any weather, keep lawn watered with sprinklers or other approved methods. Re-seed any areas not doing well or damaged. At intervals as may be required according to seasonal conditions, mow and water grass and execute necessary weeding until acceptable and full stand of grass has been obtained.

D. Provide permanent grass seeding for lawn areas so indicated. Seed in accordance with the following schedule (unless otherwise directed by Owner or Owner's Representative:)

1. Sow areas ready for seeding between March 1 and October 1 with Hulled Common Bermuda at a rate of 85 pounds per acre.

2. Sow areas ready for seeding between October 1 and March 1 with Unhulled Common Bermuda at a rate of 90 pounds per acre, and Annual Rye Grass at the rate of 50 pounds per acre.

3. Apply fertilizer at a rate of 20/25 pounds per 1,000 square feet.

3.03 WILD FLOWERS

A. Areas indicated on plans to receive wild flower coverage shall be fine graded, fertilized, and prepared in a manner similar to traditional turf establishment.

B. Area to be hydromulched with seed mix as follows:

Tickseed	10 pounds/acre
Cosmos	15 pounds/acre
Ox-Eyed Daisy	5 pounds/acre
Side Oats Grama	4 pounds/acre
Showy Primrose	0.5 pounds/acre
Plains Coreopsis	2 pounds/acre
Black Eyed Susan	2 pounds/acre
Indian Blanket	10 pounds/acre
Texas Bluebonnet	4 pounds/acre
Little Bluestem	4 pounds/acre

3.04 MULCH

A. All areas to be seeded shall be mulched.

B. Mulch materials shall be applied uniformly over the seeded area. Mulch shall be straw and shall be at the rate of 1 1/2 - 2 tons per acre.

B. Mulch shall be anchored with an emulsified asphalt binder at the rate of 10 gallons per 1,000 square feet.

3.05 PROTECTION

Provide, at no additional cost to Owner, fencing, railing, wire or other types of protection for topsoiled and seeded areas against trespassing and damage. If lawns are damaged prior to Final Acceptance, treat or replace them as directed. Remove protection when so directed.

3.06 MAINTENANCE

Provide maintenance from start of work until Final Acceptance. Maintenance includes watering of lawns, weeding, mowing, edging, repairs of wash-outs and gullies, repairs to protection, and other necessary work of maintenance. Maintain slopes against erosion.

3.07 REHYDROMULCHING

The Owner's representative will designate areas to be replanted. Areas on which a stand of growing grass is not present in a reasonable length of time, (Bermuda grass seed should be germinating in 6-8 days) shall be prepared, reseeded and remulched, as specified for original planting at no additional cost to Owner. A stand shall be defined as live plants from seed occurring at a rate of not less than 1,000 growing plants per square foot. Replanting required because of faulty operations or negligence on the part of the Contractor shall be performed without cost to Owner.

3.08 FINAL CLEAN-UP

A. At time of final inspection of work, and before final acceptance, clean paved areas that are soiled or stained by operations of work of this section. Clean by sweeping or washing, and remove all defacements or stains.

B. Remove construction equipment, excess material and tools. Cart away from site any debris resulting from work of this section and dispose of as directed.

SECTION 02922

SODDING

PART I - GENERAL

1.01 DESCRIPTION

A. Work Included

- Sod bed preparation
- Fertilizing
- Sodding
- Miscellaneous management practices

B. Related Work Specified Elsewhere

- Finish Grading, Section 02800
- Lawns and Grasses, Section 02930

1.02 REFERENCE STANDARDS

A. Standardized Plant Names

American Joint Committee of Horticultural Nomenclature, Second Edition, 1942.

B. Texas Highway Department - Standard Specifications for Construction, Item 164, Seeding for Erosion Control.

1.03 SUBMITTALS

A. Vendors Certification That Sod Meets Texas State Sod Law

- Include labeling requirements.
- Include purity and type.

1.04 PRODUCT DELIVERY, STORAGE AND HANDLING

A. Sod:

- Previous season's crop with date of analysis on each bag.
- Furnish and deliver each variety in separate bags or containers.
- Sod to be cut no more than three days before delivery.

B. Fertilizer:

- Unopened bags labeled with the analysis.
- Conform to Texas Fertilizer Law.

1.05 JOB CONDITIONS

A. Planting Season:

- Only during suitable weather and soil conditions.
- As specifically authorized by the Owner's Representative.

B. Schedule - Only after all other construction is complete.

C. Protect and Maintain Sodded Areas

- From traffic and all other use.
- Until sodding is complete and accepted.

PART II - PRODUCTS

2.01 MATERIALS

A. Sod:

- Sod: As specified on drawings, weed, insect, and disease free having a minimum of 1 inch of topsoil attached to the roots and cut no more than three days prior to installation.
- The sod shall be cut in strips of at least 1/2 sq. yd. and not more than 1 sq. yd. Sod shall be cut into strips not less than 12" in width or more than 9' in length. At the time of harvest, the top growth shall not exceed 3" in length.
- All sod shall conform to the laws of the State and shall be obtained from sources meeting the approval of the Department of Agriculture, Division of Entomology.

B. Fertilizer:

- Uniform in composition, free flowing.
- Suitable for application in approved equipment.
- Analysis of 16-20-0, 16-8-8 or as directed.

C. Water:

- Free of oil, acid, alkali, salts or other substances harmful to growth of grasses.

PART III - EXECUTION

3.01 SOD BED PREPARATION

A. Cultivate to a depth of four (4") inches by disking and tilling with a power tiller.

B. Clear surfaces of all materials:

- Stumps, stones, and other objects larger than one inch (1").
- Roots, brush, wire, stakes, etc.
- Any objects that may interfere with sodding or maintenance.

C. Prepare sod bed:

- Remove soil clods larger than one inch (1").
- Grade areas to smooth, even surface, removing ridges and filling depressions. Final grade to be below finish grade of curbing and edging as shown on details. All grades shall meet approval of Owner's Representative before sodding.

3.02 SODDING

A. Sodding:

- Lightly water prepared grade, lay sod with staggered joints and with edges touching. Topdress with topsoil at edges if necessary to provide smooth surface. On slopes of 2 to 1 and greater, fasten sod in place with wood pegs (two each piece) or other approved method. Sod damaged by storage or during installation shall be rejected. Following setting, topdress with screened, approved topsoil.
- Water and fertilize at 5 lbs. per 1,000 sq. ft.
- Sod shall not be placed during a drought, nor during periods when sod is not normally placed in the area, and shall not be placed on frozen ground. No dry or frozen sod is acceptable.
- The contractor shall keep all sodded areas moist and growing until Final Acceptance. All areas shall be maintained in an acceptable condition until acceptance by Owner.

B. Rolling:

- After placing sod, roll with a hand roller, weighing not more than 100 lbs. per foot of width, in two directions.
- Eliminate all air pockets; finished surface should be free of excessive undulations.

3.05 MAINTENANCE AND MANAGEMENT

A. Includes protection, replanting, maintaining grades, repair of erosion damage. Also includes weekly mowing at 1 1/2" height until final acceptance.

B. Resodding:

- Resod damaged or unacceptable areas.
- Ruts, ridges, and other surface irregularities shall be corrected.



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TURF
SPECS

L1.04
Sheet Number

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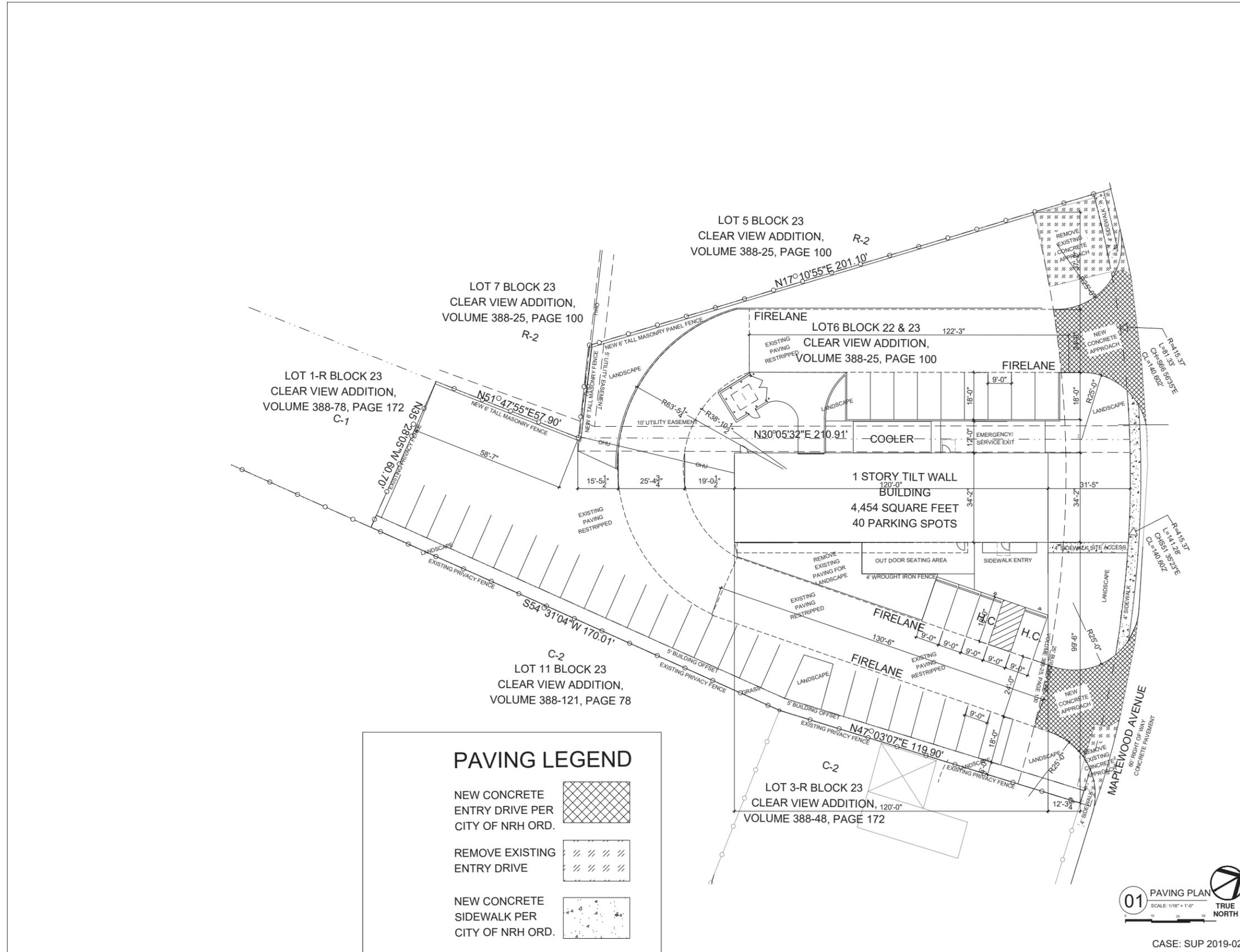
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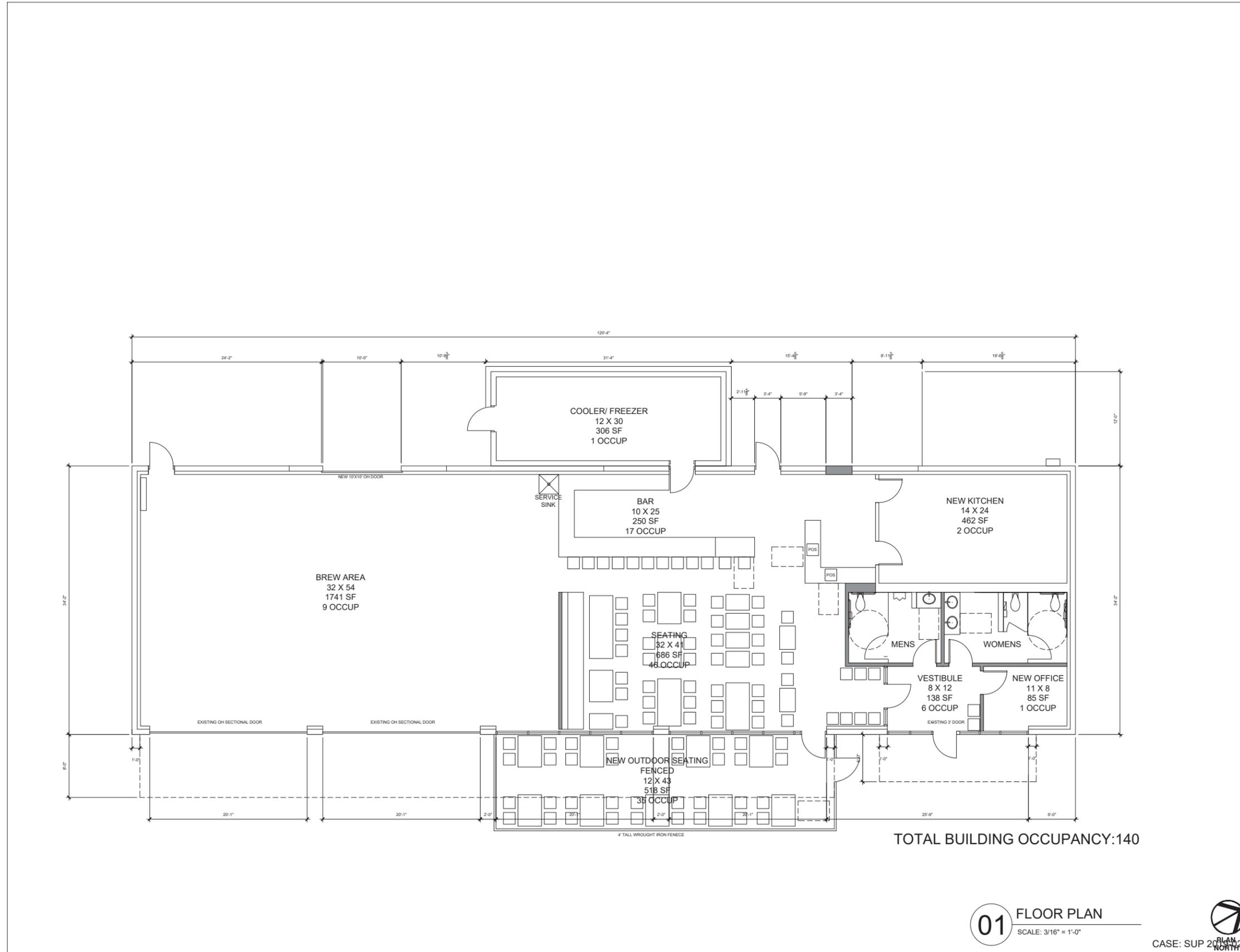
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Sheet Title:
ARCHITECTURAL PAVING PLAN

A1.02

Sheet Number



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FLOOR PLAN
A2.01
Sheet Number

01 FLOOR PLAN
SCALE: 3/16" = 1'-0"



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