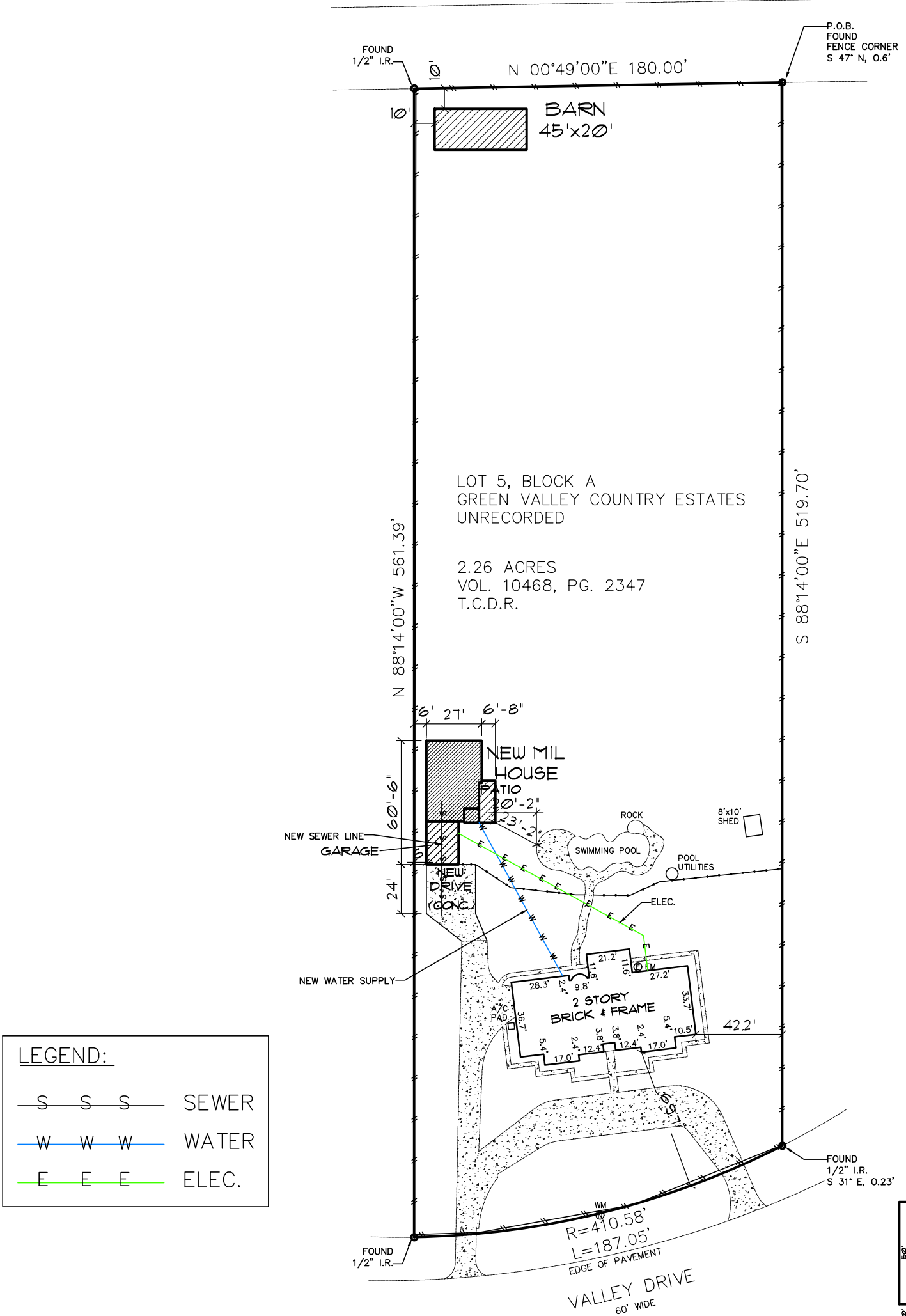


IT SHALL BE THE FULL RESPONSIBILITY OF THE BUILDER TO  
VERIFY ALL ASPECTS OF THIS PLAN AND ADJUST IF REQUIRED

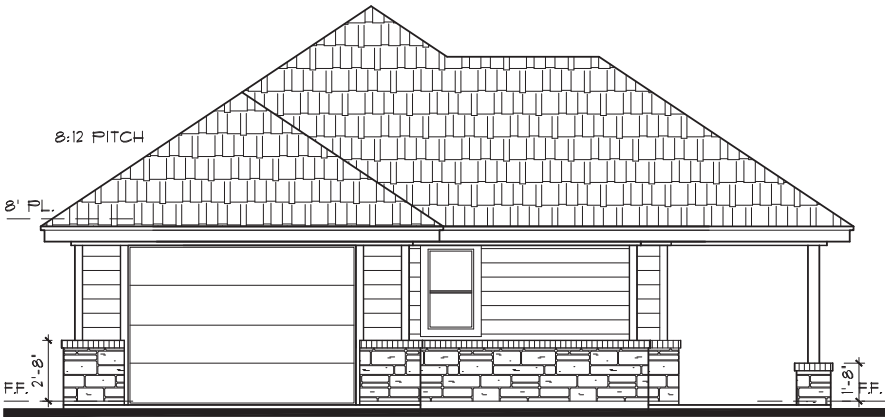


PLOT PLAN  
SCALE 1" = 60'  
SHEPARD  
LOT 5, BLOCK A  
DATE: JUNE 28, 2018



INDEX OF DRAWINGS:

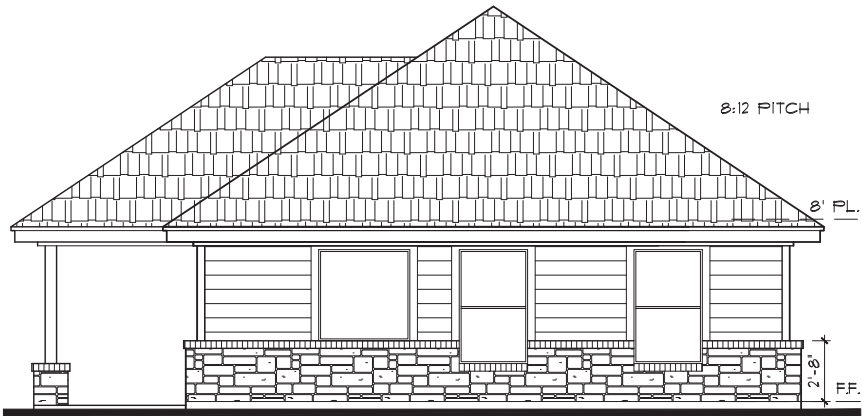
- 1 EXTERIOR AND INTERIOR ELEVATIONS
- 2 FLOOR PLAN, DOOR & WINDOW SCHEDULE, ELECTRICAL/LIGHTING PLAN
- 3 ROOF PLAN, DETAILS
- 4 BARN PLAN, ROOF, ELEVATIONS
- 5 FOUNDATION PLAN
- 6 BRACING PLAN
- 7 WIND BRACING DETAILS



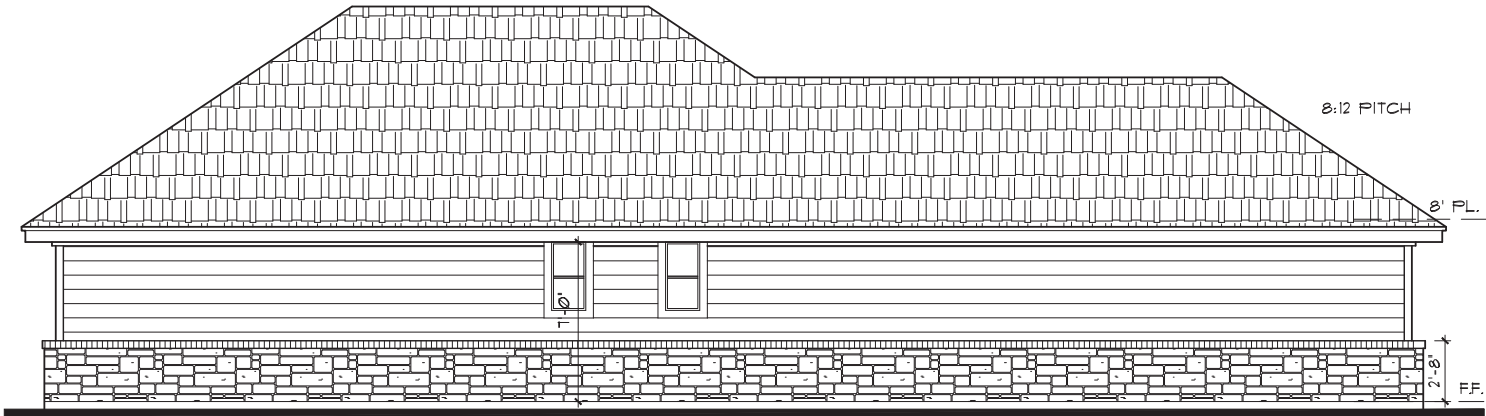
FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

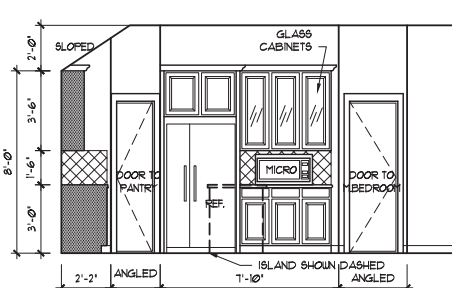


REAR ELEVATION  
SCALE: 1/4" = 1'-0"

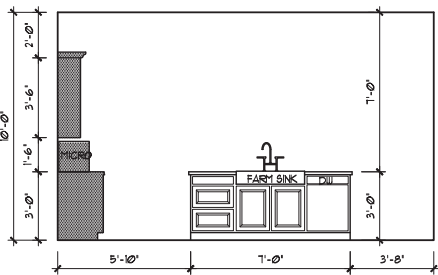


LEFT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

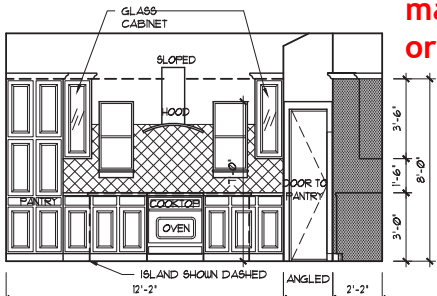
**CONDITION OF APPROVAL - AUGUST 27, 2018**  
**The exterior wall surfaces must be constructed with at least 85% masonry materials, as required by Section 118-761 of the zoning ordinance.**



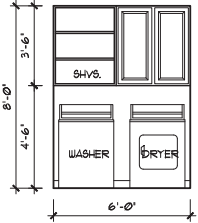
ELEVATION 1 - KITCHEN  
SCALE: 1/4" = 1'-0"



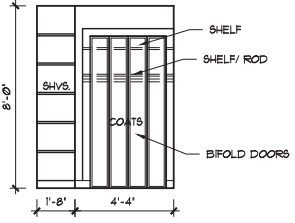
ELEVATION 2 - ISLAND  
SCALE: 1/4" = 1'-0"



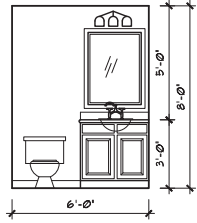
ELEVATION 3 - KITCHEN  
SCALE: 1/4" = 1'-0"



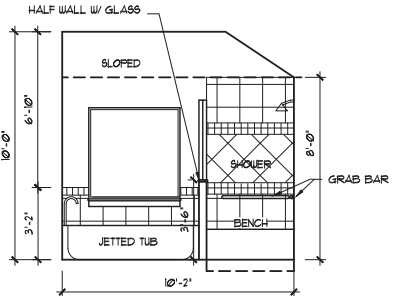
ELEVATION 4  
UTILITY  
SCALE: 1/4" = 1'-0"



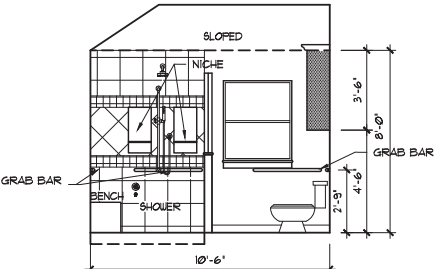
ELEVATION 5  
UTILITY  
SCALE: 1/4" = 1'-0"



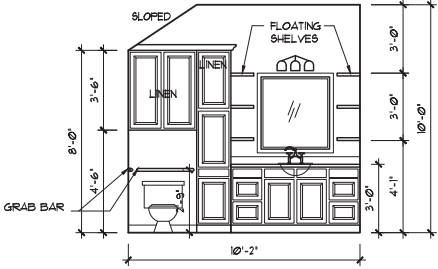
ELEVATION 6  
POOL BATH  
SCALE: 1/4" = 1'-0"



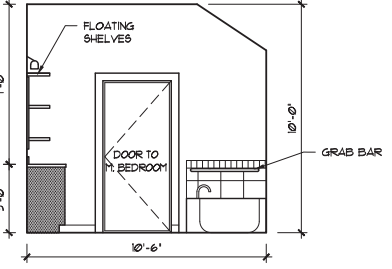
ELEVATION 7 - M. BATH  
SCALE: 1/4" = 1'-0"



ELEVATION 8 - M. BATH  
SCALE: 1/4" = 1'-0"



ELEVATION 9 - M. BATH  
SCALE: 1/4" = 1'-0"



ELEVATION 10 - M. BATH  
SCALE: 1/4" = 1'-0"

NOTE:  
FIELD VERIFY DIMENSIONS,  
PLUMBING FIXTURES AND  
APPLIANCES BEFORE ORDERING  
MATERIALS. VERIFY WITH OWNER  
FINAL DESIGN AND LAYOUT.

NOTE: IT IS THE SOLE RESPONSIBILITY  
OF THE BUILDER TO VERIFY ALL  
ASPECTS OF THIS PLAN AND TO  
ENSURE THAT THIS PLAN MEETS  
ALL GOVERNING CODES &  
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Direct  
Home Design  
PO BOX 48631  
Watauga, TX  
76148  
(817)576-3510

SQUARE FOOTAGE

LIVING:	996
POOL PAD:	49
PATIO:	161
GARAGE:	329
TOTAL U/R:	1535
BARN:	900

1/4" PRINTS HALF SCALE

Drawn WB  
Date 6-29-18

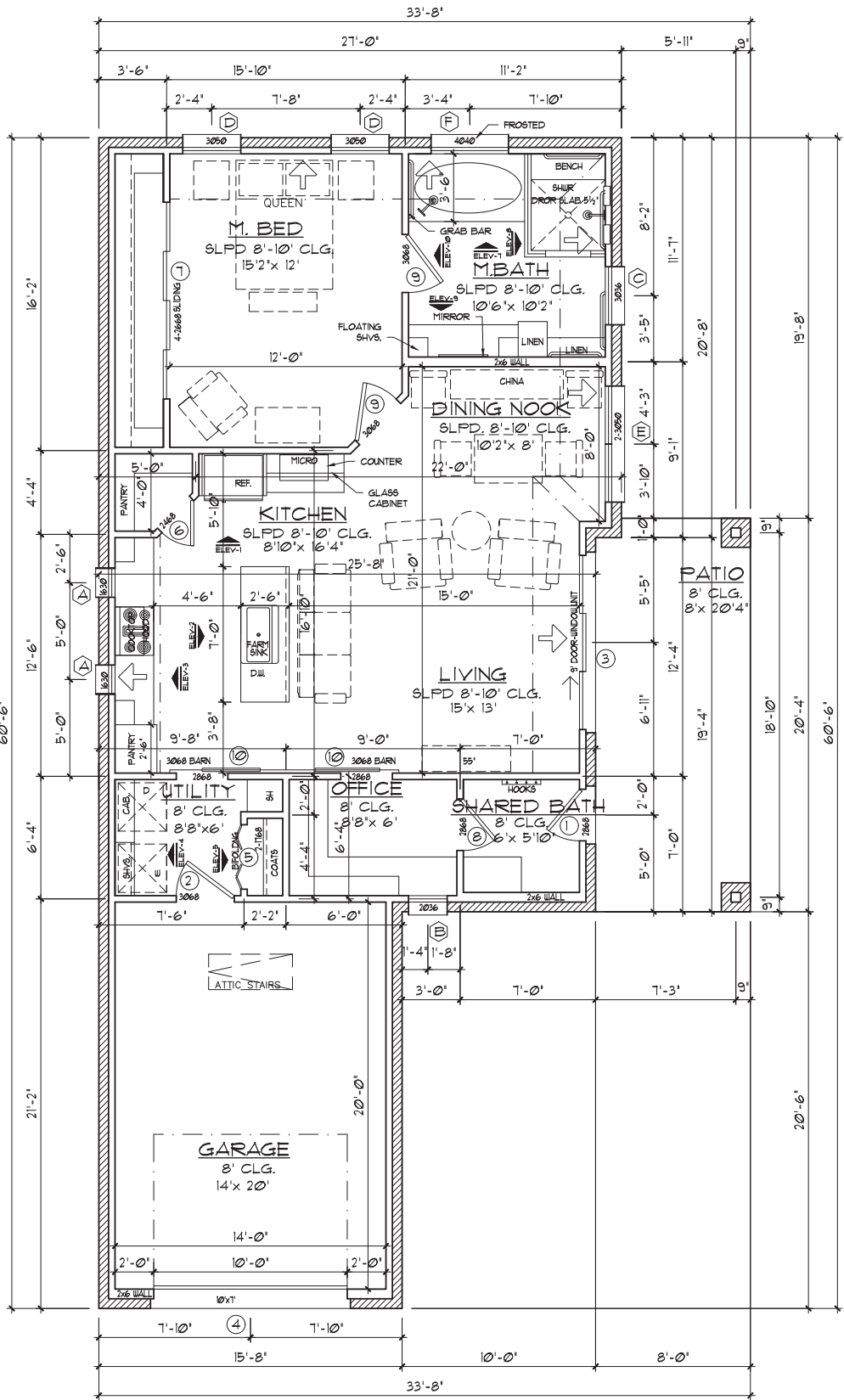
PROPERTY  
ADDRESS:

8025 VALLEY DR.  
NORTH RICHLAND  
HILLS, TX, 76182

PLAN NO.

SHEPARD

PG. 1 OF 7

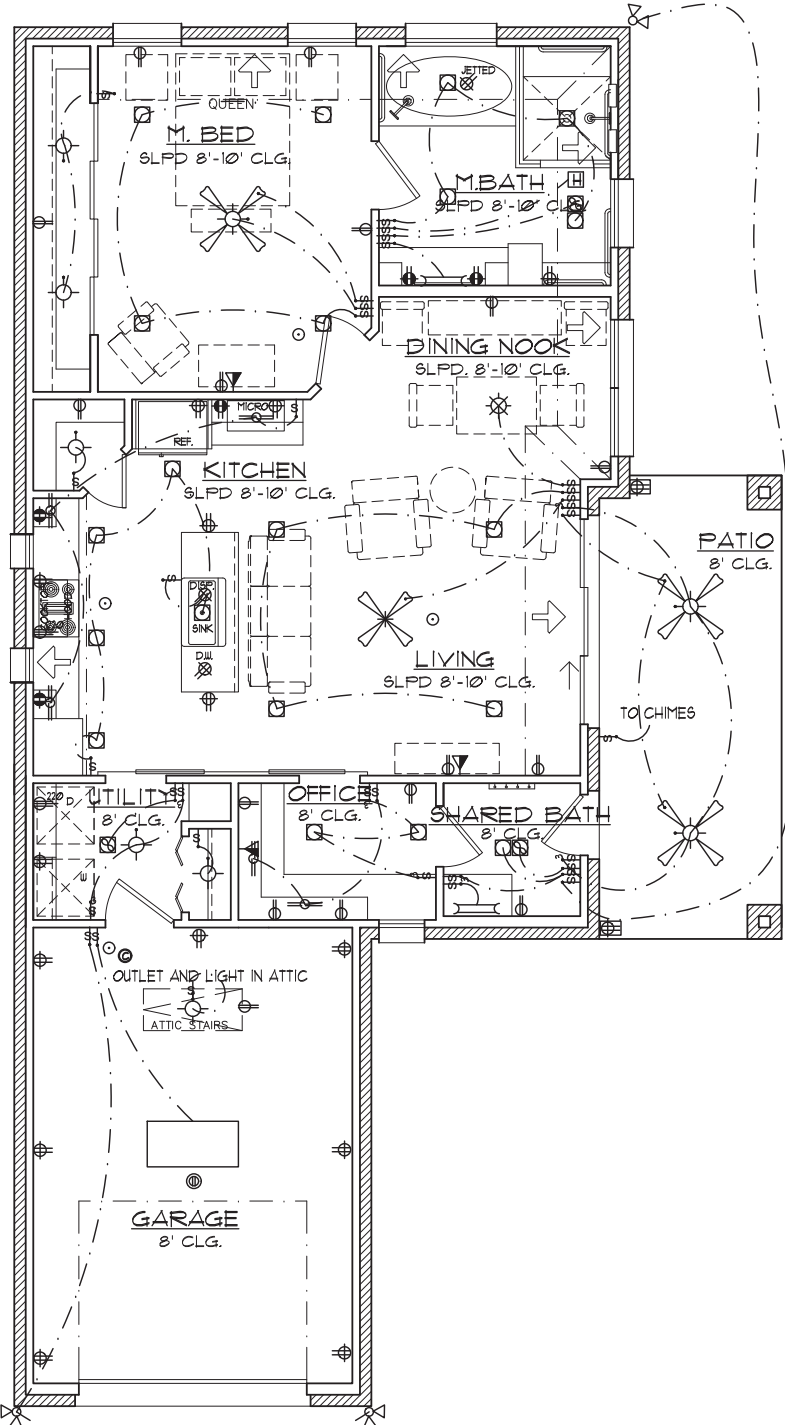


FLOOR PLAN  
SCALE: 1/4" = 1'-0"

WINDOWS				
NO	SIZE	TYPE	DSCR/ LOCATION	QTY.
(A)	1630	SH	KITCHEN	2
(B)	2036	SH	OFFICE	1
(C)	3036	SH	M. BATH	1
(D)	3050	SH	M. BEDROOM	2
(E)	2-3050	SH	DINING NOOK	1
(F)	4040	FIXED	M. BATH-FROSTED	1

DOORS				
NO	SIZE	TYPE	DSCR/ LOCATION	QTY.
(1)	2868	EXT.	SHARED BATH	1
(2)	3068	EXT.	GARAGE	1
(3)	9'X6'8"	EXT.	PATIO-WINDOW UNIT	1
(4)	10'X1'	EXT.	O.H./ GARAGE	1
(5)	2-1168	INT.	UTILITY-BIFOLDING	1
(6)	2468	INT.	PANTRY	1
(7)	4-2668	INT.	M. BEDROOM	1
(8)	2868	INT.	SHARED BATH	1
(9)	3068	INT.	M. BEDROOM & M. BATH	2
(10)	3068	INT.	UTILITY & OFFICE	2

DOORS AND WINDOWS ARE NOTED IN FEET AND INCHES



ELECTRICAL PLAN  
SCALE: 1/4" = 1'-0"

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ELECTRICAL LEGEND

VERIFY LOCATION, SIZE, STYLE, TYPE OF FIXTURE, AND MOUNTING HEIGHTS OF ALL ELECTRICAL FIXTURES.

- CEILING FAN
- CEILING FAN WITH LIGHT KIT
- EXHAUST FAN
- HEATER
- 2'X4' FLUORESCENT FIXTURE SURFACE MOUNT
- RECESSED LIGHT FIXTURE
- LED-RECESSED LIGHT FIXTURE
- ADJUSTABLE RECESSED WALL-WASH INCANDESCENT FIXTURE
- HANGING LIGHT
- LIGHT FIXTURE, CLG. SURFACE MNT.
- VANITY LIGHT
- UNDER UPPER CABINET STRIP LIGHTING
- SCONCE LIGHT
- UPLIGHT
- DOUBLE-HEAD FLOOD FIXTURE
- 110 v WATERPROOF 20 AMP G.F.I. OUTLET
- 110 v OUTLET ON GROUND FAULT CIRCUIT INTERRUPTER
- 110 v GFCI OUTLET 8" ABOVE COUNTERTOP
- 220 v. OUTLET
- 110 v FLOOR OUTLET SEE OWNER /LOC.
- 110 v AT CEILING
- 110 v. OUTLET
- QUADRUPLUX OUTLET
- EVE PLUG
- SWITCH
- 3-WAY SWITCH
- THERMOSTAT
- JUNCTION BOX
- SMOKE DETECTOR AC/DC
- CARBON MONOXIDE DETECTOR AC/DC
- CHIMES
- T.V./ CABLE/ DATA/ PHONE
- RECESSED TREAD LIGHT
- COUNTERTOP SWITCH

NOTE: IT IS THE SOLE RESPONSIBILITY OF THE BUILDER TO VERIFY ALL ASPECTS OF THIS PLAN AND TO ENSURE THAT THIS PLAN MEETS ALL GOVERNING CODES & REQUIREMENTS.

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Watauga, TX 76148  
(817)576-3510

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BARN: 900

11X17 PRINTS HALF SCALE

Drawn WB  
Date 6-29-18

PROPERTY ADDRESS:

8025 VALLEY DR  
NORTH RICHLAND HILLS, TX, 76182

PLAN NO.

SHEPARD

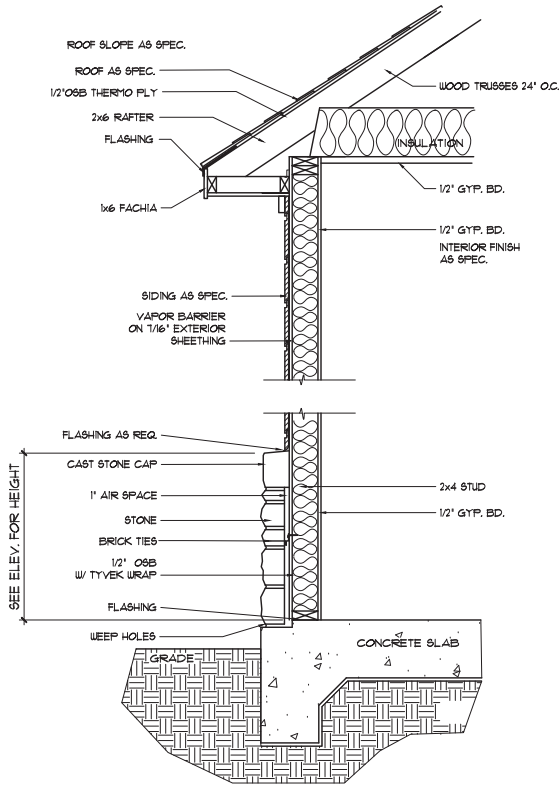
PG. 2 OF 7

CEILING JOIST SIZE & SPAN

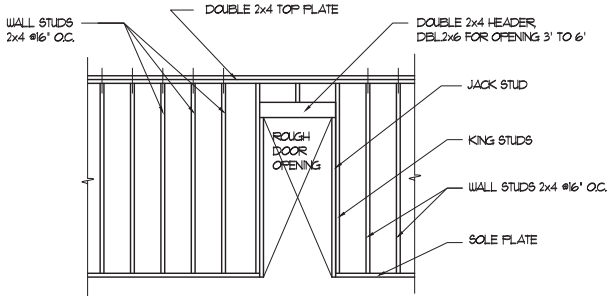
2x6	UP TO	9'-10"
2x8	UP TO	12'-6"
2x10	UP TO	14'-9"
2x12	UP TO	17'-5"

FRAMING NOTES:

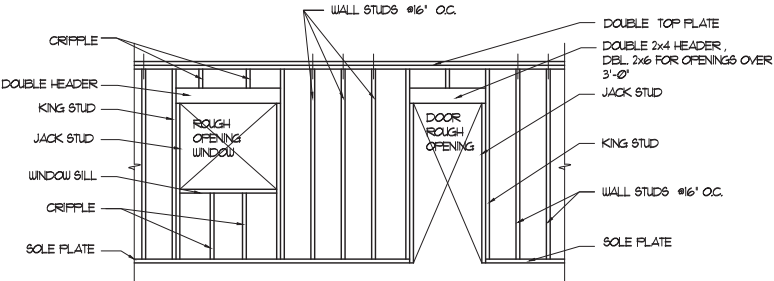
1. ALL EXTERIOR HEADERS TO BE: 2x8 #2 YP IN 2x4 WALLS AND (3) 2x8 #2 YP IN 2x6 WALLS (UNLESS NOTED OTHERWISE)
2. ALL INTERIOR HEADERS TO BE: (2) 2x6 #2 YP IN 2x4 WALLS AND (3) 2x6 #2 IN 2x6 WALLS (UNO)
3. ALL CEILING JOISTS TO BE: AS PER PLAN & @ 24" o.c.(UNO)
4. ALL RAFTERS TO BE: 2x6 #2 YP @ 24" o.c (UNO)
5. ALL RAFTERS LONGER THAN 12' ARE TO BE SUPPORTED AT MID SPAN WITH 2x6 (MINIMAL) PURLINS WITH LEGS TO LOAD BEARING BEAMS. LEGS TO BE MINIMUM OF 2x4 WITH 2x4 STRONGBACKS. LEG SPACING TO PURLING SHALL NOT EXCEED 6'. IF LEGS EXTENDS 8' OR MORE, DOUBLE 2x4 STRONGBACKS ARE REQUIRED. AS AN ALTERNATE, SOME RAFTERS LONGER THAN 12' MAY BE SUPPORTED AT MID SPAN SOLELY BY LEGS TO LOAD BEARING WALLS OR LOAD BEARING BEAMS PER THE LEG REQUIREMENTS SPECIFIED IN THIS PARAGRAPH.
6. ALL HIPS, VALLEYS AND RIDGES TO BE: 2x8 #2 YP(UNO)
7. ALL VALLEY AND HIP RIDGE BEAMS LONGER THAN 15' ARE TO BE SUPPORTED AT MID SPAN WITH LEGS. LEG SPECIFICATION SHALL BE IN ACCORDANCE WITH THE ITEM #5 ABOVE.



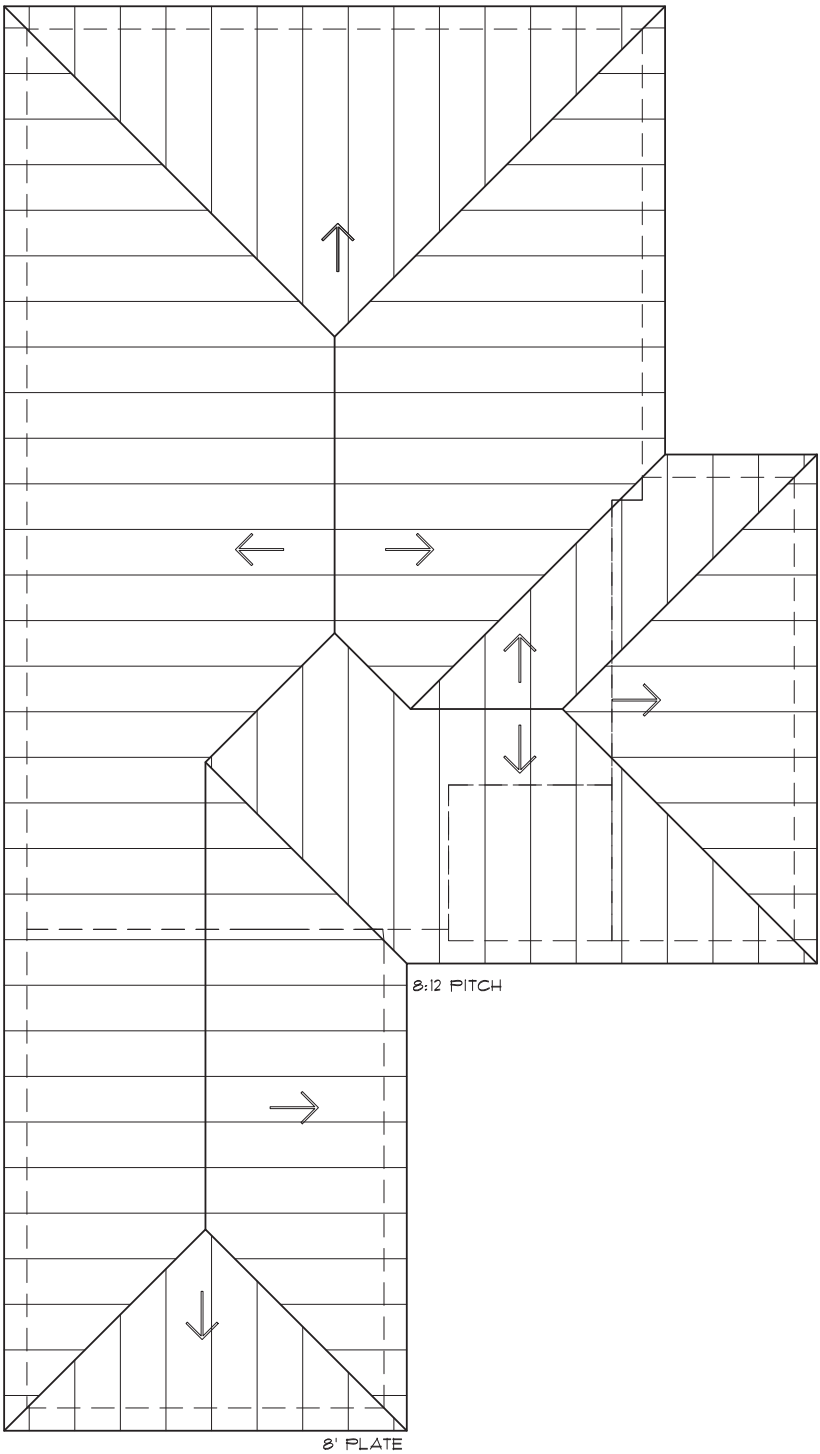
DETAIL -  
TYPICAL WALL SECTION-ROCK  
SCALE: 3/4" = 1'-0"



DETAIL - TYPICAL INTERNAL WALL ELEVATION  
SCALE: 1/4" = 1'-0"



DETAIL - TYPICAL EXTERNAL WALL ELEVATION  
SCALE: 1/4" = 1'-0"

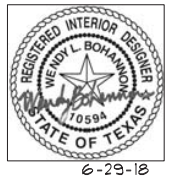


ROOF PLAN  
SCALE: 1/4" = 1'-0"

- ROOF NOTES:
1. SLOPE TO MATCH HOUSE AT 8:12 PITCH (VERIFY).
  2. 8' PLATE HEIGHT UNLESS OTHERWISE NOTED.
  3. 12' OVERHANG UNLESS OTHERWISE NOTED.
  4. FINISH MATERIALS TO MATCH EXISTING MAIN HOUSE UNLESS OTHERWISE NOTED.
  5. REFER TO ELEVATIONS AND PLAN FOR MORE INFORMATION.

NOTE: IT IS THE SOLE RESPONSIBILITY OF THE BUILDER TO VERIFY ALL ASPECTS OF THIS PLAN AND TO ENSURE THAT THIS PLAN MEETS ALL GOVERNING CODES & REQUIREMENTS.

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76148  
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SQUARE FOOTAGE

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PATIO:	161
GARAGE:	329
TOTAL U/R:	1535

BARN: 900

11X17 PRINTS HALF SCALE

Drawn WB  
Date 6-29-18

PROPERTY  
ADDRESS:

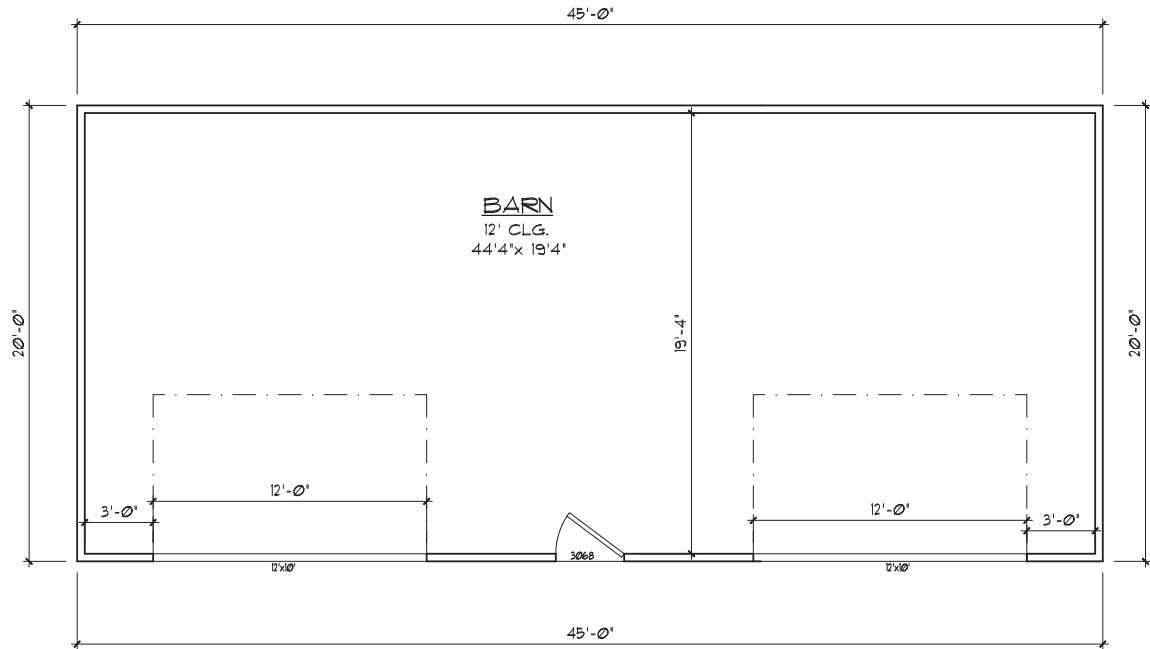
8025 VALLEY DR  
NORTH RICHLAND  
HILLS, TX, 76182

PLAN NO.

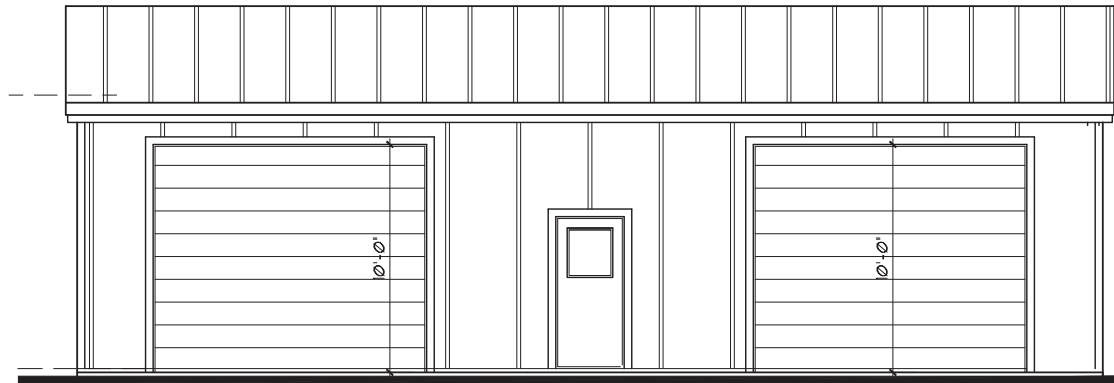
SHEPARD

PG. 3 OF 7

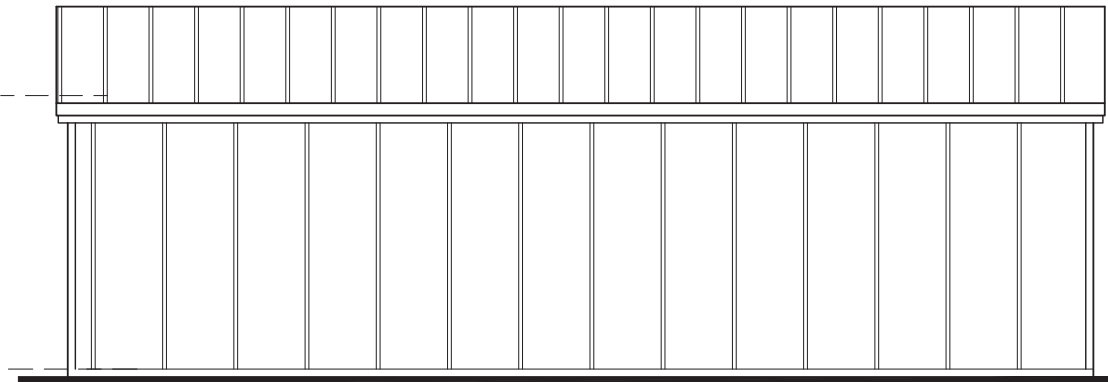




FLOOR PLAN  
SCALE: 1/4" = 1'-0"

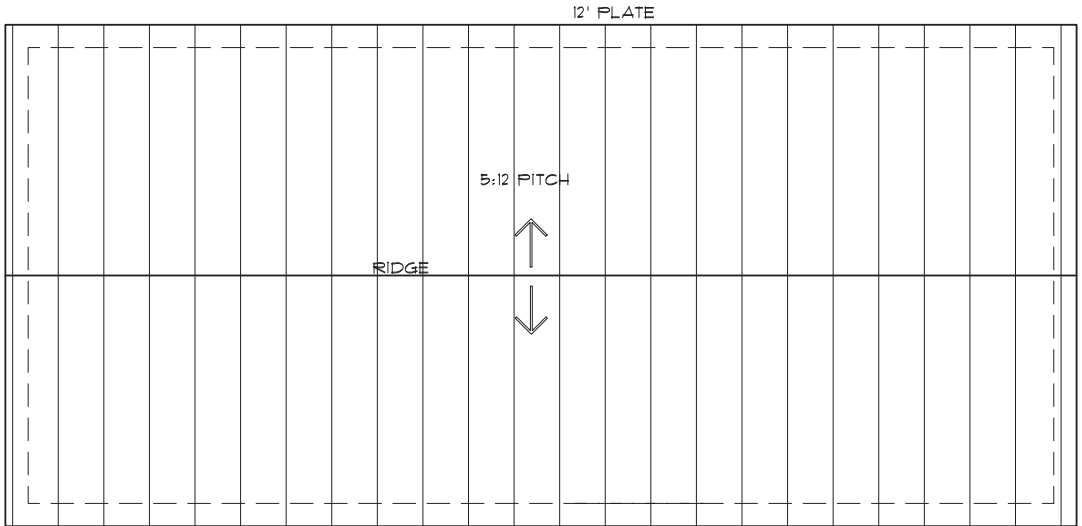


LEFT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

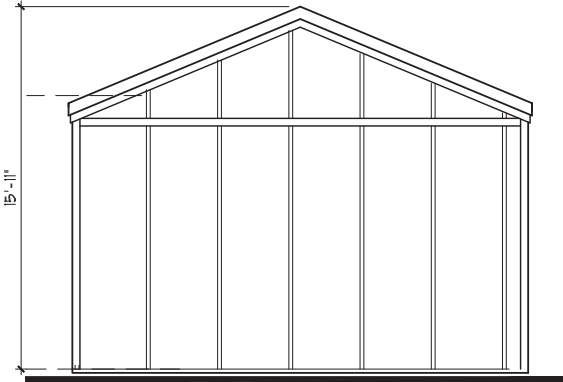


RIGHT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

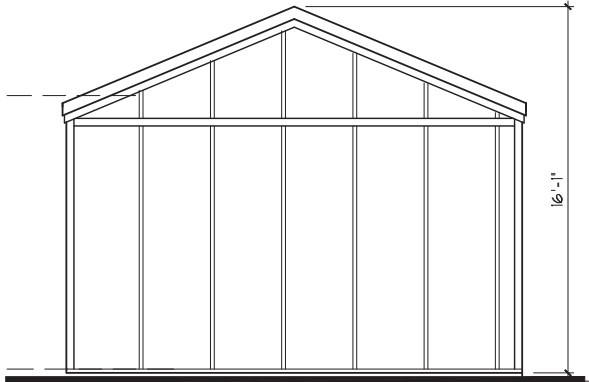
**CONDITION OF APPROVAL - AUGUST 27, 2018**  
**A wainscot constructed of brick or stone must be installed on all sides of the building. The wainscot must be a minimum of four (4) feet in height and include a masonry cap/sill.**



ROOF PLAN  
SCALE: 1/4" = 1'-0"



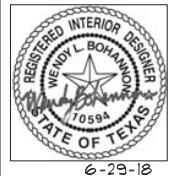
FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



REAR ELEVATION  
SCALE: 1/4" = 1'-0"

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TOTAL U/R:	1535

BARN: 900

1/4" PRINTS HALF SCALE

Drawn WB  
Date 6-29-18

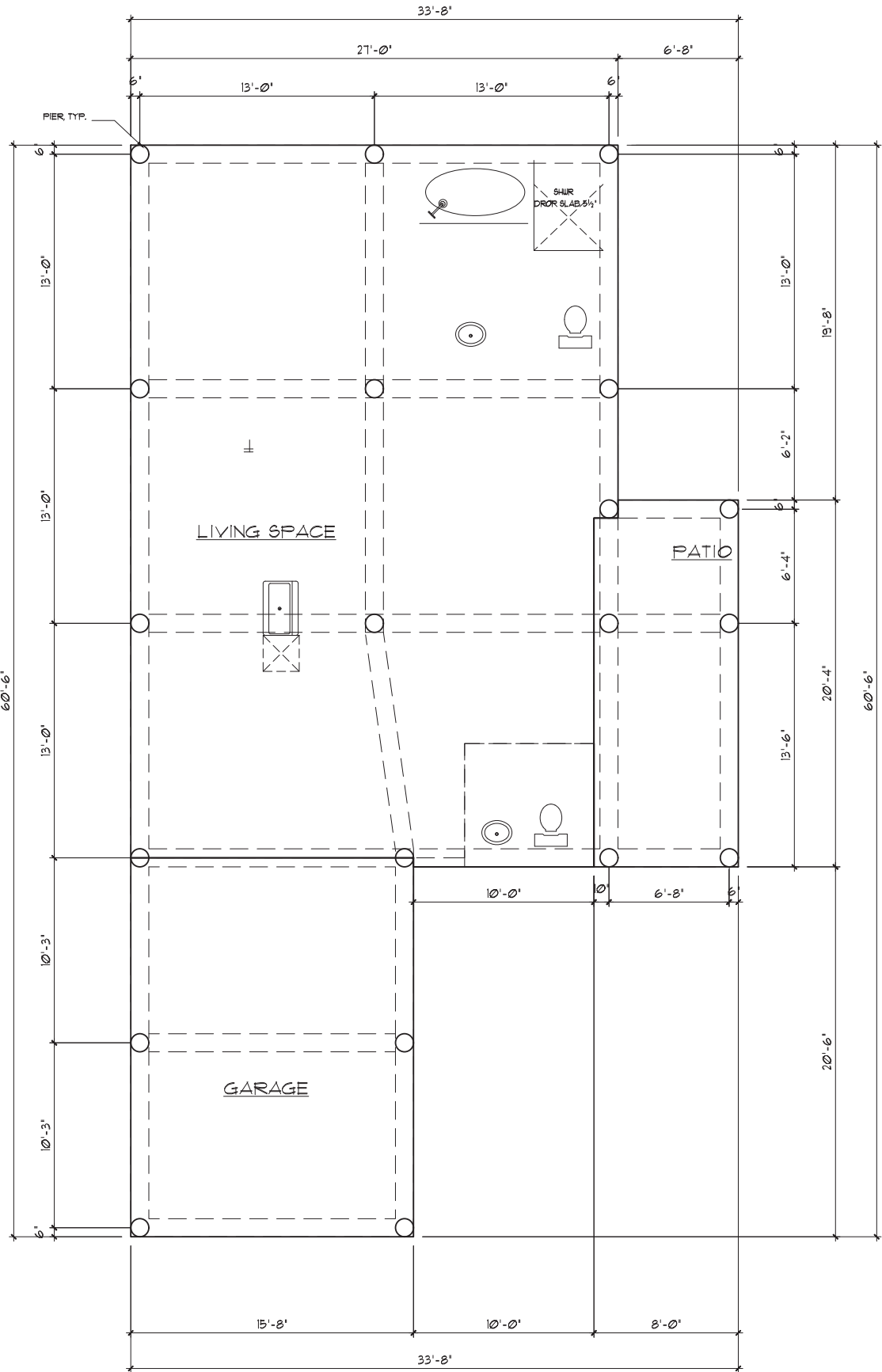
PROPERTY ADDRESS:

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NORTH RICHLAND HILLS, TX, 76182

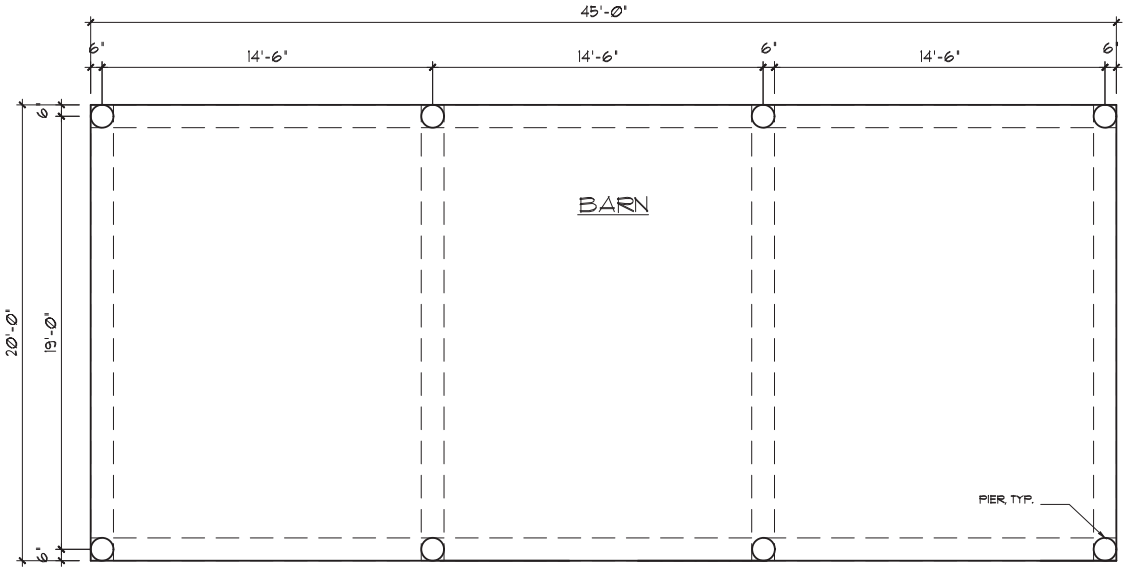
PLAN NO.

SHEPARD

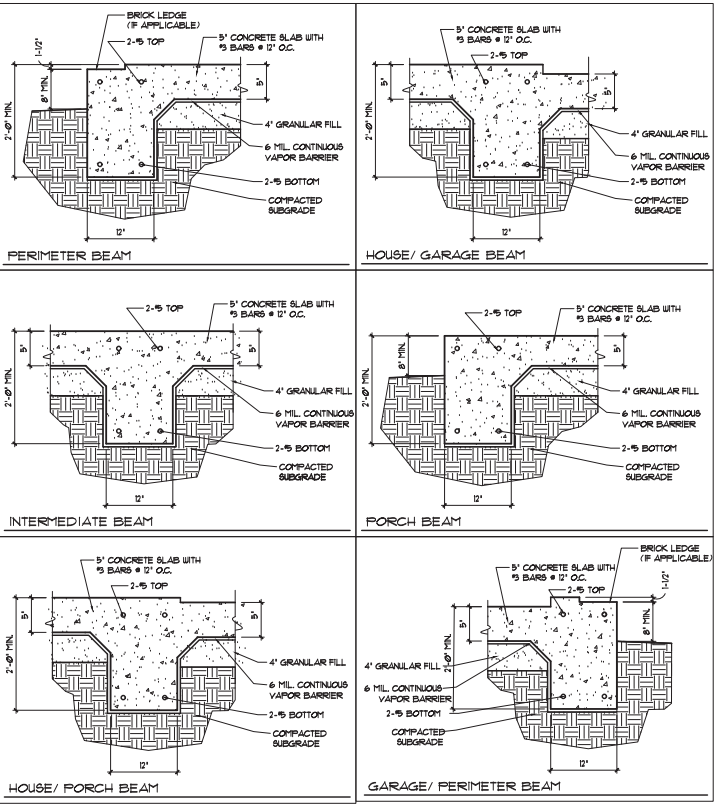
PG. 4 OF 7



FOUNDATION PLAN- HOUSE  
SCALE: 1/4" = 1'-0"



FOUNDATION PLAN- BARN  
SCALE: 1/4" = 1'-0"



**FOUNDATION GENERAL NOTES:**  
1. BOTTOM OF ALL BEAMS SHALL EXTEND 6" INTO UNDISTURBED SOIL OR BEAR ON ENGINEERED FILL.  
2. LAP ALL BAR STEEL 40 DIAMETERS AND LAP ALL WIRE MESH 6".  
3. FOR SLAB LENGTHS MORE THAN 50', UP TO 60', PROVIDE 3/4" IN BOTTOM AND 2/4" IN TOP OF ALL LONGITUDINAL BEAMS.  
4. DEAD END BEAMS ARE NOT ACCEPTABLE.  
5. ALL BEAM AND SLAB STEEL SHALL EXTEND TO WITHIN 1-1/2' OF EXTERIOR FORMS.  
6. BEAM STEEL SHALL BE SUPPORTED AND TIED EVERY 4'-0".

**FOUNDATION NOTES:**  
1. HOSE BIB LOCATIONS TO BE VERIFIED BY OWNER.  
2. REFER TO FLOOR PLAN AND ELEVATION FOR PLAN DETAILS.

**PIER NOTES:**  
1. ALL PIERS TO BE 12" DIA. WITH (2)-#5 BARS, VERTICAL BARS TO EXTEND TO TOP BARS OF GRADE BEAMS.  
2. DRILL PIERS TO DEPTH OF THIRTEEN FEET BELOW BASE OF GRADE BEAM.  
3. ADD THICKNESS OF FILL TO TOTAL DEPTH OF PIER.

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1/4" PRINTS HALF SCALE

Drawn WB  
Date 6-29-18

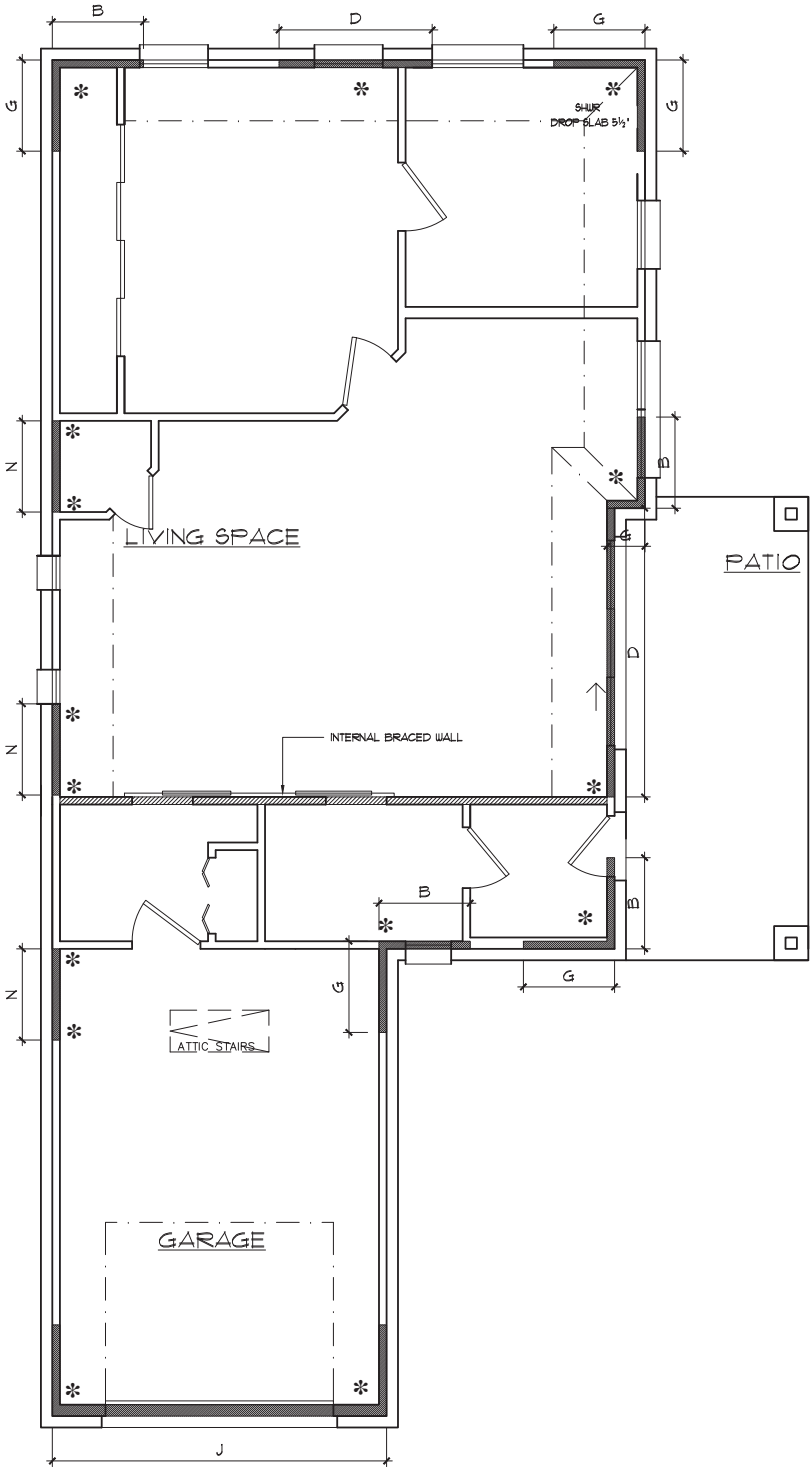
PROPERTY ADDRESS:

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NORTH RICHLAND HILLS, TX, 76182

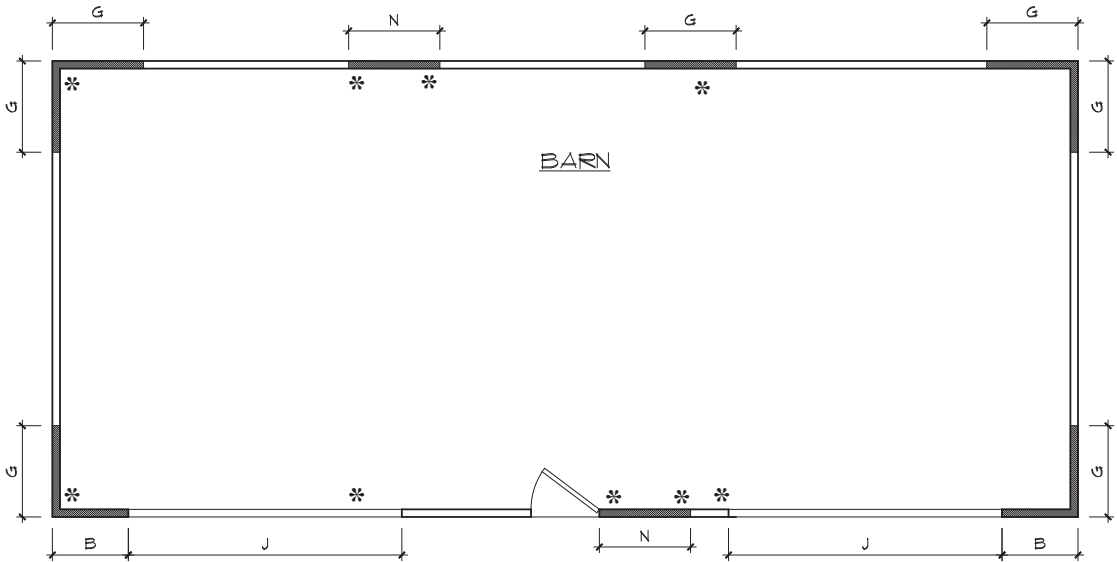
PLAN NO.

SHEPARD

PG. 5 OF 7



WIND BRACING - HOUSE  
SCALE: 1/4" = 1'-0"



WIND BRACING- BARN  
SCALE: 1/4" = 1'-0"

LATERAL BRACING PLAN

SCALE: 1/4" = 1'-0"

LATERAL BRACING PLAN - DESIGNED REF TO 2009 INTERNATIONAL RESIDENTIAL CODE, DESIGNED FOR WIND SPEEDS OF 90 MPH (3 SECOND GUSTS) AND 16 MPH FASTEST SUSTAINED SPEED, EXPOSURE B.

NOTES:

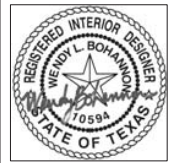
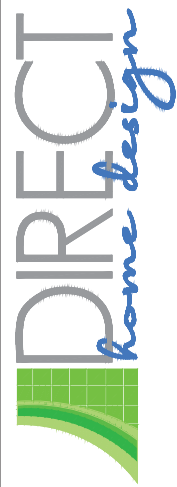
- 1. ATTACH EXTERIOR POST (IF PRESENT) TO FOUNDATION BELOW AND TO FRAMING ABOVE PER THE TYPICAL DETAIL SHEET.
- 2. INSTALL FLOOR TO FLOOR SHEAR WALL PANEL STRAPS PER TYPICAL DETAIL.
- 3. FOR GENERAL NOTES AND LATERAL BRACING DETAILS AND DESCRIPTIONS REF. LATERAL BRACING DETAIL SHEET.

LEGEND

- \* INSTALL TIE-DOWNS AT CORNERS INDICATED
- BRACED WALL-REF DETAIL SHEET
- INTERNAL BRACED WALL- SEE DETAIL 'I'

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8025 VALLEY DR  
NORTH RICHLAND HILLS, TX, 76182

PLAN NO.

SHEPARD

PG.6 OF 7

FRAMING GENARAL NOTES

1. ENGINEERED DESIGN

1. THE ENGINEERED DESIGN OF THIS STRUCTURE IS INTENDED TO MEET THE FRAMING ENGINEERED DESIGN REQUIREMENTS AS ISSUED BY THE CITY.
2. THE ENGINEERED DESIGN OF THIS STRUCTURE IS DESIGNED FOR A BASIC WIND SPEED OF 90 MPH PER INTERNATIONAL RESIDENTIAL CODE.
3. PER IRC R301.2 THE EXTENT OF THE ENGINEERED DESIGN SHALL ONLY DEMONSTRATE COMPLIANCE OF THESE NONCONVENTIONAL ELEMENTS WITH OTHER APPLICABLE PROVISIONS AND SHALL BE COMPATIBLE WITH THE PERFORMANCE OF THE CONVENTIONAL FRAMED SYSTEM.
4. ITEMS NOT COVERED ON THESE DRAWINGS SHALL MAINTAIN STRICT COMPLIANCE WITH THE IRC.

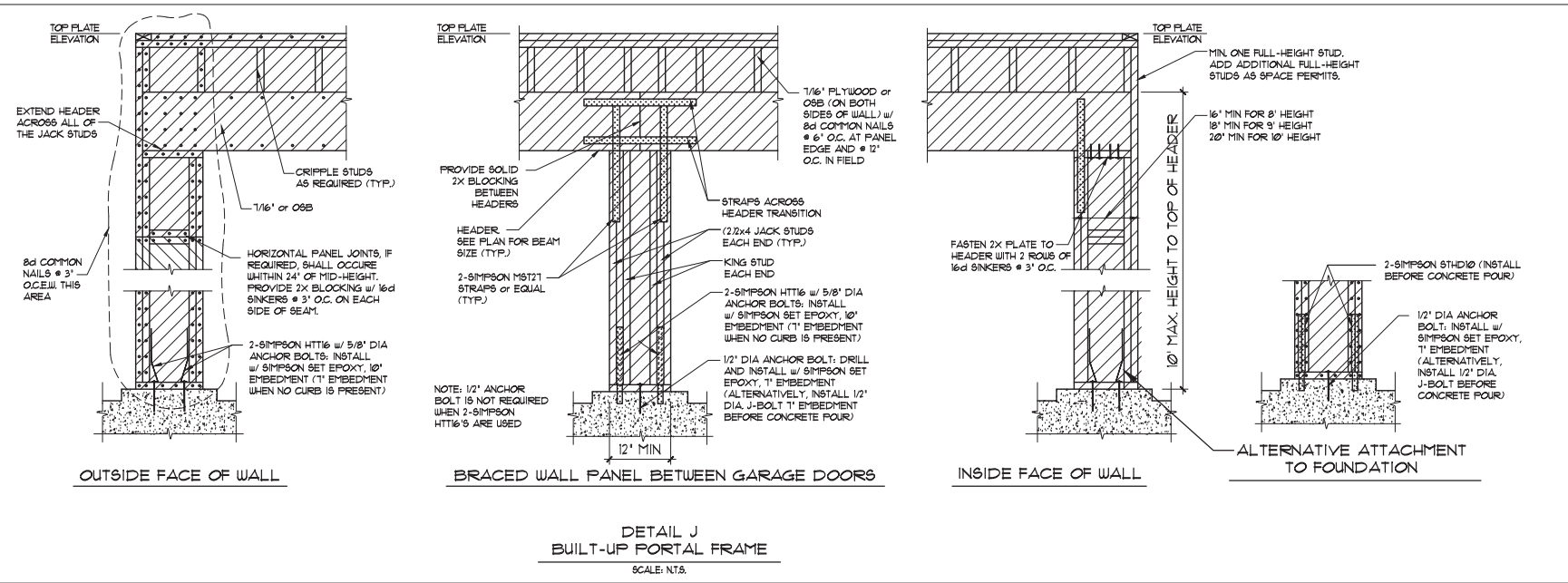
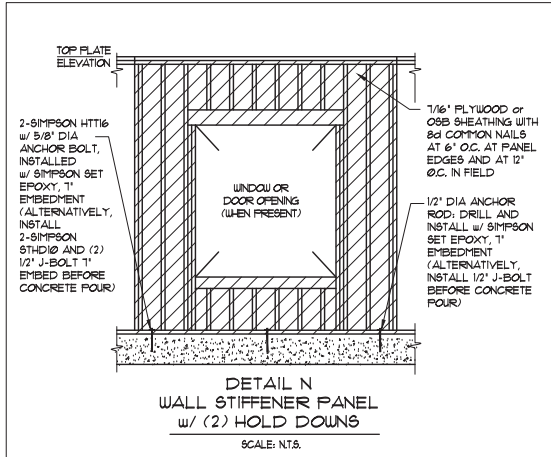
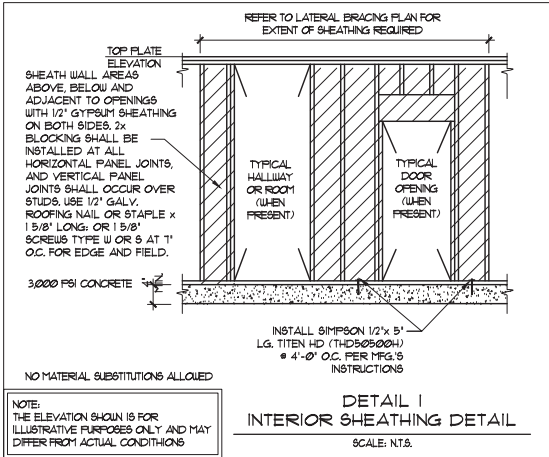
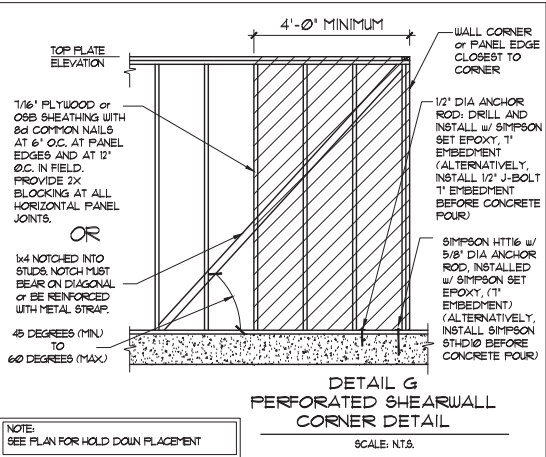
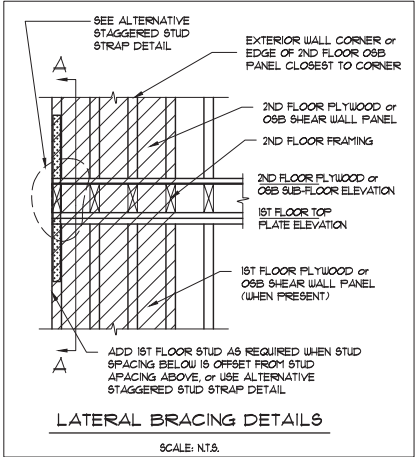
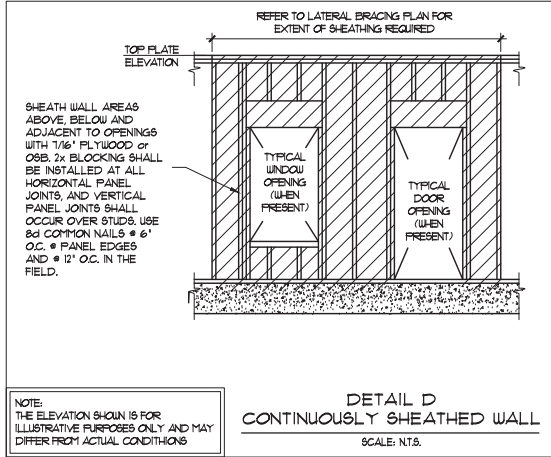
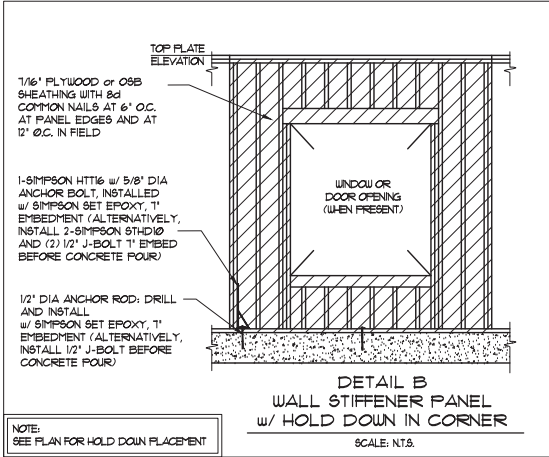
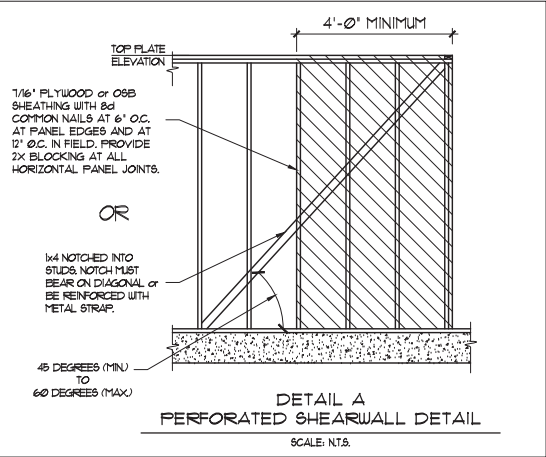
2. WOOD SPECIFICATIONS

- 2.1 ALL STUDS SHALL BE 6PF STUD GRADE OR EQUIVALENT.
- 2.2 SILL PLATES SHALL BE PRESSURE TREATED #2 S.Y.P.
- 2.3 RAFTERS AND JOISTS SHALL BE #2 S.Y.P. WITH A MODULUS OF ELASTICITY,  $E=1600,000$  psi UNLESS NOTED OTHERWISE.
- 2.4 HEADERS AND BEAMS, WHEN SPECIFIED, SHALL HAVE A MINIMUM MODULUS OF ELASTICITY,  $E=1600,000$  psi, AND TABULATED BENDING STRESS,  $F_b=2400$  psi, UNLESS NOTED OTHERWISE.

3. EXTERIOR WALL BRACING

- 3.1 THIS SHEET REPRESENT THE EXTENT OF THE LATERAL BRACING WHICH NEEDS TO BE INSTALLED TO COMPLY WITH SECTION R602.10 OF THE IRC. THERE ARE AREAS WHICH DO NOT CONFORM TO THIS SECTION. ENGINEERED SOLUTIONS AS SHOWN ARE PROVIDED TO ENSURE ADEQUATE PERFORMANCE WITH THE SYSTEM.
- 3.2 ALL STRUCTURAL PANEL SHEATHING LOCATED AS SHOWN ON THE PLAN SHALL BE 1/8" THICK PLYWOOD OR OSB. PANELS SHALL BE SECURED TO FRAMING WITH 1 3/4" LONG, 16 GAUGE STAPLES OR 8d COMMONS SPACED AT 3' O.C. AROUND THE EDGE AND 6' O.C. IN THE FIELD.
- 3.3 A 2X HORIZONTAL BLOCKING MEMBER SHALL BE INSTALLED AT ALL HORIZONTAL JOISTS FOR STRUCTURAL PANEL WOOD SHEATHING. THE BRACING PLAN AS SHOWN ON THIS SHEET SHALL BE REFERRED TO FOR THE BRACING LOCATIONS.
- 3.4 IF SIMPSON STRONGWALLS ARE TO BE USED, CONSIDERATION SHALL BE GIVEN TO PLACING THE ORDER WITH APPROPRIATE LEAD TIME (POSSIBLY AS MUCH AS 2 WEEKS) AS ALL PRODUCTS MAY NOT BE IN STOCK.
- 3.5 WHEN DRILLING INTO THE SLAB FOR HOLDDOWS OR ANCHOR BOLTS, CARE SHOULD BE TAKEN TO AVOID DAMAGE OF POST-TENSIONED CABLES.

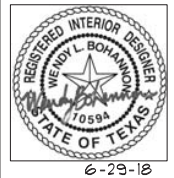
NOTE:  
USE A METALLIC SCANNER TO LOCATE EXISTING CABLES



WIND BRACING DETAILS  
SCALE: 1/4" = 1'-0"

NOTE: IT IS THE SOLE RESPONSIBILITY OF THE BUILDER TO VERIFY ALL ASPECTS OF THIS PLAN AND TO ENSURE THAT THIS PLAN MEETS ALL GOVERNING CODES & REQUIREMENTS.

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Direct Home Design  
PO BOX 48631  
Watauga, TX 76148  
(817)576-3510

SQUARE FOOTAGE

LIVING:	996
POOL PAD:	49
PATIO:	161
GARAGE:	329
TOTAL U/R:	1535

BARN: 900

1/4" PRINTS HALF SCALE

Drawn WB  
Date 6-29-18

PROPERTY ADDRESS:

8025 VALLEY DR  
NORTH RICHLAND HILLS, TX, 76182

PLAN NO.

SHEPARD

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