

Legend

5' Concrete Sidewalk

6' Concrete Sidewalk

5' Iron Fence with Living Screen

5' Iron Fence

100 Year Flood Plain (Approximate Location)

Landscaped Area

Programmable Open Space

Townhomes

Stained Paving in Inset Parking

Enhanced Paving at Crosswalks (stamped & stained concrete)

Street Light / Light Pole

Mail Kiosk

Residential Site Data - WEST SITE

Townhome Units	15	
Townhome Lots	26.39%	0.71 ac.
Open Space	5.58%	0.15 ac.
Programmable Open Space	41.64%	1.12 ac.
R.O.W. Street	17.84%	0.48 ac.
R.O.W. Alley	8.55%	0.23 ac.
Gross Acreage	100.00%	2.69 ac.

Lot Summary & Density

Townhome Units	15
Minimum Building Lot Area	1,760 s.f.
Common Areas	5
Gross Acreage	2.69
Gross Density (units / acre)	5.58

Parking Summary

Onsite Parking Spaces (garage)	30
Onsite Parking Spaces (driveway)	15
Inset Parking Spaces	9
On-Street Parking Spaces	0
Total Parking Spaces	54
Parking Spaces / Unit	3.60

Zoning

Existing Zoning = TOD - Arterial Mixed Use
Requesting Development Plan for 22' Townhomes

Residential Site Data - EAST SITE

Townhome Units	78	
Townhome Lots	40.87%	3.76 ac.
Open Space	9.57%	0.88 ac.
Programmable Open Space	7.39%	0.68 ac.
R.O.W. Street	21.63%	1.99 ac.
R.O.W. Alley	10.54%	0.97 ac.
Gas Station w/Restaurant & Drive Thru	10.00%	0.92 ac.
Gross Acreage	100.00%	9.20 ac.

Lot Summary & Density

Townhome Units	78
Minimum Building Lot Area	1,760 s.f.
Common Areas	19
Gross Acreage	9.20 ac.
Gas Station w/Restaurant & Drive Thru	0.92 ac.
Residential Acreage	8.28 ac.
Residential Density (units / acre)	9.42

Parking Summary

Onsite Parking Spaces (garage)	156
Onsite Parking Spaces (driveway)	78
Inset Parking Spaces	45
On-Street Parking Spaces	20
Total Parking Spaces	299
Parking Spaces / Unit	3.83

Zoning

Existing Zoning = TOD - Arterial Mixed Use & TOD Res.
Requesting Development Plan for 22' Townhomes

Residential Site Data - COMBINED

Townhome Units	93	
Townhome Lots	37.60%	4.47 ac.
Open Space	8.66%	1.03 ac.
Programmable Open Space	15.14%	1.80 ac.
R.O.W. Street	20.77%	2.47 ac.
R.O.W. Alley	10.09%	1.20 ac.
Gas Station w/Restaurant & Drive Thru	7.74%	0.92 ac.
Gross Acreage	100.00%	11.89 ac.

Lot Summary & Density

Residential Lots	93
Minimum Building Lot Area	1,760 s.f.
Common Areas	24
Gross Acreage	11.89 ac.
Gas Station w/Restaurant & Drive Thru	0.92 ac.
Residential Acreage	10.97 ac.
Residential Density (units / acre)	8.48

Parking Summary

Onsite Parking Spaces (garage)	186
Onsite Parking Spaces (driveway)	93
Inset Parking Spaces	54
On-Street Parking Spaces	20
Total Parking Spaces	353
Parking Spaces / Unit	3.80

Zoning

Existing Zoning = TOD - Arterial Mixed Use & TOD Res.
Requesting Development Plan for 22' Townhomes

TOD Smithfield Regulations

Build to Zone	5' - 20'
Front	5' min
Side	10' min
Rear	15' min
Building Height	15' min
Building Type	Townhome
Lot Width	25'
Building size	1,200 SF min
Parking	1 space/dwelling unit

TOD Street Sections

TOD General Street	60-38
Minor Street	50-27
One Way Street	

Building Materials

Brick/Stone/Cementitious Siding	75%
Accent Materials	25%
(Siding restricted to upper floors & no more than 50% of block face)	

Street front window and door openings

Ground floor finish level	18" above sidewalk
Open Space	5%

Decorative Street Lights & Street Trees throughout

6' sidewalks throughout

Urban Trails Proposed Standards

5'	
0/5'	
10'	
36'	
Townhome	
22' min.	Requesting waiver for 22' townhomes
1,500 SF min	Exceeds TOD standard
3.25 space/unit	Exceeds TOD standard

60-38 with inset parking

50-30	Providing landscape bump outs along street
42-22	Parking one side only, 1 space every 25'

Building Materials

85%	
15%	

Street front window and door openings

30%	30% primary frontage
	15% secondary frontage

Ground floor finish level

18" above sidewalk	
23.80%	Exceeds TOD standard

Decorative Street Lights & Street Trees throughout

confirm

6' sidewalks fronting townhomes east of Holiday Lane, 5' sidewalks along Mid Cities frontage as shown

Additional Amenities

6' masonry wall and 5' sidewalk along Mid Cities frontage except where noted

4 major entryway features

Proposing direct access to Cottonbelt regional hike/bike trail

Connecting sidewalks with multiple open space areas

Owner:

Beard Family Ltd Partnership (2.2 ac)
176 Friar Tuck Way
Kerrville, TX 78082

Owner:

RCC/CT LLC (1.655 ac)
P.O. Box 1910
Roanoke, TX 76262

Owner:

Long Real Estate Investments (7.799 ac)
9115 Rumfield
North Richland Hills, TX 76182

Engineer:

Baird, Hampton & Brown
1901 Martin Dr. Suite 100
Weatherford, TX 76086
817-596-7575

Applicant:

Beaten Path Development LLC
700 W. Harwood Rd.
Hurst, TX 76054

Planner: SAGE GROUP, INC.

Master Planning
Urban Design
Architecture
Landscape Architecture
1130 N. Carroll Ave., Ste. 200
Southlake, Texas 76092
817-424-2626

SDP 2017-06

7 MAR 18

1" = 60'

T.O.D. - Special Development Plan





Urban Trails

North Richland Hills, Tarrant County, Texas

Legend

- 5' Concrete Sidewalk
- 6' Concrete Sidewalk
- 5' Iron Fence with Living Screen
- 5' Iron Fence
- 100 Year Flood Plain (Approximate Location)
- Landscaped Area
- Programmable Open Space
- Townhomes
- Stained Paving in Inset Parking
- Enhanced Paving at Crosswalks (stamped & stained concrete)
- Street Light / Light Pole
- Mail Kiosk

The site plan illustrates a residential development layout. It features several streets: Street A, Street B, Street C, Holiday Ln., Mid-Cities Blvd., and a proposed 15' alley. The development includes numerous townhome units, landscaped areas (green), and programmable open space (light green). A legend in the top left corner defines symbols for sidewalks, fences, flood plains, landscaping, and other features. The plan also indicates the location of a gas station, restaurant, and drive-thru near the intersection of Holiday Ln. and Mid-Cities Blvd.

Tree from the city's approved Large Tree List	
Street Trees: Cedar Elm or Lacebark Elm or Chinkapin Oak	
Tree from the city's approved Ornamental Tree List	
Living Screen	
Shrub from the city's approved Shrub List	

URBAN TRAILS

NORTH RICHLAND HILLS, TEXAS

MARCH 3, 2018

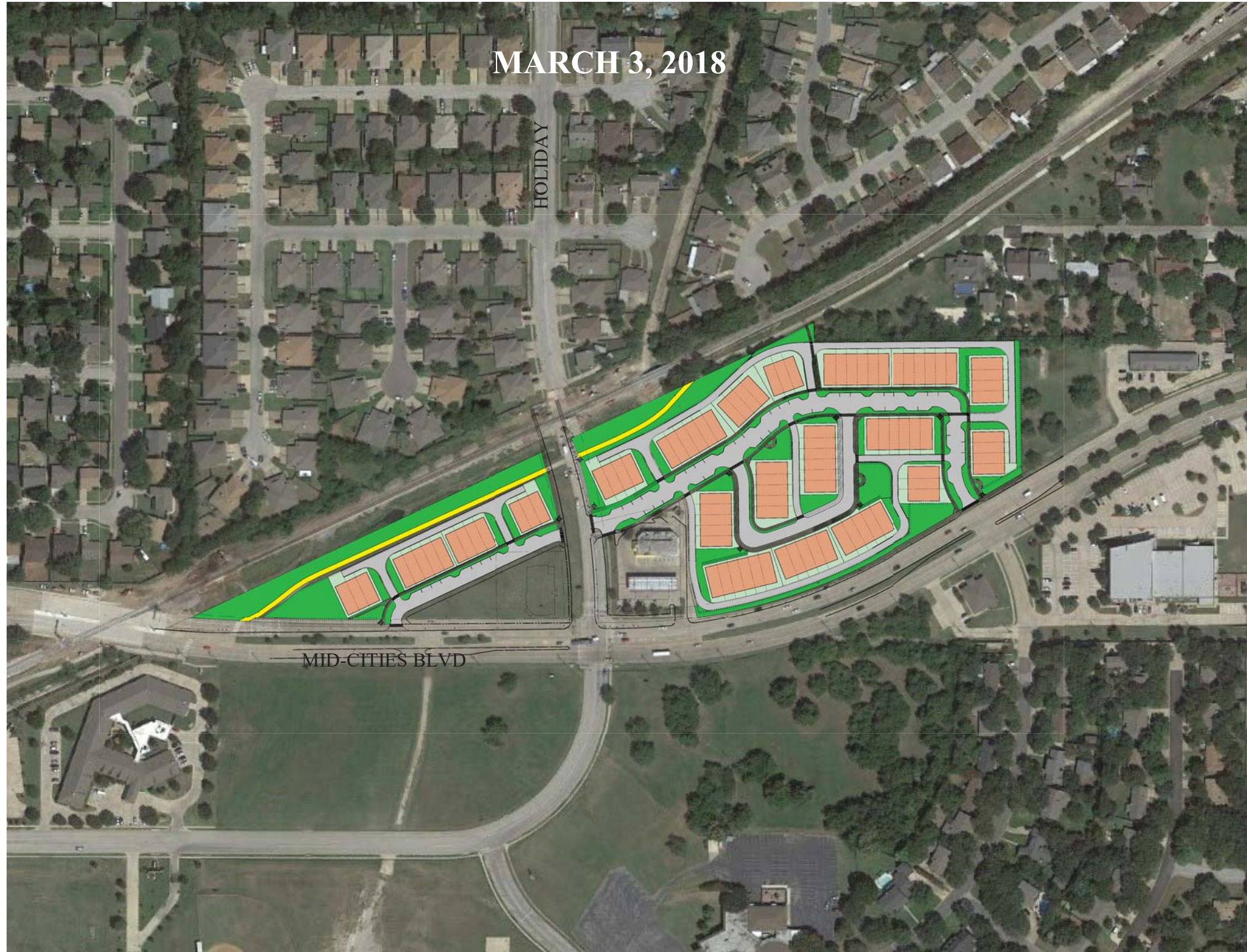
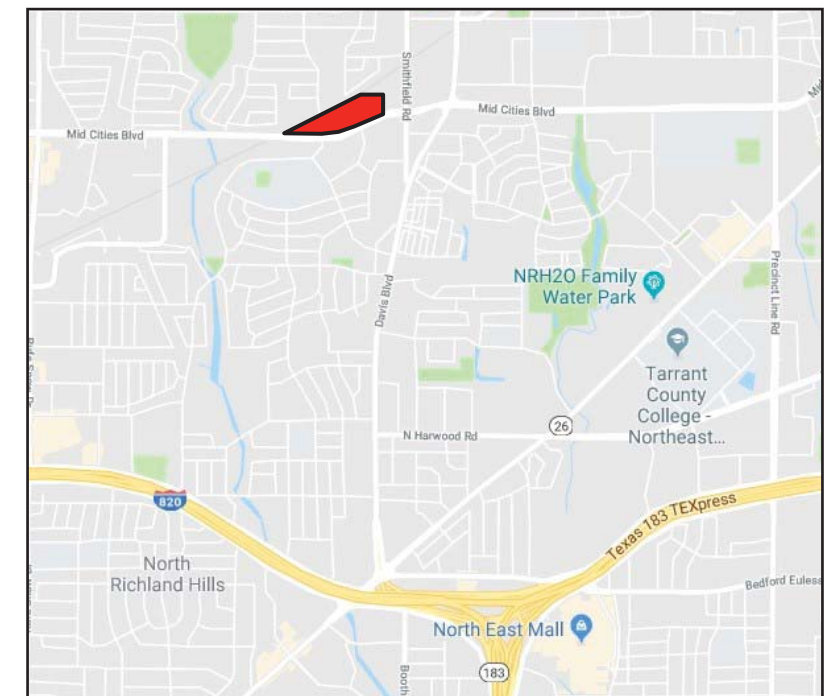


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FENCING STANDARDS
ARCHITECTURAL STANDARDS
WINDOW & GLAZING STANDARDS



LOCATION MAP



ADMINISTRATION

Urban Trails Master Covenant requires any development within the Declaration Area to conform with these Design Guidelines (“Guidelines”). Anyone wishing to build a new building, modify an existing building, add or change landscaping, add or change roadways or drainage, add or change signage, or make any other improvements must apply for and receive approval from the Design Review Board (“DRB”) of VS prior to proceeding with any improvements.

The Guidelines may be changed, amended or modified at any time without changing the obligation of property owners to abide by the Guidelines. Enforcement of the Guidelines and the remedies and penalties imposed by the Covenant are delineated in the recorded Master Covenants of the deed.

The Declarant or, in the absence of a Declarant, the Association of property owners, shall have the authority to appoint the member or members of the DRB. The terms and conditions of the DRB’s tenure are identified in detail in the Covenant and By-Laws.

Anyone wishing to obtain approval for proposed improvements shall submit the proposed improvements as described below: These documents shall be submitted and approved prior to the formal submittal for permitting to the City.

NEW RESIDENTIAL DWELLING UNITS:

- Prototype Plans: Typical floor plans, building elevations, and roof plans for all the typical units to be included in the building inventory shall be submitted to the DRB prior to offering any property for sale. Submittals shall include dimensioned floor plans, a typical lot plan for each lot type, and proposed categories of materials.
- Lot Plans: After approval of the Prototype Plans, and prior to submitting an application for a building permit to the City, the Applicant shall submit a lot plan for each lot. This submittal



shall include the specific floor plan and elevation, the specific material selections including brick and stone selections, roofing specification, and color selections. The submittal shall also include a lot plan showing the specific house on the specific lot, proposed walkway and driveway paving, patios, landscaping, and tree planting.

- Construction: After approval by the DRB and after obtaining a Building Permit from the City, the applicant shall adhere to the Design Guidelines for all construction within the lot, and adjacent to the lot, including fencing and street trees. The Applicant shall notify the DRB of any proposed changes to the approved plans.
- Remedies: Remedies for non-compliance with the Master Covenants and/or the Design Guidelines are specified in the Master Covenants.

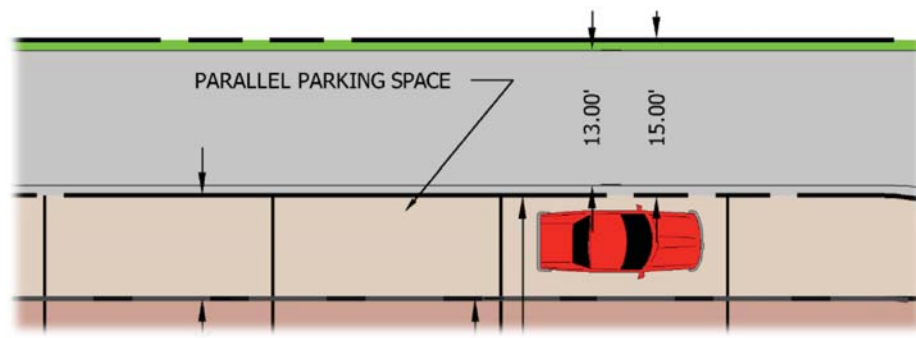
MODIFICATION OF EXISTING DWELLING UNIT

- Modification of an existing dwelling shall be subject to review and approval for all exterior modifications, with the following exceptions:
 - ◊ Replacement of roofing material with the same roofing material;
 - ◊ Re-painting with the same colors;
 - ◊ Emergency repairs to prevent further damage;
 - ◊ Seasonal or temporary decorations;
 - ◊ Replacement of dead or dying landscape materials.
- Proposed modifications shall be submitted to the DRB in accordance with procedures established in the By-Laws.

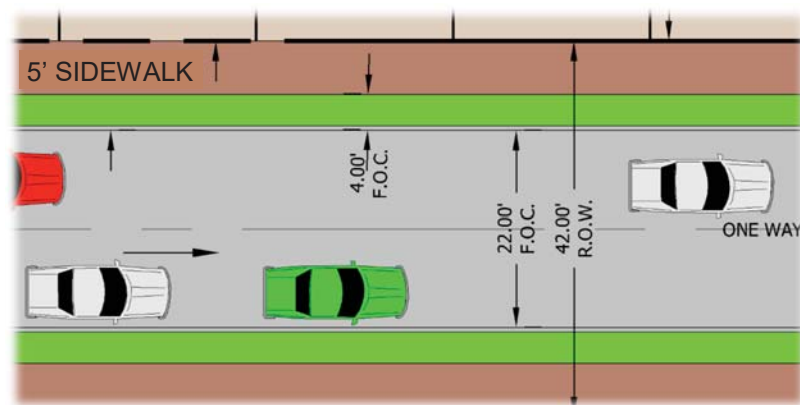


LOT SUMMARY		
	22 X 80'	73 LOTS
	25' X 80	20 LOTS
TOTAL		93 LOTS

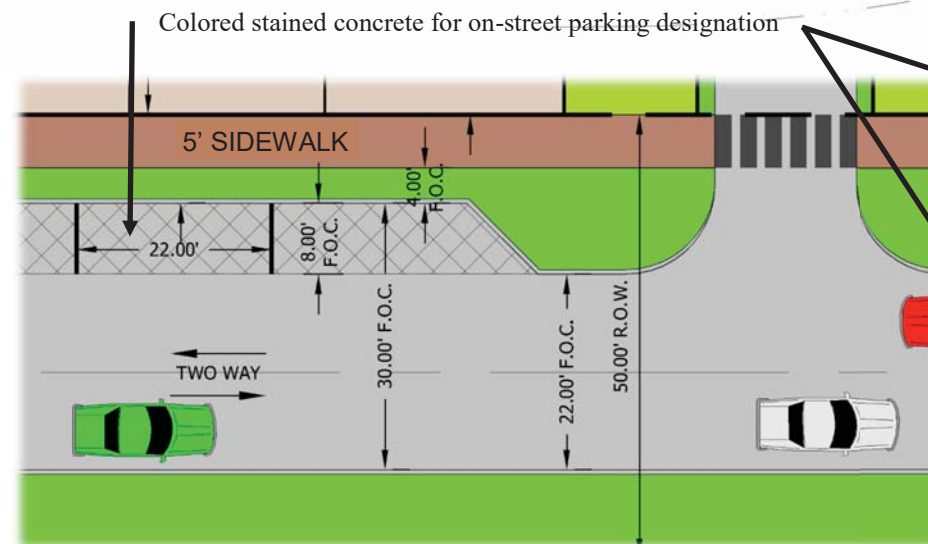




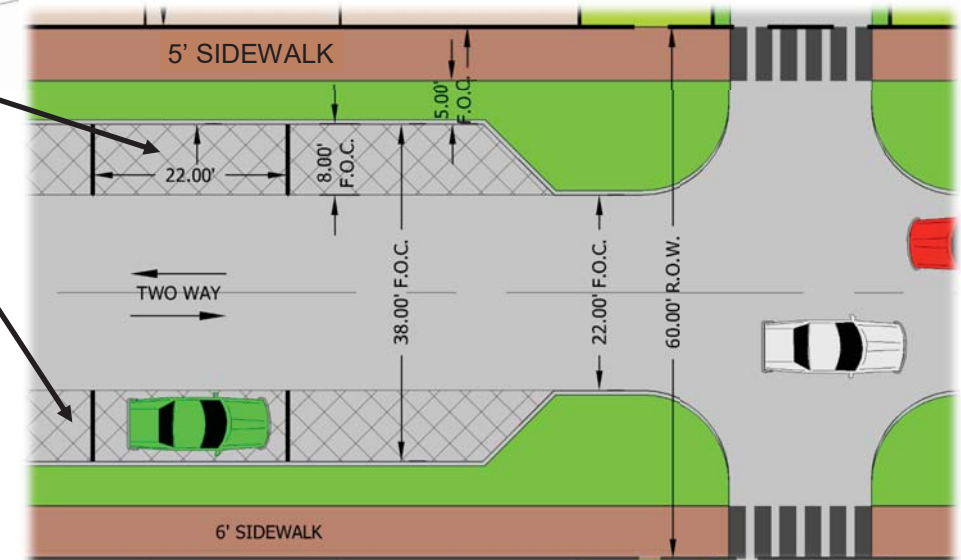
ALLEY TYPE AL 15-13



ROADWAY TYPE RD 42-22
STREET 1

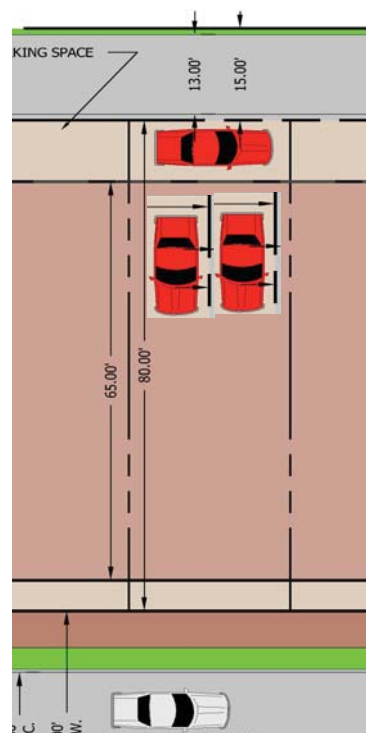


ROADWAY TYPE RD 50-30
STREET 2A





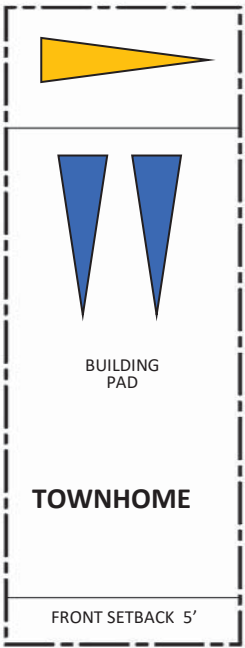
ROADWAY TYPE RD 60-38
STREET 2B

OFF-STREET PARKING: 3 SPACES PER LOT

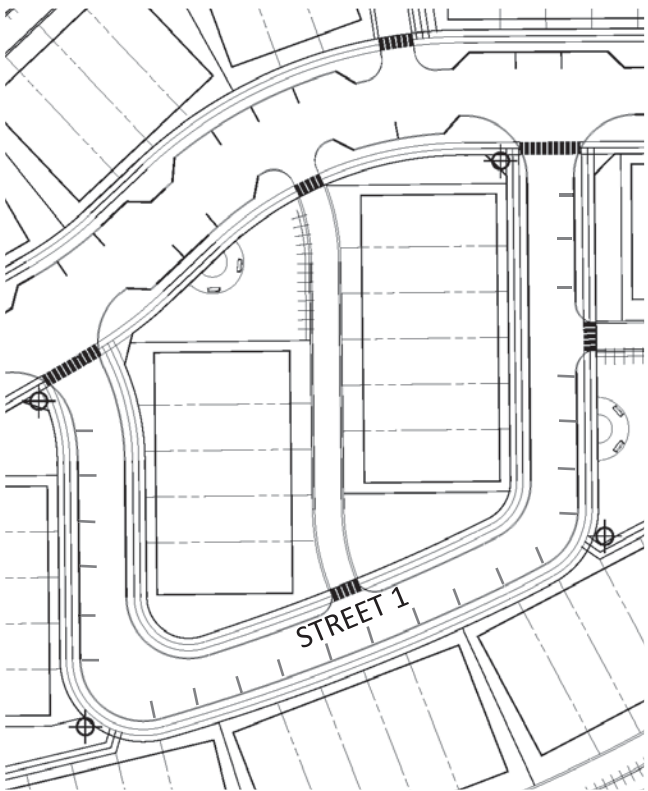


- OFF-STREET PARKING:**
- PARALLEL DRIVEWAY SPACE 1/LOT
 - GARAGE PARKING: 2/LOT
- 93 LOTS**
- PARALLEL DRIVEWAY SPACE 93 SPACES
 - GARAGE PARKING 186 SPACES

-  MANEUVERING & TEMPORARY PARKING SPACE IN DRIVEWAY
-  PRIVATE PARKING SPACE IN GARAGE



ON-STREET PARKING: RD 42-22



ON-STREET PARKING SPACES ARE 8' X 22' MINIMUM

ON-STREET PARKING			
STREET NAME	STREET TYPE	STREET LENGTH	TOTAL
STREET 1	RD 42-22	602'	20
STREET 2A	RD 50-30	455'	9
STREET 2B	TOD 60-38	1119'	45
OFF-STREET TOTAL PARKING			
TOWNHOME GARAGE	2/LOT	93 LOTS	186
TOTAL PARKING			
TOTALS			260



CEDAR ELM



CHINKAPIN OAK



LACEBARK ELM

STREET TREES: Street trees are located approximately 30' on center along the street frontage with additional trees in the park and open space areas. The species selection and planting standards are indicated in the landscaping requirements within the Design Guidelines.

STREET TREE SPECIES SELECTION

STREET TBD	CHINKAPIN OAK	
STREET TBD	LACEBARK ELM	
STREET TBD	CEDAR ELM	

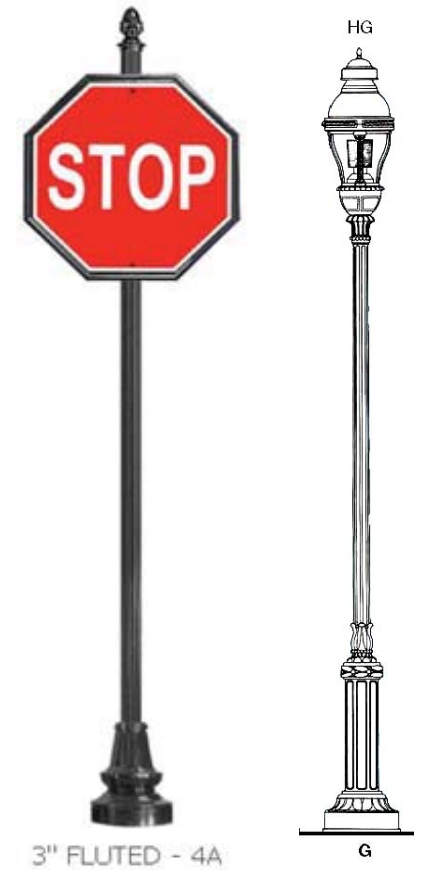
LEGEND

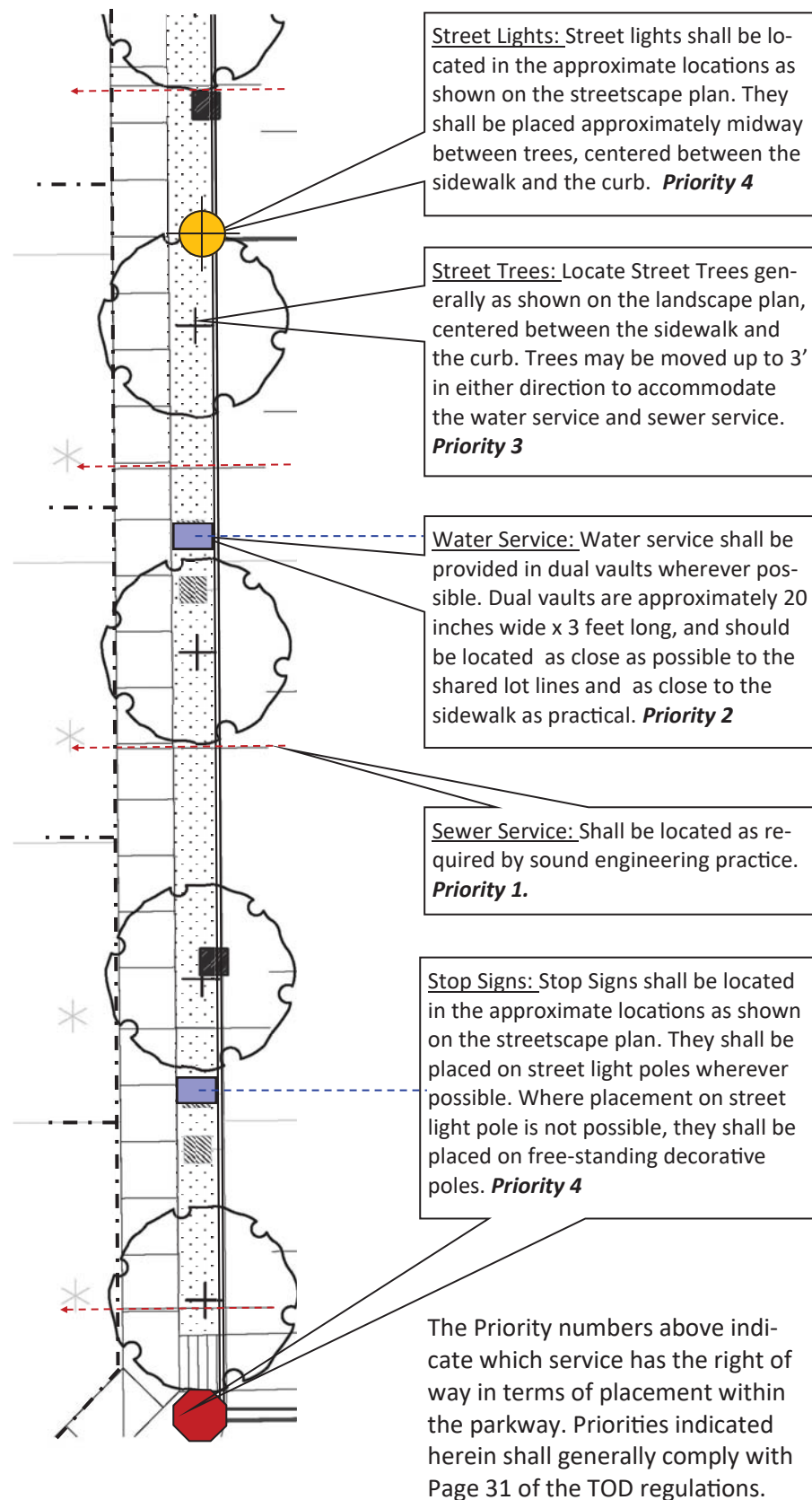
-  GANG MAILBOX
-  STREET LIGHT
-  STOP SIGN



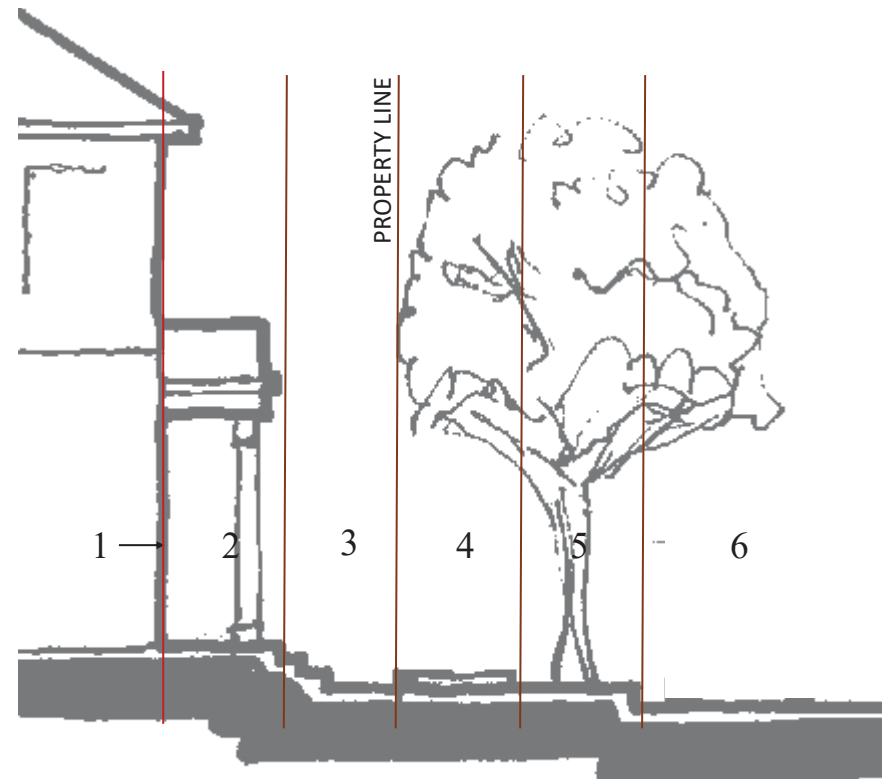
LOCATIONS OF STREET LIGHTS, STOP SIGNS AND MAIL BOXES ARE APPROXIMATE AND CONCEPTUAL.

- STREET LIGHTS:** Street lights shall be provided by Oncor and shall be comprised of the following components: Poles shall be the Central Park Style poles not to exceed 12' in height, Luminares shall be the "Texan" styles, Model "H" with the full cut-off luminaire. Spacing of poles shall be placed at intersection and between intersections shall not exceed 300' as measured along the street centerline.
- MAILBOXES:** Mailboxes shall be gang boxes located in conformance with USPS requirements.
- STOP SIGN:** Stop signs are located, subject to review by the City's Public Safety staff, at appropriate intersections and shall be mounted on street light poles where possible. Where street light mounting is impractical, they shall be mounted on 3" or 4" inch fluted pole, model 4A, with cast aluminum finial, base and trims as manufactured by Brandon Industries
- TRAFFIC SIGNS:** Traffic signs shall be mounted on the street light poles where practical. Where mounting on a street light is impractical, mount sign on a 3 inch fluted pole, model 4A, with cast aluminum finial, base and trim as manufactured by Brandon Industries
- STREET SIGNS:** Street Signs shall be mounted on street light poles or on 3" or 4" inch fluted pole, model 4A, with cast aluminum finial, base and trims as manufactured by Brandon Industries
- OTHER:** See Landscape plans, submitted under separate cover, for benches, trash receptacles, bike racks, and drinking fountains.





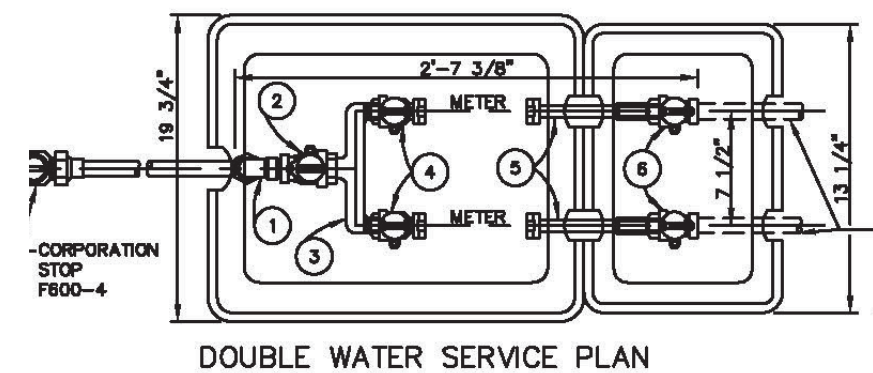
S1 TYPICAL STREETSCAPE COORDINATION



STREETSCAPE NOTES:

1. **Building Set-back Line:** The front wall enclosing conditioned space must be a minimum of 5' from the front property line,
2. **Porch or Stoop:** The Stoop or Porch must be a minimum of 12" to 18" depending on final grade, above the highest curb elevation of the lot's frontage.
3. **Front Yard:** The front yard may contain the lead walk and the steps up to the porch or stoop. See Landscape requirements.
4. **Sidewalk:** The public sidewalk is located within the public right-of-way, typically 6' in width, 5' along Mid-Cities Blvd.
5. **Parkway:** The parkway separates the sidewalk from the street and shall be a minimum of 4'-0" in width.
6. **Street:** The street includes on-street parking.

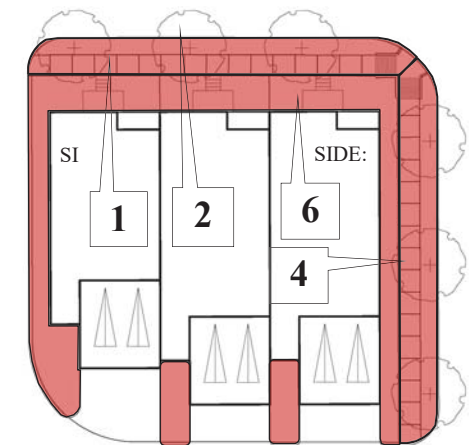
S2 TYPICAL FRONT YARD STREETSCAPE



S3 DETAIL OF WATER SERVICE

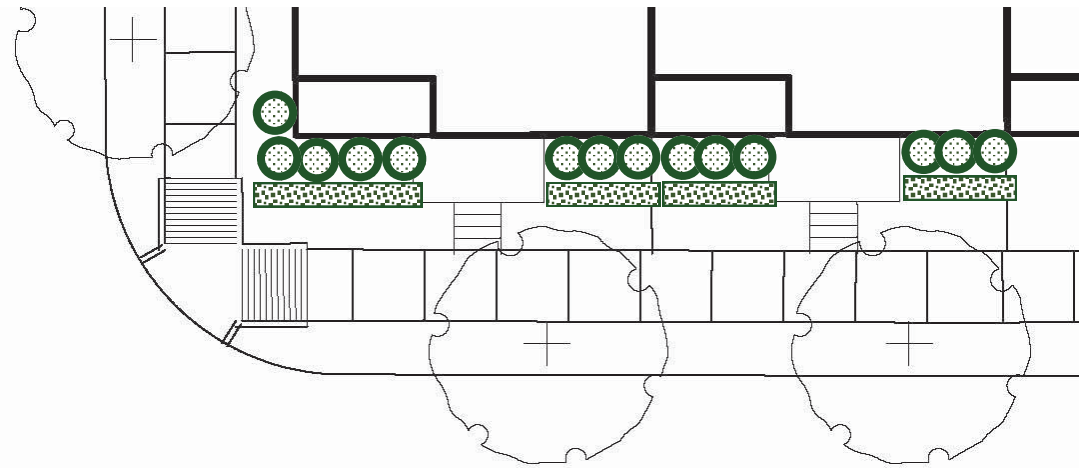
MAINTENANCE NOTES

1. **Public Pedestrian ROW Frontage:** This area contains the public sidewalk and the parkway within the ROW which includes street trees, street lights, and traffic signage. See Landscape requirements for tree species identification. The sidewalk shall be located within the public ROW such that the lot property line coincides the inside edge of the sidewalk.
2. **Street Trees:** The private HOA shall maintain and, if necessary, replace street trees.
3. **Parkway:** The private HOA shall maintain landscaping and, when necessary, replace landscape materials.
4. **Sidewalk:** the private homeowner or HOA shall keep sidewalks clean and free of ice and snow. If repair or replacement is required, the City shall be repair or replace the sidewalk.
5. **Building Set-back:** The front wall enclosing conditioned space must be a minimum of 5' from the front property line,
6. **Front Yard Maintenance Easement:** The HOA shall maintain landscaping and automatic sprinkler systems between the public ROW and the front building line.
7. **Side Yard Maintenance Easement:** The HOA shall maintain landscaping and automatic sprinkler systems between the public ROW and the side building line or the privacy fence, whichever is closer to the sidewalk.



HOA Yard Maintenance Areas: shown shaded

S4 TYPICAL TOWNHOME LOTS

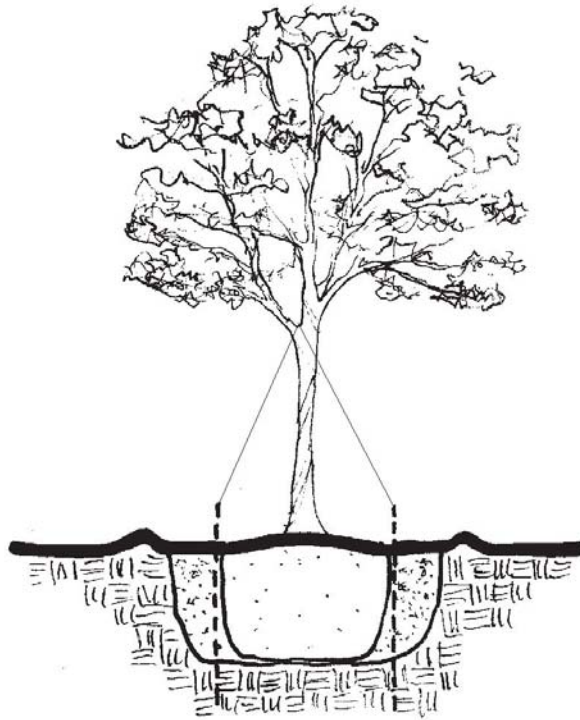


TYPICAL LANDSCAPE PACKAGE
TOWNHOME; FRONT YARD; CORNER: **TYPICAL LANDSCAPE PACKAGE**
TOWNHOME; FRONT YARD; STANDARD:

STREET TREE	PER PLAN	STREET TREE	PER PLAN
ORNAMENTAL	1 OPTIONAL	ORNAMENTAL	0
SHRUBS	6	SHRUBS	6
GROUND COVER	8	GROUND COVER	8
TURF ON REMAINDER		TURF ON REMAINDER	

L1 TOWNHOME FRONTYARD LANDSCAPE

1. Provide tree stakes with bark protection at trunk and branches
2. Trees shall have single straight trunks
3. Place top of rootball 2" above finished grade
4. Provide 3" layer of mulch within watering ring
5. Remove shipping ropes, wires, and burlap from trunk and top of rootball
6. Provide a 3" minimum high earthen water retention ring
7. Excavate for rootball leaving approximately 1 foot for backfill
8. Remove frame container from rootball
9. Set bottom of rootball on undisturbed grade

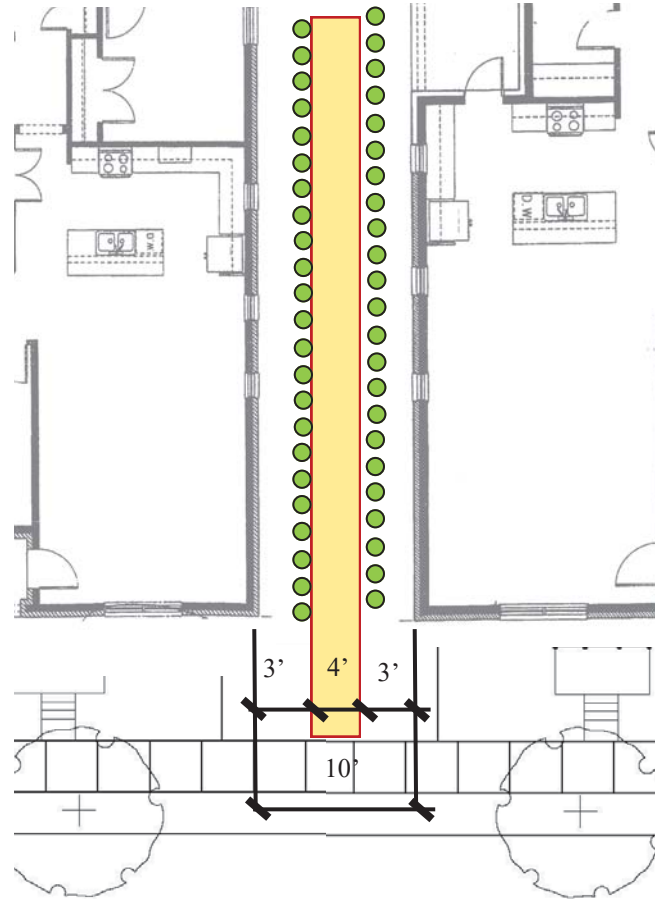


L2 TREE REQUIREMENTS

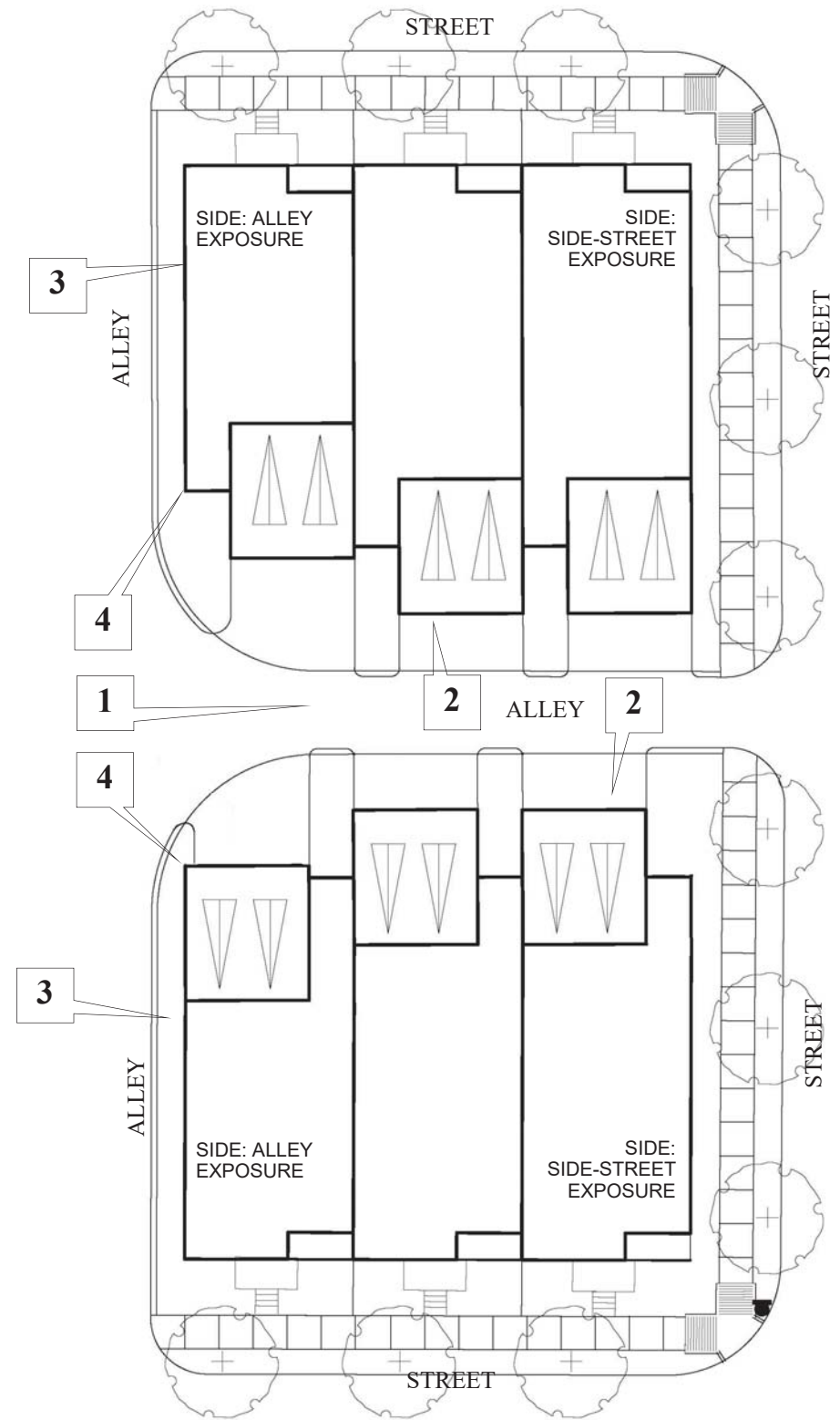
ALLEY AREAS

NOTES FOR A1& A2:

1. Alley: Alley ROW (15') and alley paving (13').
2. Setback to building: Building setback shall maintain a minimum of 10' from the rear property line.
3. Alley Side Yard: Building setback shall maintain a minimum of 5' from the side property line to the alley ROW.
4. Rear Building Setback at Alley Corner: The Building setback at alley corners shall be reduced to 5' to match the side setback.





L3 TRAIL @ TOWNHOME ENDCAPS



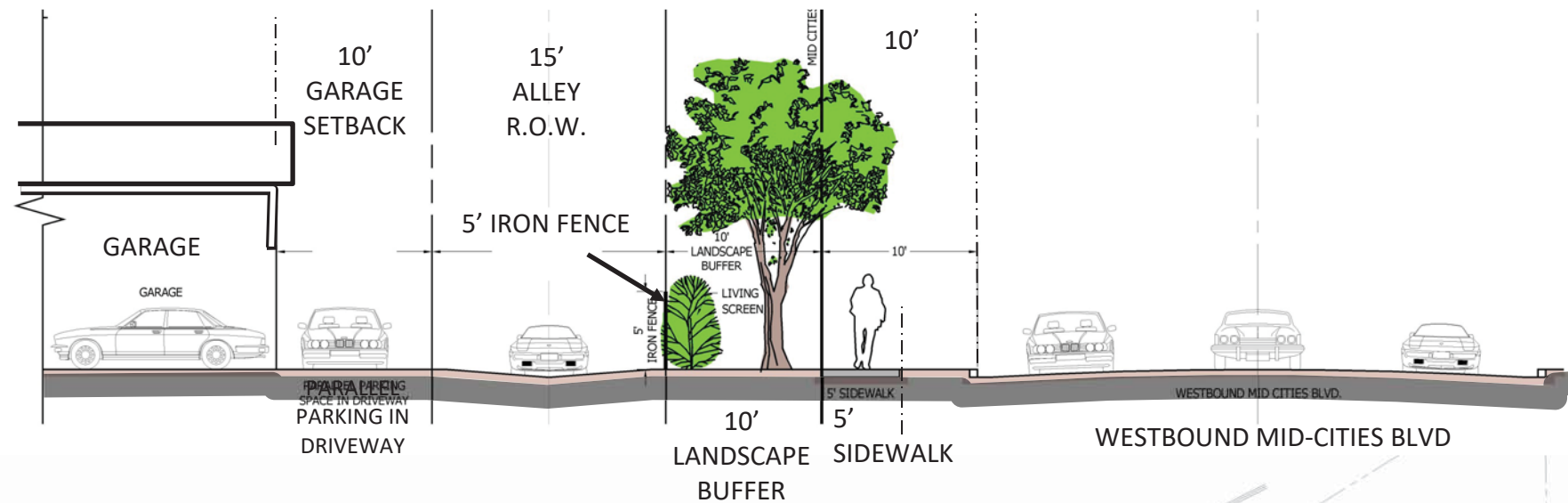
L4 TYPICAL TOWNHOME LOT & ALLEY



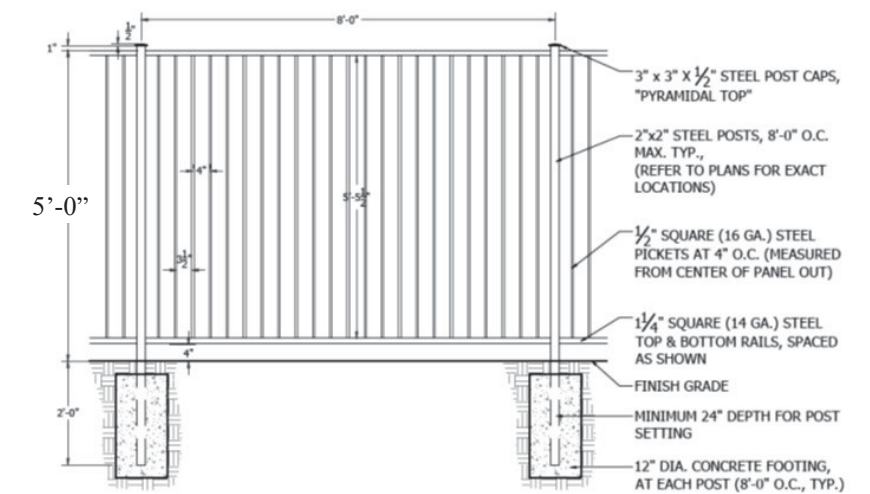
OPEN SPACE TABULATION				
	GROSS AREA	REQUIRED OPEN SPACE = 5%	PROVIDED OPEN SPACE.	PERCENTAGE OPEN SPACE
OPEN SPACE	11.89 ACRES	0.59 ACRES	2.83 ACRES	23.8%
LANDSCAPED OPEN SPACE 			0.98 ACRES	8.2%
PROGRAMMABLE OPEN SPACE 			1.85 ACRES	15.6%

Examples of park furnishings and street lights. The selection is conceptual and represents the design intent. Final specifications shall match or be equal to the images shown.





F3 STREET SECTION



F1 5' IRON FENCE



F2 IRON FENCE LANDSCAPE

EXAMPLES OF POSSIBLE ENTRY FEATURES





ELEVATION - Modern

R1

TOWNHOME FAÇADE: EXAMPLE OF ARCHITECTURAL CHARACTER



ELEVATION - Traditional

R2

TOWNHOME FACADES: EXAMPLE OF ARCHITECTURAL CHARACTER

ARCHITECTURAL FEATURES

1	CEDAR LINTELS
2	BRICK LINTELS
3	COACH LIGHTS BY FRONT DOOR
4	8'0" ENTRY DOOR
5	CEDAR ATTIC VENTS
6	SLICED BRICK KEYSTONE
7	SLICED BRICK QUOINS
8	BRICK COURSE AT ROOF RAKE
9	RAISED BRICK BOND AT ROOF RAKE
10	BRICK COURSE AT ROOF RAKE
11	CEDAR ROOF BRACKETS
12	BRICK WAINSCOT
13	STONE SURROUND AT ARCHED ENTRYWAY
14	BRICK SURROUND AT ARCHED WINDOW
15	BRICK ARCHED ENTRYWAY
16	COVERED PORCH
17	BRICK SURROUND AT ARCHED ENTRYWAY
18	'BEEHIVE' EAVE ANCHOR
19	METAL ROOF ON DORMERS
20	SECOND FLOOR DORMER
21	12:12 ROOF PITCH MINIMUM
22	DECORATIVE RAISED BRICK BOND
23	CEDAR POST ON PORCH

TOWNHOME FACADES MUST INCORPORATE AT LEAST 10 OF THE ARCHITECTURAL FEATURES LISTED ON THIS PAGE.

The TOD Architectural Standards and Guidelines will be followed. The second floor architectural accents can include stucco, cementitious horizontal siding, wood, metal and EIFS.

COMPLIANCE WITH MINIMUM GLAZING REQUIREMENTS: CALCULATION:

DENOMINATOR: THE WIDTH OF THE HOUSE FRONTING A STREET TIMES THE DISTANCE BETWEEN THE FINISHED FIRST FLOOR AND THE TOP PLATE OF THE FIRST FLOOR FRAMING

NUMERATOR: SUM OF ALL FIRST FLOOR OPENINGS, INCLUDING PORCH OPENINGS, WINDOWS, ENTRYWAYS, AND THE DECORATIVE FEATURES SURROUNDING THOSE OPENINGS SUCH AS LINTELS, AND SILLS. (See page 14 for illustrations.)

RATIO: THE RATIO OF 1ST FLOOR OPENINGS TO FIRST FLOOR FAÇADE AREA SHALL NOT BE LESS THAN 35% ON FRONT ELEVATIONS. ON SIDE ELEVATIONS FRONTING A SIDE STREET ON A CORNER LOT THE MINIMUM RATIO SHALL BE 20%.

FRONT FAÇADE OPENINGS COMPLIANCE



R3 OPENINGS



R4 OPENINGS

R5 OPENINGS

Land Swap



Applicant:

Beaten Path Development LLC
700 W. Harwood Rd.
Hurst, TX 76054

Planner: SAGE GROUP, INC.

Master Planning
Urban Design
Architecture
Landscape Architecture
1130 N. Carroll Ave., Ste. 200
Southlake, Texas 76092
817-424-2626



12 FEB 18

1" = 30'

0 15' 30' 60'

Urban Trails

North Richland Hills, Tarrant County, Texas

