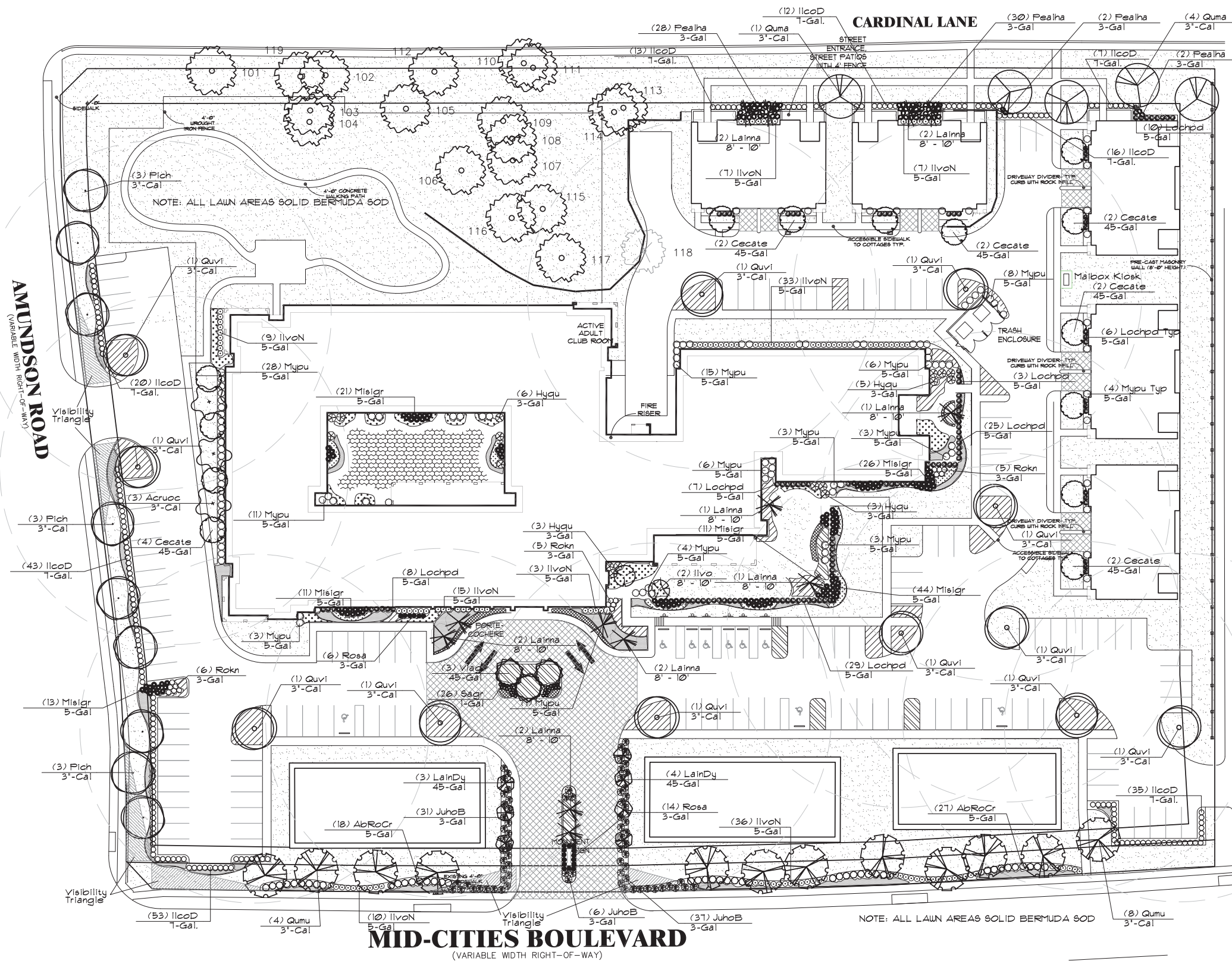


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AMUNDSON ROAD
(VARIABLE WIDTH RIGHT-OF-WAY)



CAUTION!!!
UNDERGROUND UTILITIES ARE LOCATED IN THIS AREA. 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES, CONTACT LINE LOCATES FOR FRANCHISE UTILITY INFO. CALL BEFORE YOU DIG!
TEXAS EXCAVATION SAFETY SYSTEM (TESS)
1-800-344-8377
TEXAS ONE CALL SYSTEMS
1-800-245-4545
LONE STAR NOTIFICATION CENTER
1-800-669-8344 EXT. 5

BEFORE YOU DIG...

TEMPORARY IRRIGATION WILL BE REQUIRED TO ESTABLISH TURF IN ALL DISTURBED AREAS WITHOUT A PERMANENT IRRIGATION SYSTEM. INSTALL SOD TO ESTABLISH TURF IN ALL DISTURBED AREAS AS IDENTIFIED ON GRADING AND EROSION CONTROL PLANS.

NOTE:

- REFERENCE SHEET L-2 FOR TREE PROTECTION DETAILS.
- REFERENCE SHEET L-2 FOR LANDSCAPE LEGEND AND NOTES.
- MID CITIES BLVD LANDSCAPE SETBACK (PLANTING/IRRIGATION) SHALL BE INSTALLED UPON COMPLETION OF THE ASSISTED LIVING FACILITY.



PLANTING NOTES:

- ALL LANDSCAPE AREAS REQUIRE PERMANENT IRRIGATION.
- ALL LARGE AND ORNAMENTAL TREES MUST BE ON SUBSLER/DRIIP IRRIGATION SEPARATE ZONES FROM TURF GRASS.
- RAIN FREEZE SENSOR CONTROLS ARE REQUIRED.
- PARKING LOT SCREENED FROM ROW WITH MINIMUM 30' SHRUBS AT 3' OC.
- DRIVE APPROACHES ARE ENHANCED WITH PLANT MATERIALS.

TREE PRESERVATION

Number	DBH	Common Name	Comment-Reason	Landscape Credit
101	28"	OAK	Preserve	1200 SF
102	21"	OAK	Preserve	1200 SF
103	15"	OAK	Preserve	1200 SF
104	29"	OAK	Preserve	1200 SF
105	18"	OAK	Preserve	1200 SF
106	18"	OAK	Preserve	1200 SF
107	12"	OAK	Preserve	1200 SF
108	15"	OAK	Preserve	1200 SF
109	15"	OAK	Preserve	1200 SF
110	18"	OAK	Preserve	1200 SF
111	18"	OAK	Preserve	1200 SF
112	29"	OAK	Preserve	1200 SF
113	24"	OAK	Preserve	1200 SF
114	26"	OAK	Preserve	1200 SF
115	18"	OAK	Preserve	1200 SF
116	18"	OAK	Preserve	1200 SF
117	28"	OAK	Preserve	1200 SF
118	28"	OAK	Remove Exempt	
119	32"	OAK	Preserve	1200 SF



CITY OF NORTH RICHLAND HILLS LANDSCAPE REQUIREMENTS

REQUIRED SITE LANDSCAPING	15% OF TOTAL SITE TO BE LANDSCAPE AREA
REQUIRED	PROVIDED
301,000 SF X 15% = 45,149 SF	104,993 SF
REQUIRED LANDSCAPE SETBACK	MINIMUM 15' LANDSCAPE SETBACK
REQUIRED	PROVIDED
15'	15'
REQUIRED STREET FRONTAGE TREES	1 TREE REQUIRED PER EVERY 50 FT OF FRONTAGE
REQUIRED	PROVIDED
MID CITIES AMUNDSON CARDINAL 623/50 = 12 TREES 412/50 = 8 TREES 660/50 = 13 TREES	12 TREES 8 TREES 13 TREES, 8 EXISTING 5 NEW
REQUIRED STREET FRONTAGE SHRUBS	1 SHRUB REQUIRED PER EVERY 5 FT OF FRONTAGE
REQUIRED	PROVIDED
MID CITIES AMUNDSON CARDINAL 623/5 = 125 SHRUBS 412/5 = 84 SHRUBS 660/5 = 132 SHRUBS	125 SHRUBS 106 SHRUBS 132 SHRUBS
REQUIRED PARKING LOT LANDSCAPING	5% LANDSCAPE AREA REQUIRED
REQUIRED	PROVIDED
41,098 X 5% = 2054 SF	6,302 SF
REQUIRED PARKING LOT TREES	1 TREE PER EVERY 20 SPACES
REQUIRED	PROVIDED
132/20 = 7 TREES	12 TREES
BUFFER YARD REGULATION	15' OF LANDSCAPING BETWEEN DISTRICTS
REQUIRED	PROVIDED
NA	NA
BUFFER YARD TREES	1 TREE PER 30 LF, 40% EVERGREEN
REQUIRED	PROVIDED
NA	NA
OFFICE BUILDING SHRUBS	10 SHRUB PER 30 LF OF FOUNDATION
REQUIRED	PROVIDED
322/30 X 10 = 107 SHRUB EA	NA

Date MAR 9, 2017
Drawn By GAC
Checked By JRF
Revisions

FAIN • CUPPETT LANDSCAPE ARCHITECTS, LLC
6333 Mac Chas Blvd, Suite B
North Richland Hills, TX 76186
817-475-0750
www.faincuppett.com



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STONECREEK AT NORTH RICHLAND HILLS
8500 MID CITIES BLVD
NORTH RICHLAND HILLS, TEXAS

Sheet No.
L-1
OF 4

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NOTE: CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING TREE AND SHRUB SIZES CONFORM TO CITY LANDSCAPE STANDARDS AND MITIGATION REQUIREMENTS.

4



MASONRY (STONE & BRICK) PERCENTAGE 97% BRICK AND/OR STONE 3% CEMENTITIOUS SIDING	
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MASONRY (STONE & BRICK) PERCENTAGE
97% BRICK AND/OR STONE
3% CEMENTITIOUS SIDING



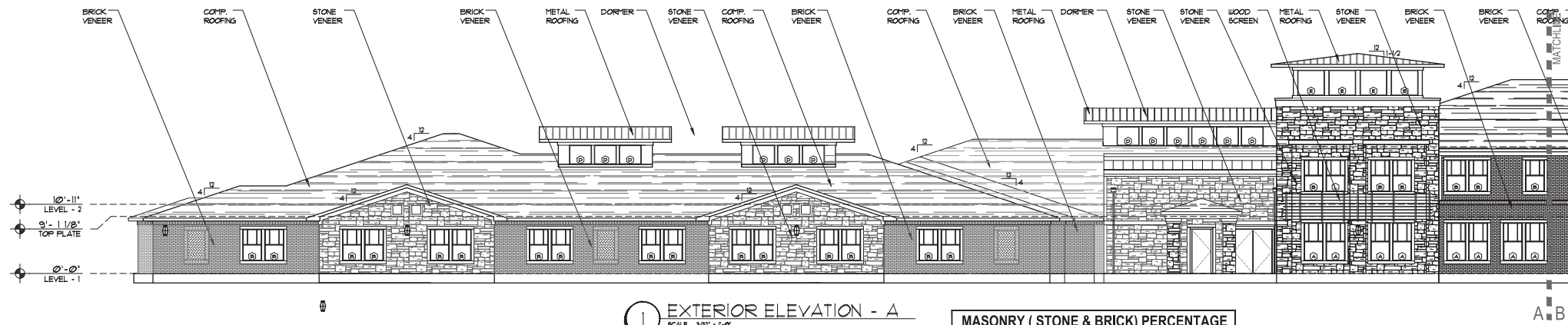
MASONRY (STONE & BRICK) PERCENTAGE
94% BRICK AND/OR STONE
6% CEMENTITIOUS SIDING



MASONRY (STONE & BRICK) PERCENTAGE
95% BRICK AND/OR STONE
5% CEMENTITIOUS SIDING

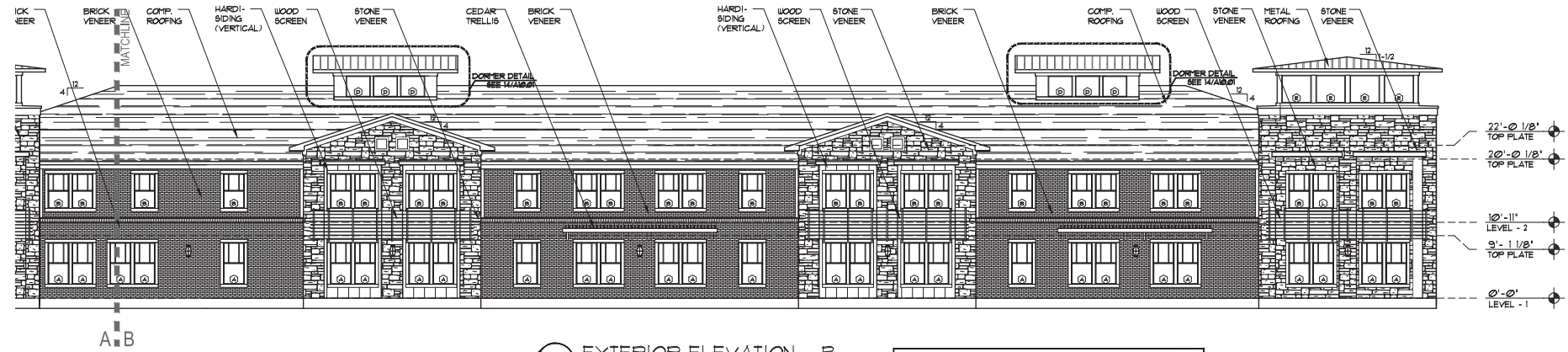


CASE: ZC 2017-01



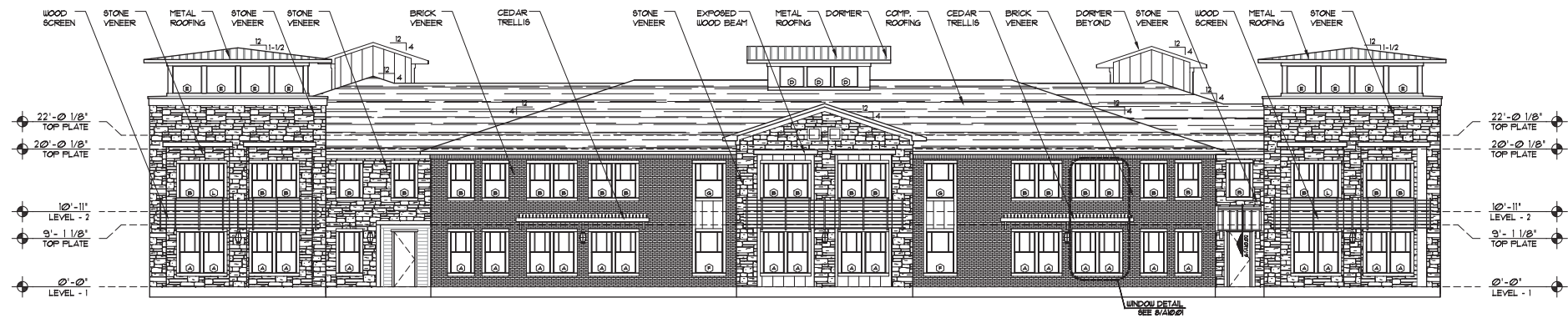
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SCALE 3/32" = 1'-0"

MASONRY (STONE & BRICK) PERCENTAGE
94% BRICK AND/OR STONE
6% CEMENTITIOUS SIDING



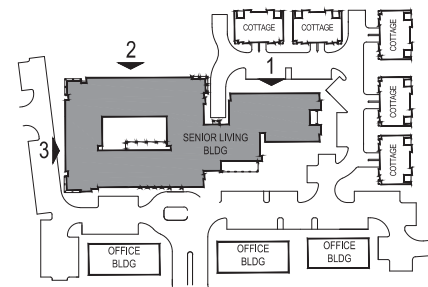
2 EXTERIOR ELEVATION - B
SCALE 3/32" = 1'-0"

MASONRY (STONE & BRICK) PERCENTAGE
94% BRICK AND/OR STONE
6% CEMENTITIOUS SIDING



3 EXTERIOR ELEVATION
SCALE 3/32" = 1'-0"

MASONRY (STONE & BRICK) PERCENTAGE
95% BRICK AND/OR STONE
5% CEMENTITIOUS SIDING



SITE KEY PLAN

CASE: ZC 2017-01



Stonecreek at North Richland Hills

North Richland Hills, Texas

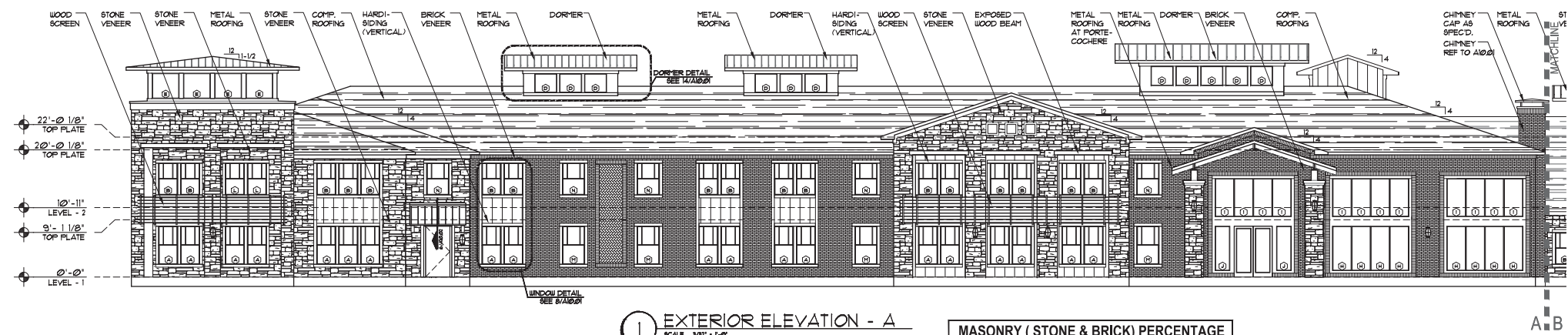
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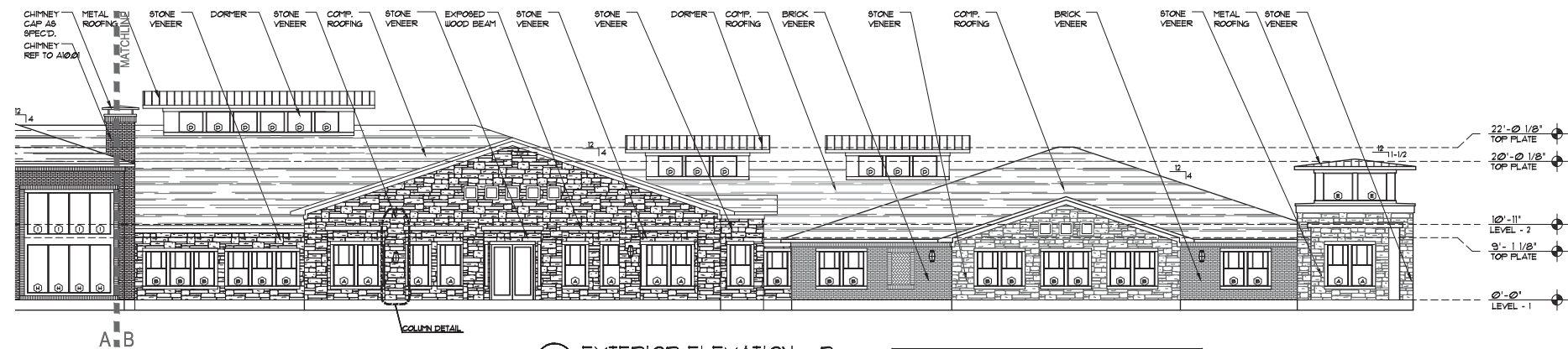
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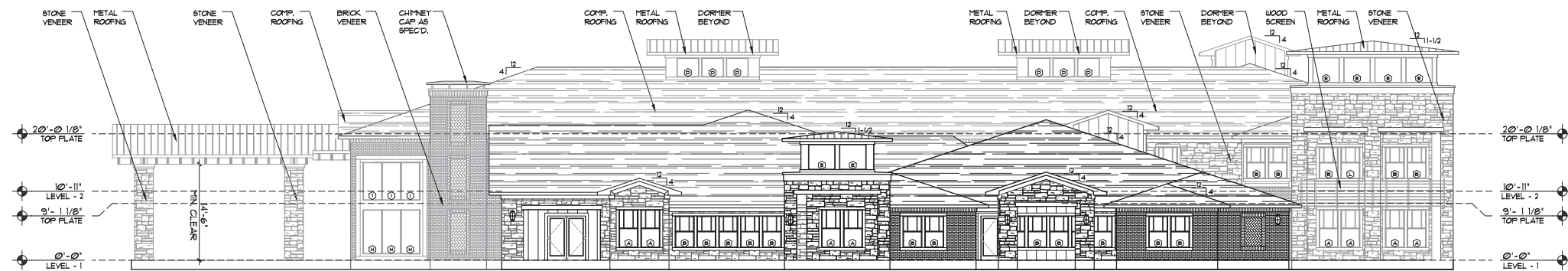
1 EXTERIOR ELEVATION - A
SCALE 3/32" = 1'-0"

MASONRY (STONE & BRICK) PERCENTAGE
97% BRICK AND/OR STONE
3% CEMENTITIOUS SIDING



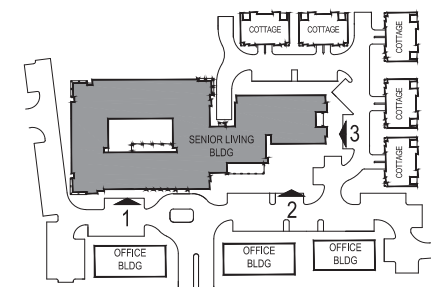
2 EXTERIOR ELEVATION - B
SCALE 3/32" = 1'-0"

MASONRY (STONE & BRICK) PERCENTAGE
97% BRICK AND/OR STONE
3% CEMENTITIOUS SIDING



3 EXTERIOR ELEVATION
SCALE 3/32" = 1'-0"

MASONRY (STONE & BRICK) PERCENTAGE
97% BRICK AND/OR STONE
3% CEMENTITIOUS SIDING



SITE KEY PLAN

CASE: ZC 2017-01



Stonecreek at North Richland Hills

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1 EXTERIOR ELEVATION
SCALE 1/8" = 1'-0"

MATERIAL PERCENTAGE	
BRICK	49%
STONE	43%
HARDIE	8%



2 EXTERIOR ELEVATION
SCALE 1/8" = 1'-0"

MATERIAL PERCENTAGE	
BRICK	41%
STONE	56%
HARDIE	3%



3 EXTERIOR ELEVATION
SCALE 1/8" = 1'-0"

MATERIAL PERCENTAGE	
BRICK	54%
STONE	40%
HARDIE	6%

EXTERIOR FINISH MATERIALS



BRICK VENEER - FIELD



HARDIE PANEL
 5/8" x 12" x 12"



ROOFING I
ASPHALT SHINGLE



STONE VENEER



TRIM
(W0004) OTTER

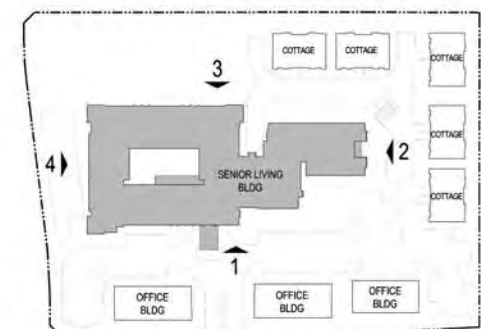


ROOFING 2



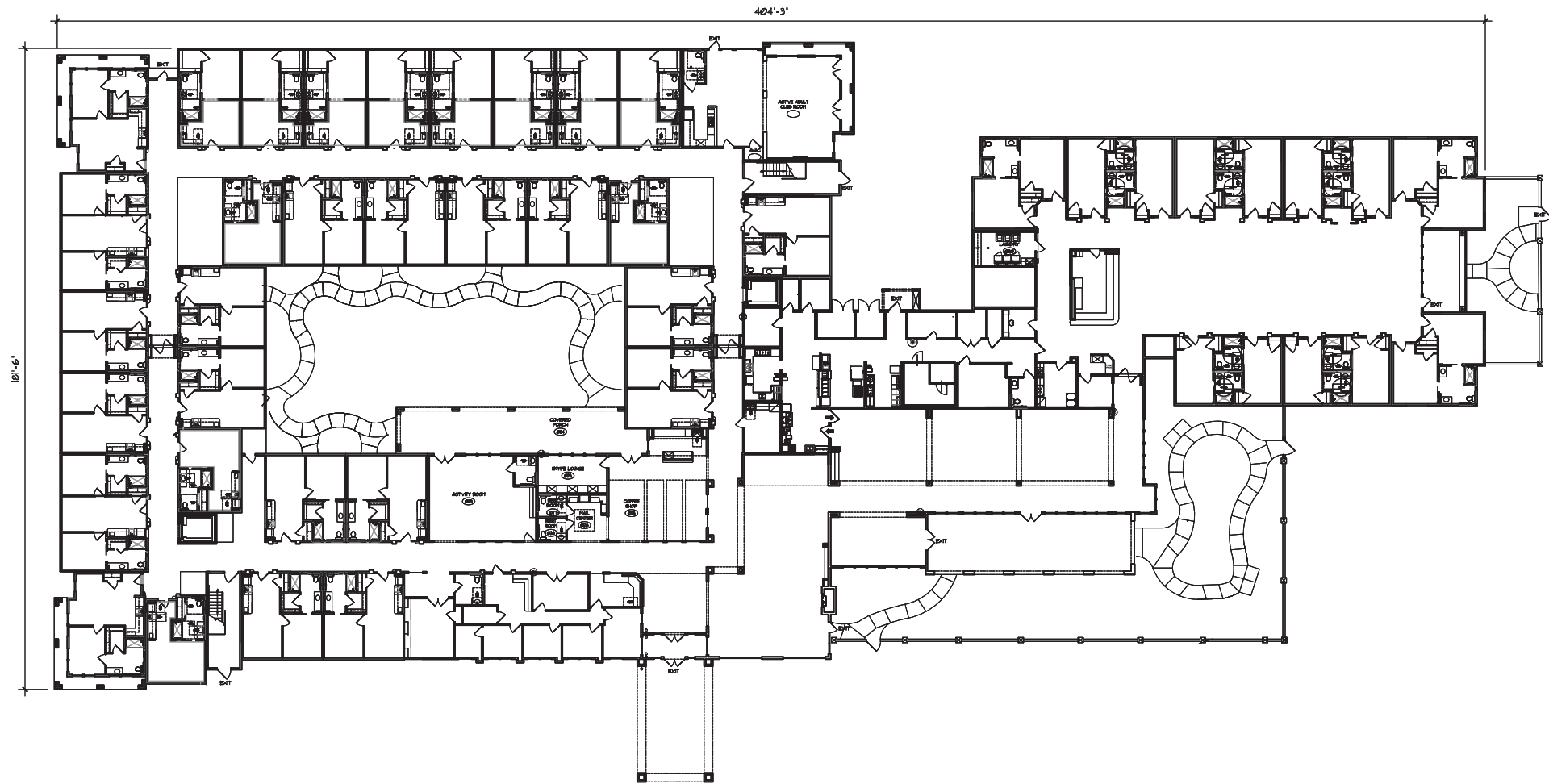
4 EXTERIOR ELEVATION
SCALE 1/4" = 1'-0"

MATERIAL PERCENTAGE	
BRICK	41%
STONE	54%
HARDIE	5%

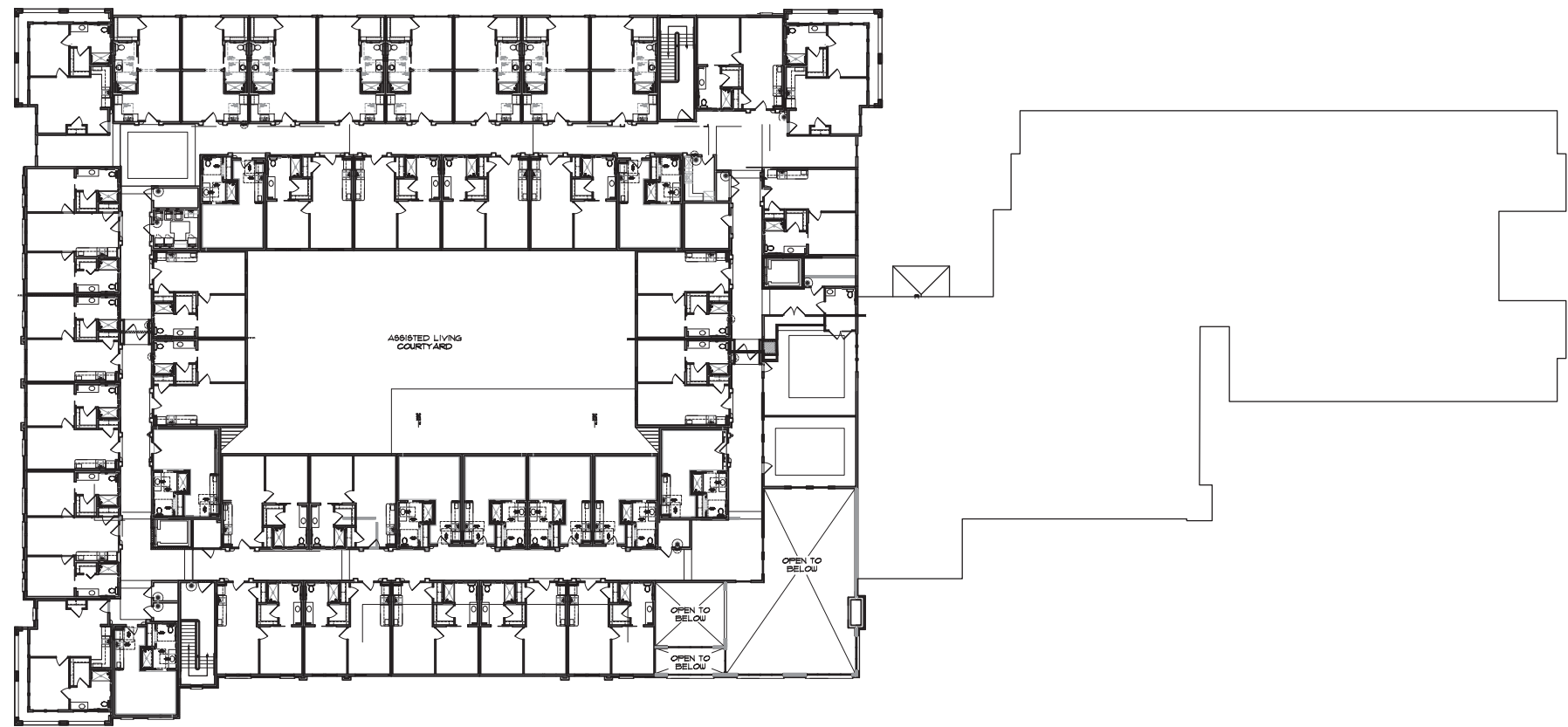


○ KEY PLAN
SCALE N.T.S.

CASE: ZC 2017-01



1 CONCEPTUAL FIRST FLOOR - ASSISTED LIVING/ MEMORY CARE
SCALE: N/A



2 CONCEPTUAL SECOND FLOOR - ASSISTED LIVING/ MEMORY CARE
SCALE: N/A

Stone Creek at N. Richland Hills

Assisted

Living Units:

2-Story

Unit SQ.FT.	UNIT TYPE	# OF UNITS	# OF BEDS
419	A	15	15
499	B	10	10
522	C	10	10
635	D	8	8
833	E	8	8
Total # of Living Units:		72	76
Total Sq.ft. Of units		37,686	

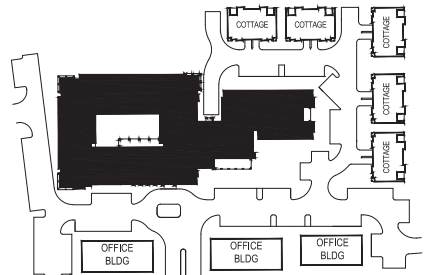
Assisted Living:	37,686
Memory Care:	4,128
Net Rentable:	41,814 53.16%
Common Area:	36,838 46.84%
Total S.F.:	78,652

Memory Care

Units:

1-Story

Unit SQ.FT.	UNIT TYPE	# OF UNITS	# OF BEDS
302	F	1	1
300	G	12	12
337	H	1	1
Total # of Living Units:		13	16
Total Sq.ft. Of units		4,128	



SITE KEY PLAN

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North Richland Hills, Texas

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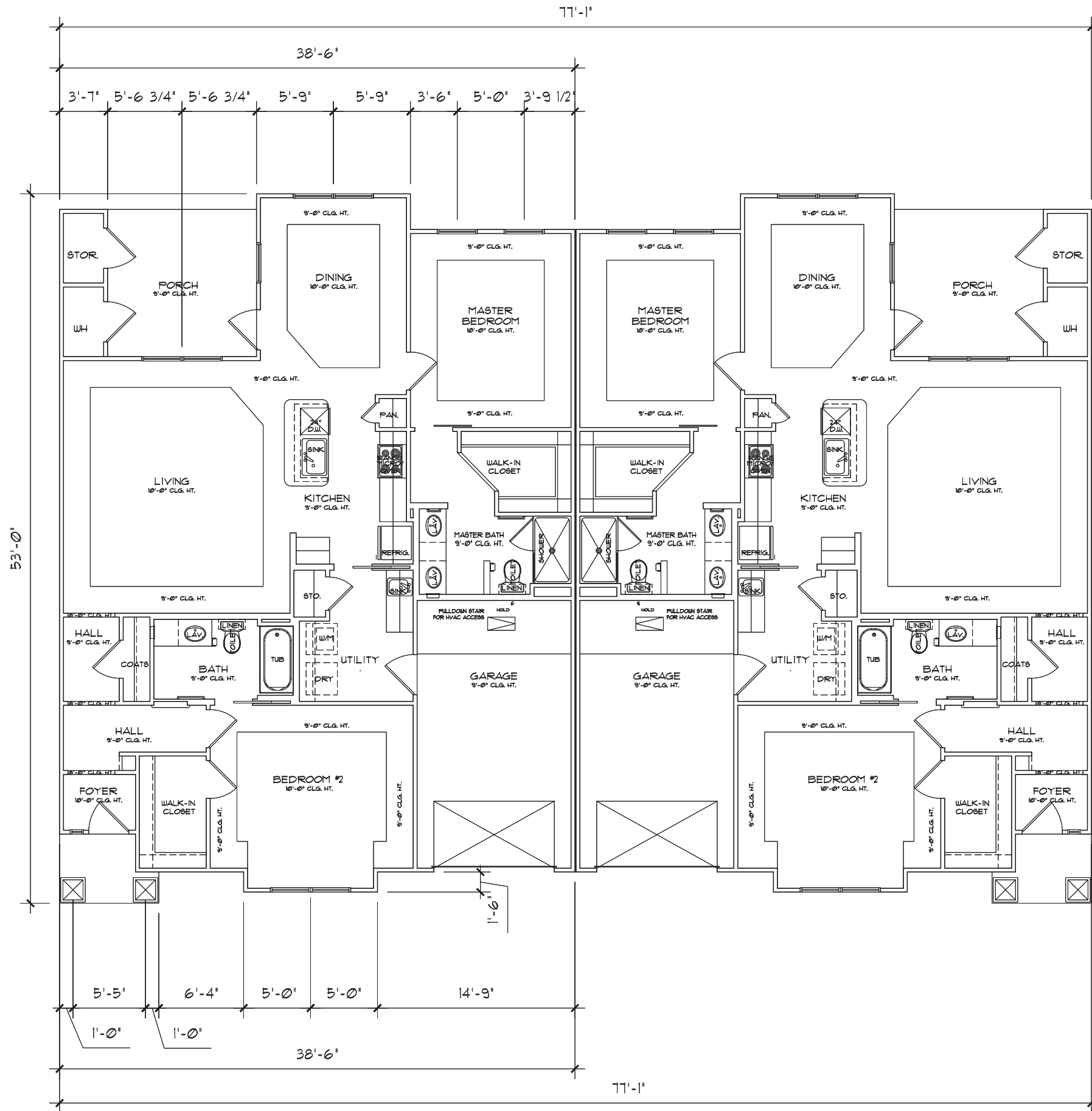
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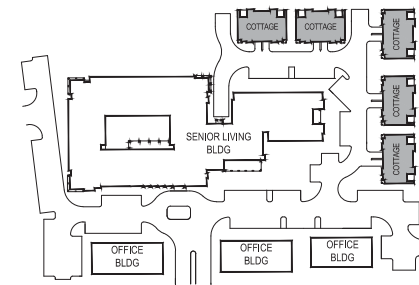
OVERALL BUILDING PLAN

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1 CONCEPTUAL FLOOR PLAN - COTTAGE
SCALE: 1/4" = 1'-0"



SITE KEY PLAN



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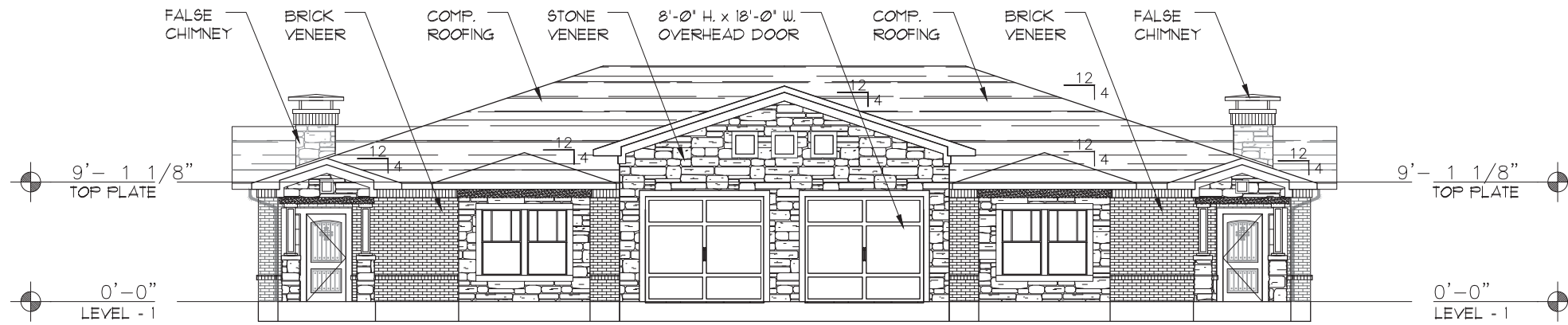
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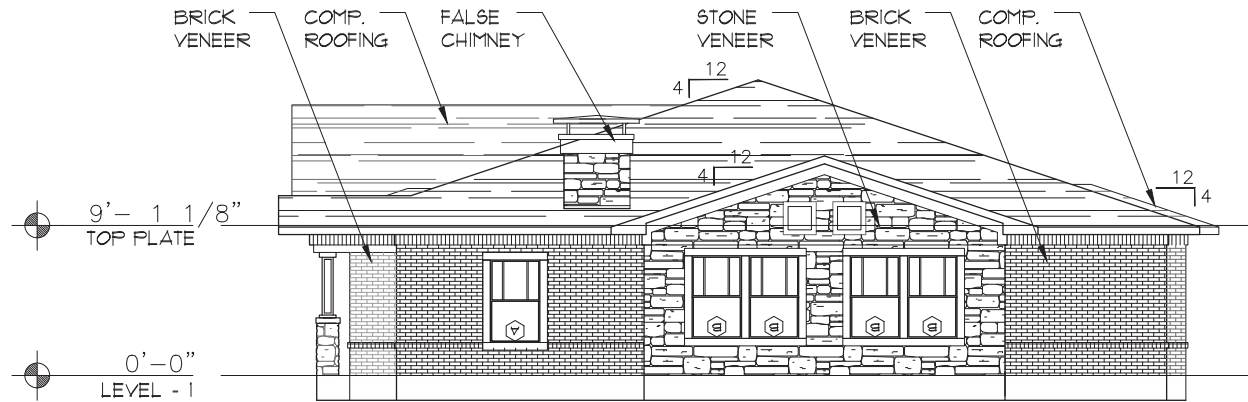
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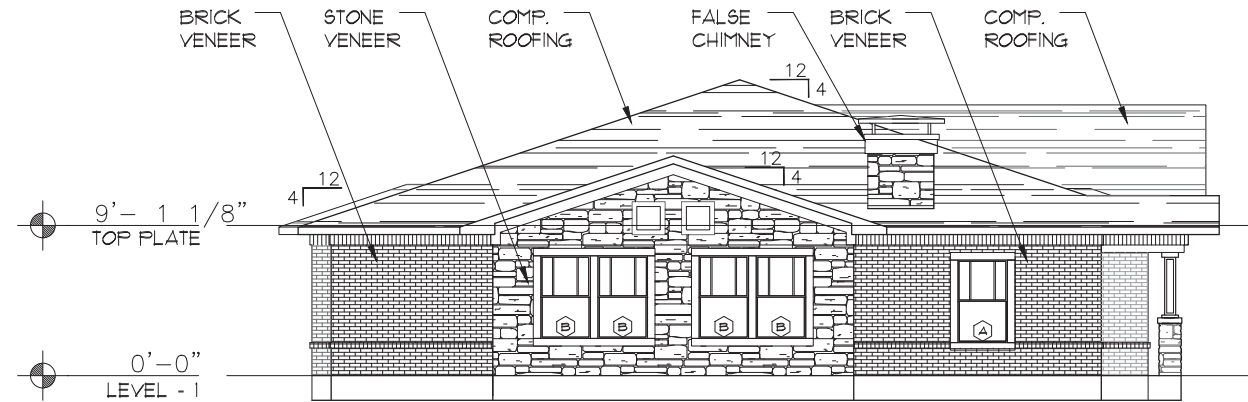
1 CONCEPTUAL EXTERIOR FRONT ELEVATION - COTTAGE
SCALE 3/16" = 1'-0"
FUTURE DESIGN MIGHT BE BY OTHERS

MASONRY (STONE & BRICK) PERCENTAGE
98% BRICK AND/OR STONE
2% CEMENTITIOUS SIDING



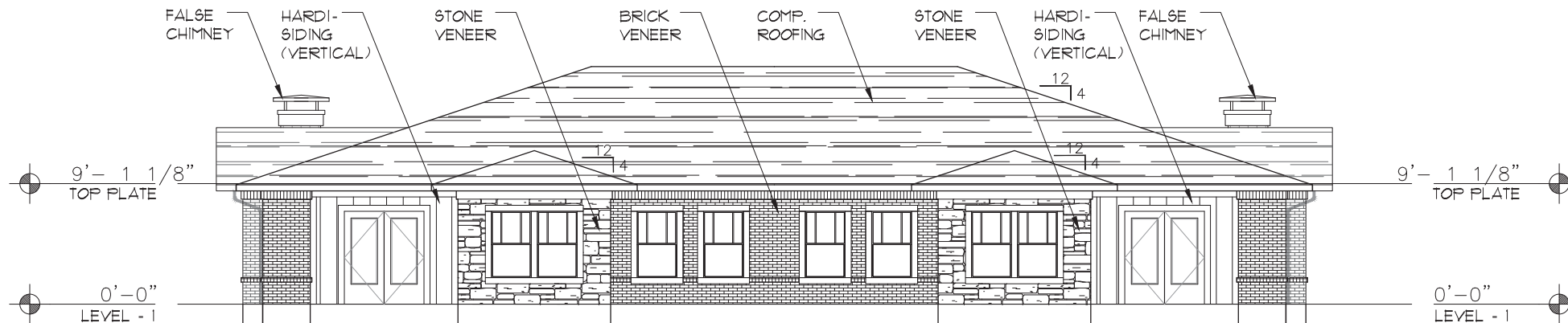
2 CONCEPTUAL EXTERIOR SIDE ELEVATION - COTTAGE
SCALE 3/16" = 1'-0"
FUTURE DESIGN MIGHT BE BY OTHERS

MASONRY (STONE & BRICK) PERCENTAGE
98% BRICK AND/OR STONE
2% CEMENTITIOUS SIDING



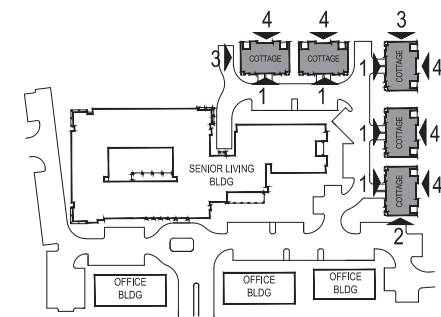
3 CONCEPTUAL EXTERIOR SIDE ELEVATION - COTTAGE
SCALE 3/16" = 1'-0"
FUTURE DESIGN MIGHT BE BY OTHERS

MASONRY (STONE & BRICK) PERCENTAGE
98% BRICK AND/OR STONE
2% CEMENTITIOUS SIDING



4 CONCEPTUAL EXTERIOR REAR ELEVATION - COTTAGE
SCALE 3/16" = 1'-0"
FUTURE DESIGN MIGHT BE BY OTHERS

MASONRY (STONE & BRICK) PERCENTAGE
95% BRICK AND/OR STONE
5% CEMENTITIOUS SIDING



SITE KEY PLAN

CASE: ZC 2017-01



Stonecreek at North Richland Hills

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A12.51	



MATERIAL PERCENTAGE	
BRICK	52%
STONE	46%
HARDIE	2%



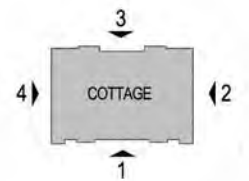
MATERIAL PERCENTAGE	
BRICK	60%
STONE	38%
HARDIE	2%

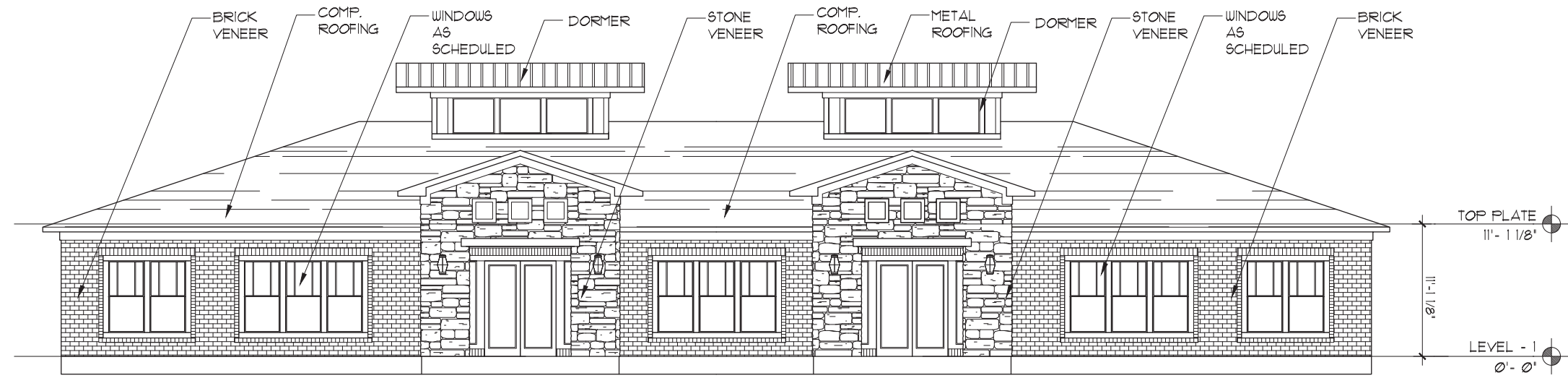


MATERIAL PERCENTAGE	
BRICK	60%
STONE	35%
HARDIE	5%



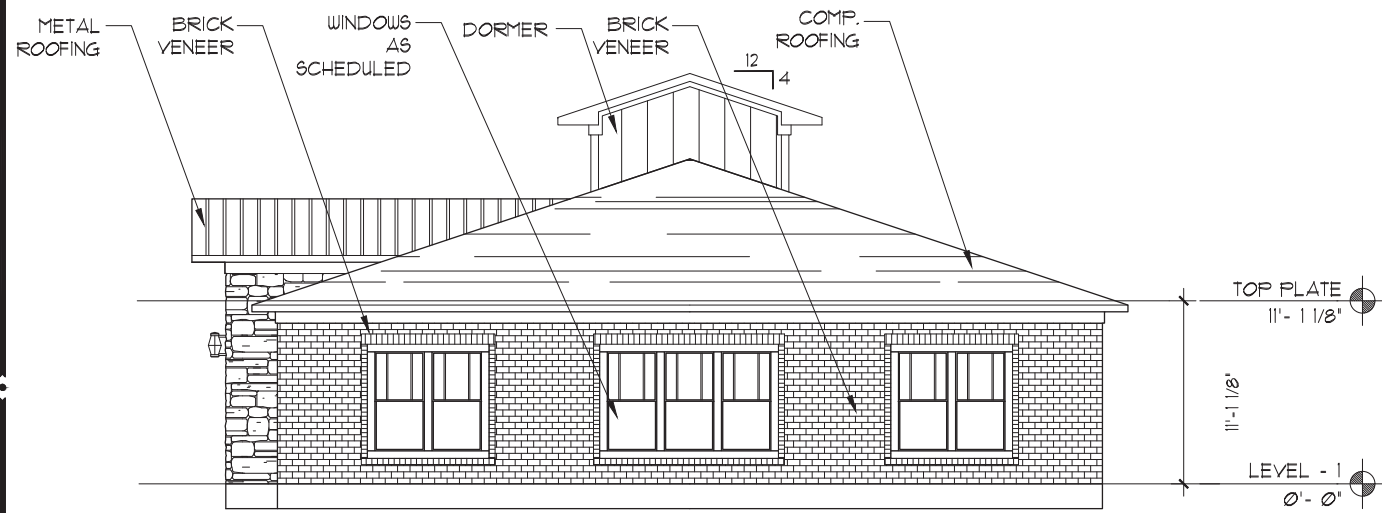
MATERIAL PERCENTAGE	
BRICK	57%
STONE	41%
HARDIE	2%





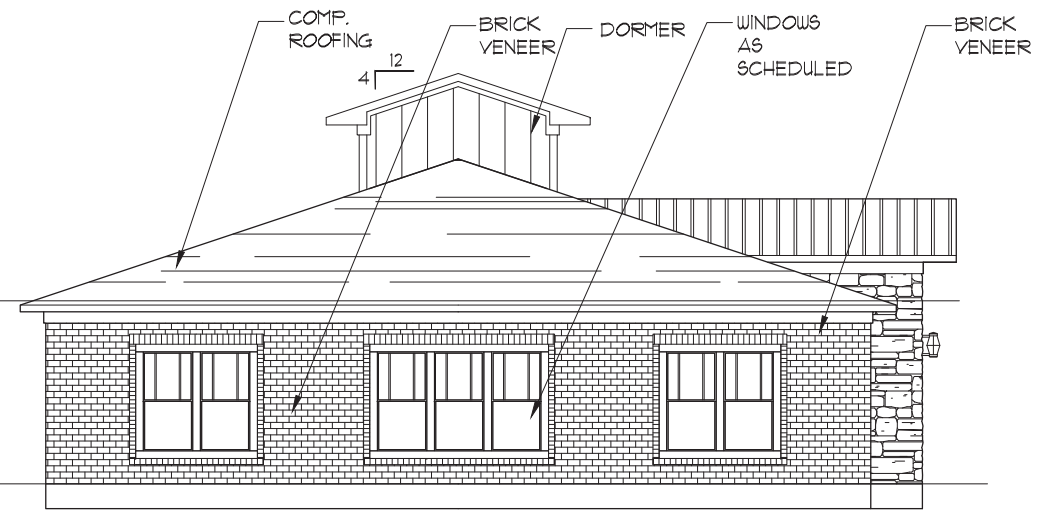
1 CONCEPTUAL EXTERIOR FRONT ELEVATION - OFFICE BLDG
SCALE 3/16" = 1'-0"
FUTURE DESIGN MIGHT BE BY OTHERS

MASONRY (STONE & BRICK) PERCENTAGE
98% BRICK AND/OR STONE
2% CEMENTITIOUS SIDING



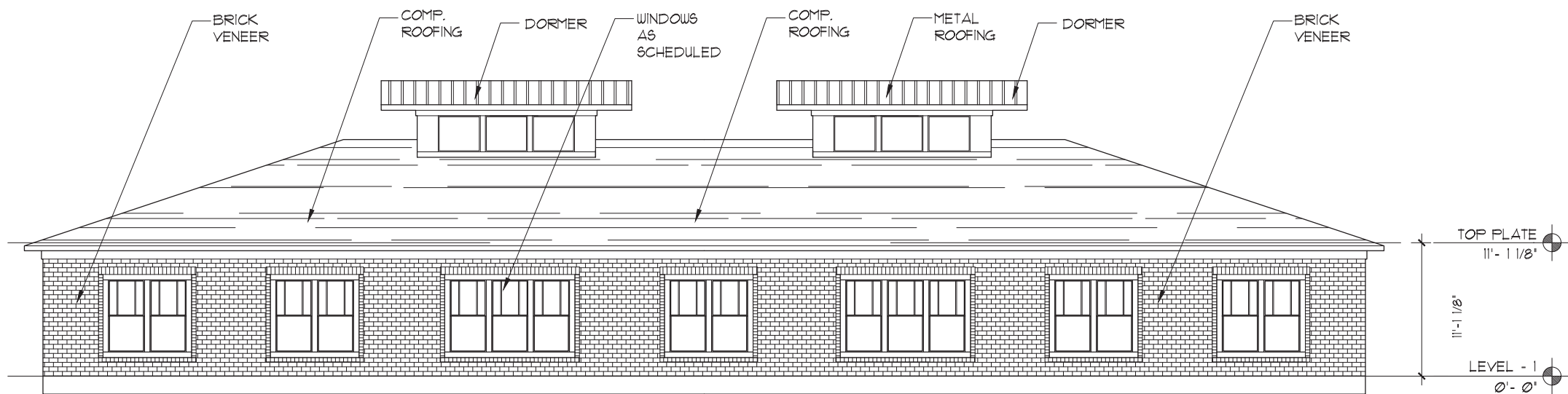
2 CONCEPTUAL EXTERIOR SIDE ELEVATION - OFFICE BLDG
SCALE 3/16" = 1'-0"
FUTURE DESIGN MIGHT BE BY OTHERS

MASONRY (STONE & BRICK) PERCENTAGE
98% BRICK AND/OR STONE
2% CEMENTITIOUS SIDING



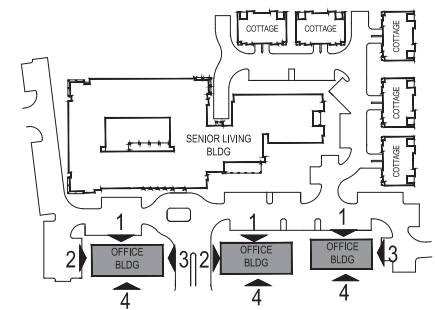
3 CONCEPTUAL EXTERIOR SIDE ELEVATION - OFFICE BLDG
SCALE 3/16" = 1'-0"
FUTURE DESIGN MIGHT BE BY OTHERS

MASONRY (STONE & BRICK) PERCENTAGE
98% BRICK AND/OR STONE
2% CEMENTITIOUS SIDING



4 CONCEPTUAL EXTERIOR REAR ELEVATION - OFFICE BLDG
SCALE 3/16" = 1'-0"
FUTURE DESIGN MIGHT BE BY OTHERS

MASONRY (STONE & BRICK) PERCENTAGE
98% BRICK AND/OR STONE
2% CEMENTITIOUS SIDING



SITE KEY PLAN



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North Richland Hills, Texas

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A12.55	

EXTERIOR FINISH MATERIALS



BRICK VENEER - FIELD
HARDIE PANEL
ROOFING 1
STONE VENEER
TRIM
ROOFING 2

MATERIAL PERCENTAGE	
BRICK	60%
STONE	38%
HARDIE	2%



1 CONCEPTUAL EXTERIOR FRONT ELEVATION - OFFICE BLDG
SCALE: 3/8" = 1'-0"



MATERIAL PERCENTAGE	
BRICK	94%
STONE	4%
HARDIE	2%

MATERIAL PERCENTAGE	
BRICK	94%
STONE	4%
HARDIE	2%



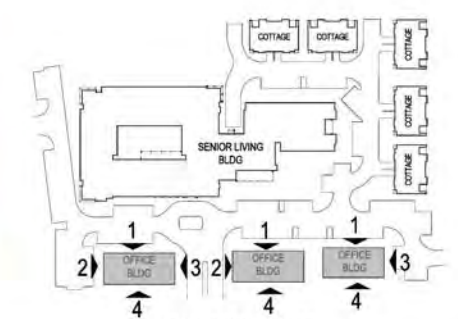
3 CONCEPTUAL EXTERIOR SIDE ELEVATION - OFFICE BLDG
SCALE: 3/8" = 1'-0"

2 CONCEPTUAL EXTERIOR SIDE ELEVATION - OFFICE BLDG
SCALE: 3/8" = 1'-0"

MATERIAL PERCENTAGE	
BRICK	98%
STONE	0%
HARDIE	2%



4 CONCEPTUAL EXTERIOR REAR ELEVATION - OFFICE BLDG
SCALE: 3/8" = 1'-0"



SITE KEY PLAN

CASE: ZC 2017-01

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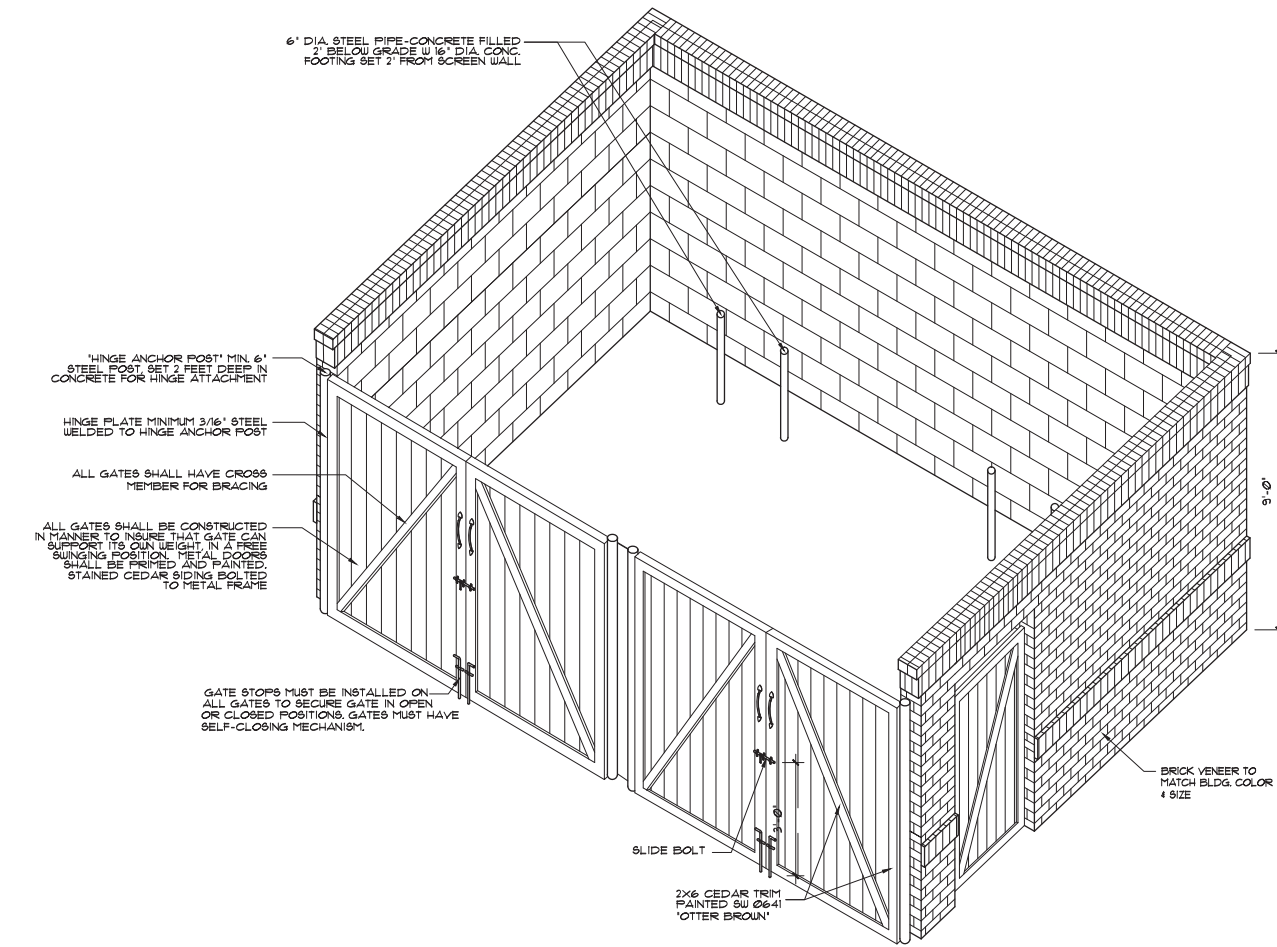
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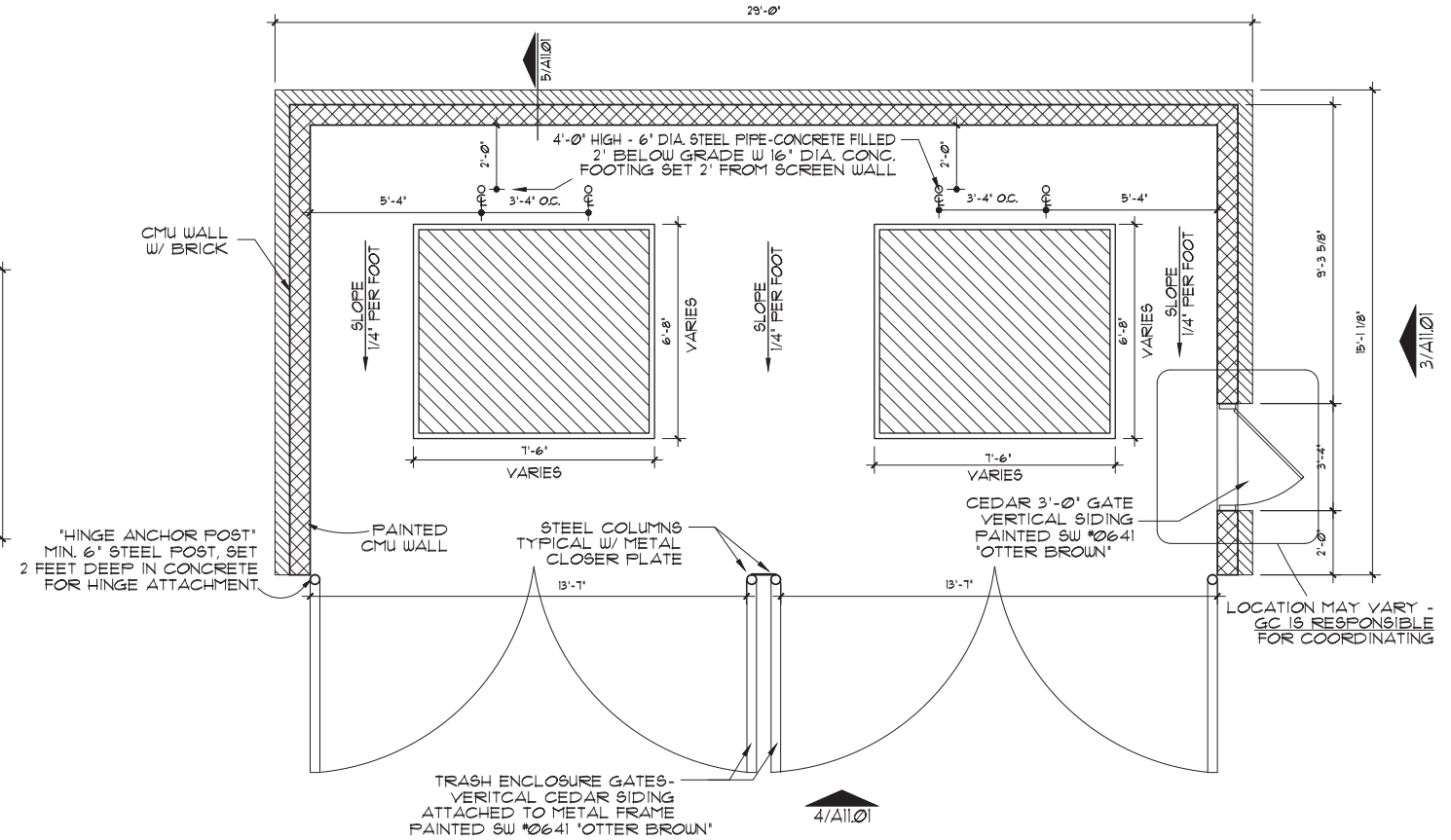
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DESIGNED FOR: DRC	SCALE: AS NOTED

A12.55

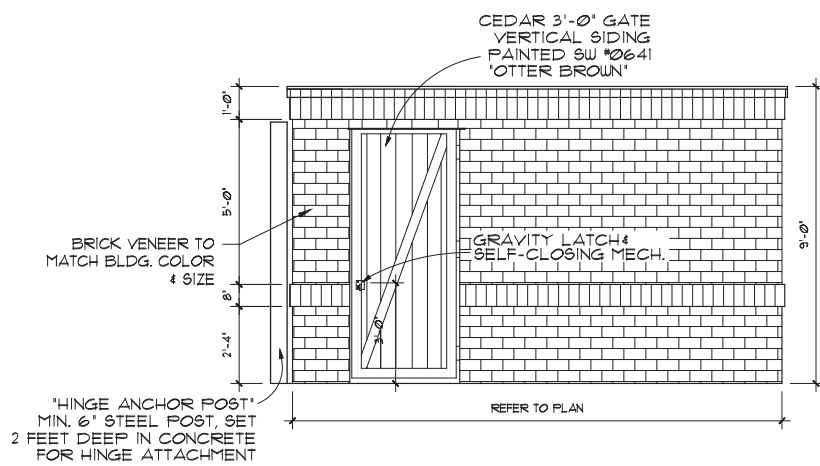
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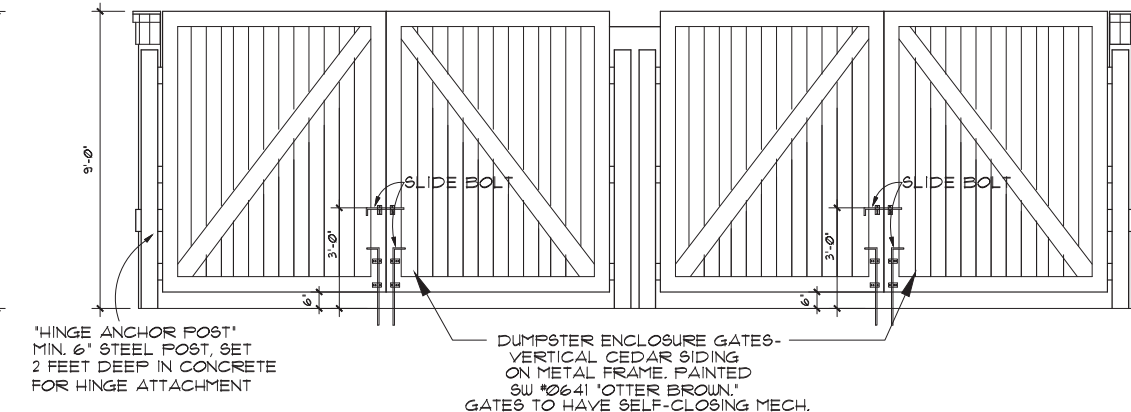
1 DUMPSTER ISOMETRIC
SCALE 1/4" = 1'-0"



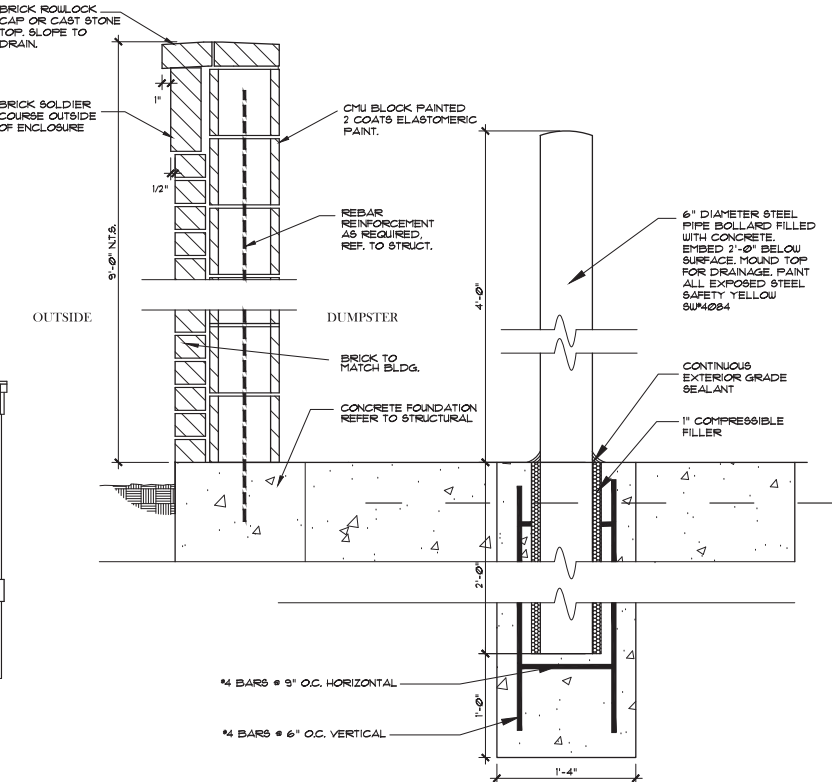
2 DUMPSTER PLAN
SCALE 3/8" = 1'-0"



3 DUMPSTER ELEVATION
SCALE 3/8" = 1'-0"

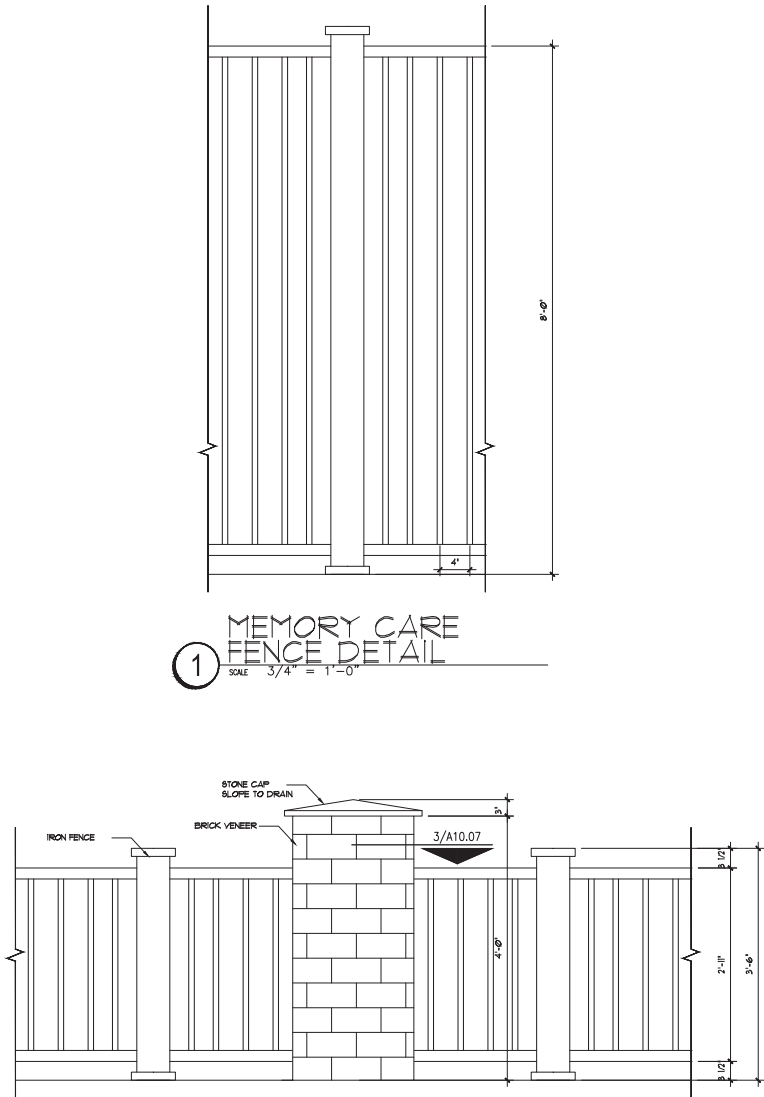


4 DUMPSTER ELEVATION
SCALE 3/8" = 1'-0"

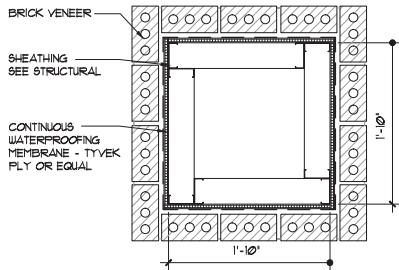


5 DUMPSTER WALL SECTION
SCALE 3/4" = 1'-0"

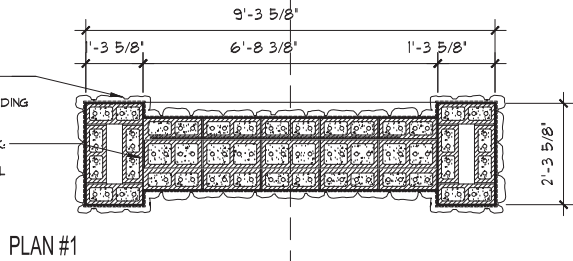
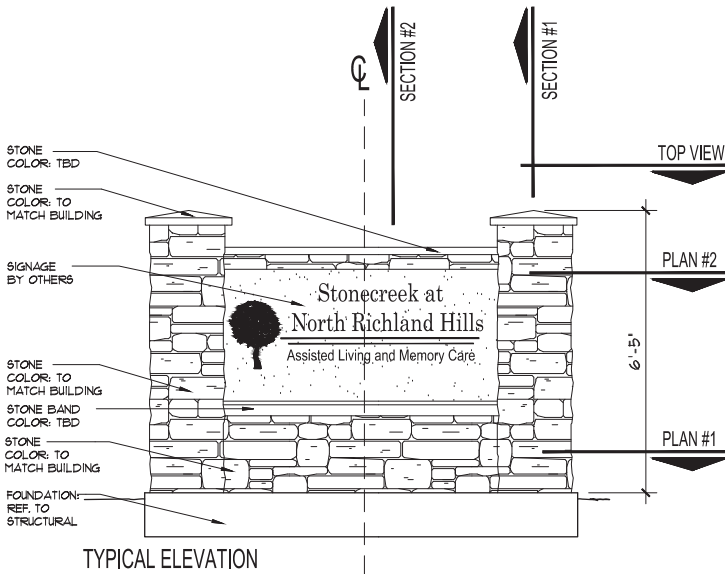




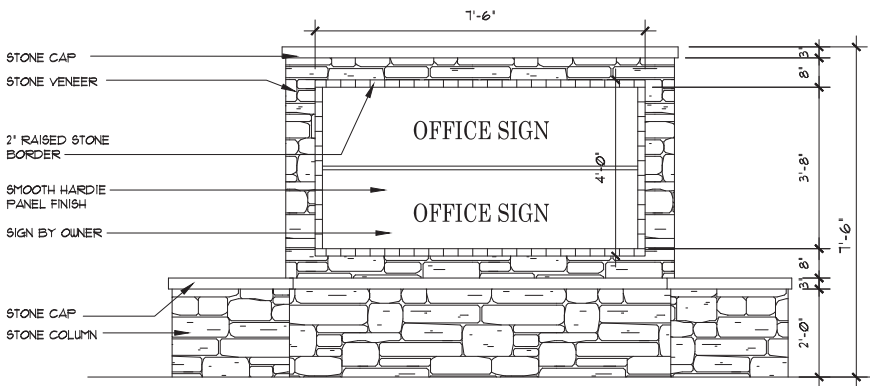
2 FENCE DETAIL
SCALE 3/4" = 1'-0"



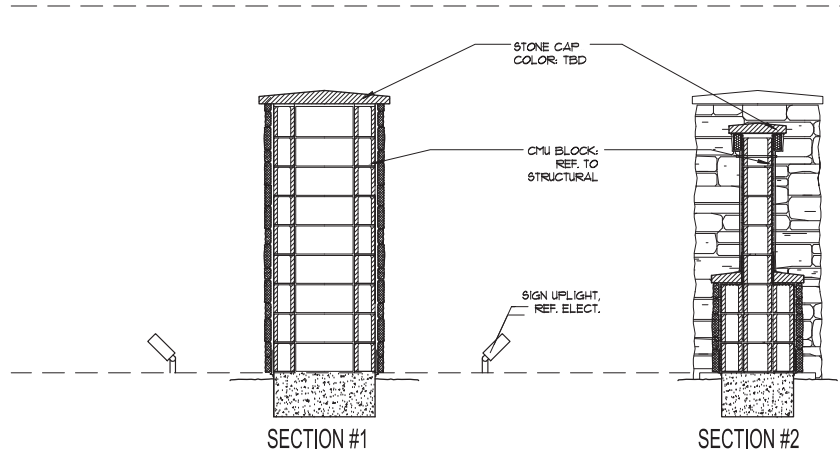
3 FENCE DETAIL
SCALE 1" = 1'-0"



4 BUILDING MONUMENT SIGN
SCALE 1/2" = 1'-0"



5 OFFICE BUILDING MONUMENT SIGN
SCALE 1/2" = 1'-0"



Stonecreek at North Richland Hills

North Richland Hills, Texas

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