



2 VICINITY MAP

SCALE: N.T.S.

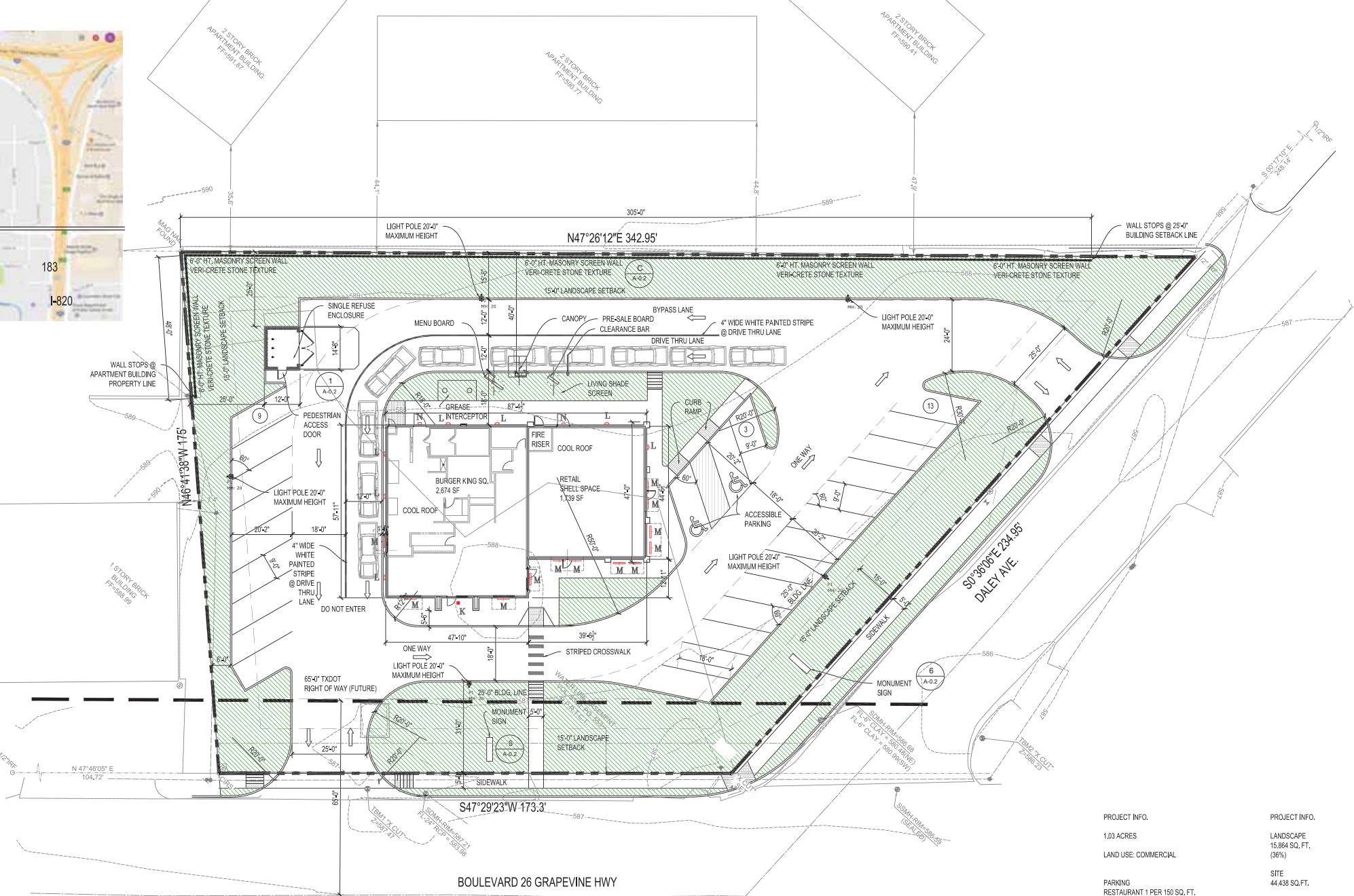
COOL ROOF. A BUILDING WHOSE ROOFING HAS EITHER: (1) A SOLAR REFLECTIVE INDEX (SRI) OF AT LEAST 75 FOR LOW-SLOPED ROOFS WITH A PITCH EQUAL TO OR LESS THAN 2:12 FOR AT LEAST 75 PERCENT OF THE ROOF SURFACE; (2) AN SRI OF AT LEAST 25 FOR STEEP-SLOPED ROOFS WITH A PITCH GREATER THAN 2:12 FOR AT LEAST 75 PERCENT OF THE ROOF SURFACE; (3) A BUILDING THAT HAS INSTALLED A VEGETATED ROOF APPROVED BY THE DEVELOPMENT REVIEW COMMITTEE FOR AT LEAST 50 PERCENT OF THE ROOF SURFACE; OR (4) A COMBINATION THEREOF.

Conservation standards. The following options are primarily intended to encourage energy conservation through such passive solar design methods as shading, daylighting, and building orientation, whereby adding to the articulation and ornamentation of the building as well. A buildings shall utilize a minimum of three of the following options per building. The Development Review Committee may review these options based on meeting the intent of passive solar design.

- (1) Cool roof;
 - (2) Solar orientation;
 - (3) Living shade screen;
 - (4) Awnings, overhangs, arcades, canopies or porticos with colonnade;
 - (5) Window area that covers at least 30 percent of one facade, or 50 percent of two facades;
 - (6) Clerestories and window shelves; frames;
 - (7) Architecturally integrated rainwater harvesting systems;
 - (8) Other as approved by the Development Review Committee as in keeping with the intent of this

Ornamentation standards. The following options are available to embellish primary facade walls. All primary facade walls shall utilize a minimum of three of the below options, at least one of which shall occur vertically at a separation no less than three times the walls height. No ornamentation is required on secondary facade walls; however corner elements are required to wrap from the primary facade wall to the secondary facade wall. The term "decorative" is inferred in all options.

- (1) Enhanced exterior lighting such as wall sconces or light covers with concealed light source,
- (2) Change in material selection, module size, color, texture and/or pattern,
- (3) Public art such as murals, paintings, sculptures, statues, etc. or within ten feet of a facade wall. Such public art shall not display or communicate a political message, shall be appropriately scaled for the size of the facade and shall be approved by the Development Review Committee,
- (4) Non-cantilevered accents such as cornices, medallions, niches, wrought iron and other metal balustrades, dormers, faux windows or otherwise as approved by the Development Review Committee,
- (5) Cornices,
- (6) Quoining;
- (7) String courses and stone banding,
- (8) Ached or pedimented windows,
- (9) Masonry treatment at window and/or door headers and sills.



EXTERIOR LIGHT FIXTURE SCHEDULE						
ALL REMODELS & NEW CONSTRUCTION EXTERIOR	LED OPTIONS					
	TYPE	MANUFACTURER	CATALOG NO.	WATTAGE	COLOR TEMP.	REMARKS
	K 	NEWSTAR	AGV14-OP-UN-42	40		RECESSED SOFFIT LIGHT 9'-0"
	L 	LITHONIA	WST LED P3 50K VW MVOLT	50		
	M 	LITHONIA	ZL1N L48 5000LM FST MVOLT 50K 80 CRI	41.75		TO BE USED AT AWNINGS ONLY 19'-0"
	N 	LITHONIA	KAXW LED P2 50K R4 MVOLT	49		WALL MOUNTED SECURITY LIGHT 9'-0"
P1 	LITHONIA	KAD LED 40C 700 40K R2 MVOLT HS	91			

SITE PL

SCALE: 1" = 20'-0"

A scale bar diagram with a horizontal line and tick marks at 0', 10', 20', and 40'. A dashed line extends from the 20' mark to the right.

SSMH-RIM=586
CHANNEL = 57.51
FL NOT ACCESSIF

PROJECT INFO.	PROJECT INFO.
1.03 ACRES	LANDSCAPE 15,864 SQ.FT. (36%)
LAND USE: COMMERCIAL	SITE 44,438 SQ.FT.
PARKING	
RESTAURANT 1 PER 150 SQ.FT.	
SHOPPING CENTERS, RETAIL 1 PER 250 SQ.FT.	
PER SECTION 118-470	
2,674 SF	
18 PARKING SPACES REQUIRED	
RETAIL	
1,739 SF	
7 PARKING SPACES REQUIRED	
25 TOTAL PARKING SPACES REQUIRED	

**2 OF THE PARKING SPACES ARE
WHEEL CHAIR ACCESSIBLE**

SEC. 118-834
60 DEGREE PARKING
9.0' STALL WIDTH
20.1' STALL DEPTH
18' ONE WAY AISLE WIDTH

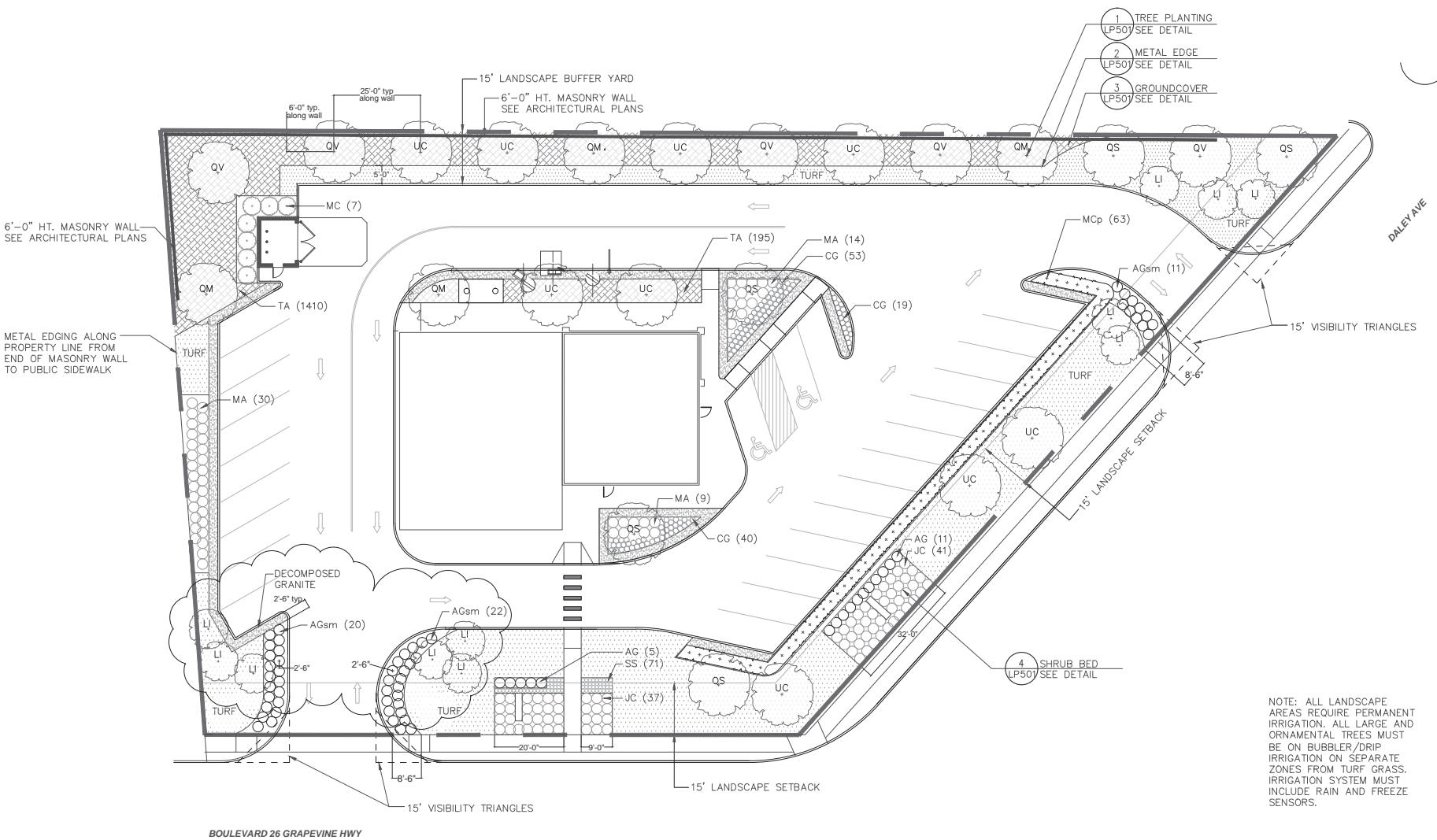
90 DEGREE PARKING
9.0' STALL WIDTH
18' STALL DEPTH

PROJECT #: 16006 Feb 20, 2017 6:10 pm
ROC-60 20/20 IMAGE: APRIL 2015 DESIGN RELEASE
HWY 26 & DALEY AVE
BURGER KING RESTAURANT
7047 HWY 26
NORTH RICHLAND HILLS, TX 76180

CASE# SP2016-06

A-0.1

- GENERAL NOTES
1. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND STRUCTURES WHETHER OR NOT SHOWN ON THE PLANS, AND SHALL BE RESPONSIBLE FOR DAMAGE TO SAID UTILITIES OR STRUCTURE CAUSED BY HIS/HER CREW AND SUBCONTRACTORS.
 2. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH CITY CODES. CONTRACTOR WILL SECURE ALL REQUIRED PERMITS AND PAY ASSOCIATED FEES UNLESS OTHER ARRANGEMENTS ARE MADE WITH THE OWNER.
 3. NO PLANT SUBSTITUTIONS TO BE MADE UNLESS AUTHORIZED IN WRITING BY OWNER OR LANDSCAPE ARCHITECT.



Plant Tag Botanical Name	Common Name	Size	Quantity	Spacing	Notes
Large Trees					
QM Quercus muehlenbergii	Chinquapin Oak	3" caliper	4	as shown	
QS Quercus shumardii	Shumard Oak	3" caliper	5	as shown	
QV Quercus virginiana	Southern Live Oak	3" caliper	5	as shown	evergreen
UC Ulmus crassifolia	Cedar Elm	3" caliper	9	as shown	
Small / Ornamental Trees					
LI Lagerstroemia x 'Natchez' white	Natchez White Crepe Myrtle	30 gallon	11	as shown	6' ht. Well-matched, multi-stemmed.
Shrubs					
AG Abelia grandiflora var 'Silver Anniversary'	"Silver Anniversary" Glossy Abelia	5g	16	3' o.c.	
AGsm Abelia grandiflora var 'Silver Anniversary'	"Silver Anniversary" Glossy Abelia	3g	53	3' o.c.	
JC Juniperus chinensis var procumbens 'Nana'	Japanese Garden Juniper	3g	78	3' o.c.	
MC Myrica cerifera	Wax Myrtle	5g	7	5' o.c.	
MCp Myrica cerifera var. pumila (Myrica prunifolia)	Dwarf Wax Myrtle	3/5g see note	63	3' o.c.	Max 30' ht.
Perennials					
MA Mahonia aquifolium v. drummondii	Turk's Cap	3g	53	3' o.c.	
CG Coreopsis grandiflora 'Baby Sun'	Coreopsis	1g	112	18" o.c.	Plant in a triangular pattern.
Grasses					
SS Schizachyrium scoparium	Little Bluestem	1g	71	12" o.c.	
TURF Stenotaphrum secundatum 'Palmetto'	Palmetto St. Augustine	sod	as shown		Sod must be uniformly thick. Stagger seams.
Groundcover					
TA Trachelospermum asiaticum	Asian Jasmine	4" pot	1632	18" o.c.	Plant in a triangular pattern.
Other landscape materials					
Decomposed Granite		to 4" depth	verify 5F.		Brown. Install per Mtg. Specs.
Metal edging		3/16" x 4"x deep	verify L.F.		Bronze. Permaloc Clearline Commercial Grade or similar. See Details.
Mulch		3" depth	verify S.F.		Coarsely shredded hardwood mulch as noted, see Details & Specs
Compost			verify S.F.		Refer to Specs.

NORTH RICHLAND HILLS LANDSCAPING + BUFFERING STANDARDS		
Total Site Area: 44,435 sf	Req'd	Provided
Total Site Landscaped Area		
at least 15% of the site must be maintained in landscape	6,666 sf	16,191 sf
Landscape Setback		
setback shall be 15' adjacent to all public street r.o.w.	yes	yes
1 large tree (or 2 ornamentals) / 50 LF required in landscape setback	9	9 equivalent (5 lg + 8 sm)
10 shrubs / 50 LF required in landscape setback	90	123 (plus 71 orn. grasses)
landscaping islands planted with small shrubs 3' o.c.	yes	yes
Parking Lot Requirements		
Parking Lot Area: 19,400sf (all paved areas for maneuvering and parking of cars)		
must contain at least 5% landscaped area	973 sf	11,023 sf
parking spaces adjacent to public r.o.w. screened by solid screening	yes	yes
1 large canopy tree per 20 parking spaces (25 spaces proposed)	2	3
all parking spaces located within 100' of large canopy tree	yes	yes
Buffer Yard		
15' landscape buffer provided between non-residential and residential	yes	yes
1 tree / 30 LF of buffer (343 LF)	12	12
40% must be evergreen	5	5
8'-8" tall screening wall where non-residential abuts residential	yes	yes

Case SP 2016-06

2	Tree Placement Adjusted	3/17/2017
1	Site Plan Revisions	1/9/2017
No.	Revision/Issue	Date

Project Owner
Burger King Franchise
Firebrand Properties, LP
3318 Forest Ln.
Dallas, TX 75234
Contact: Armando Palacios
lhale@sunholdings.net
Office: 972-249-6179

Project Name and Address
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Burger King Restaurant
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North Richland Hills, TX 76180

R+D landscape architects, pllc
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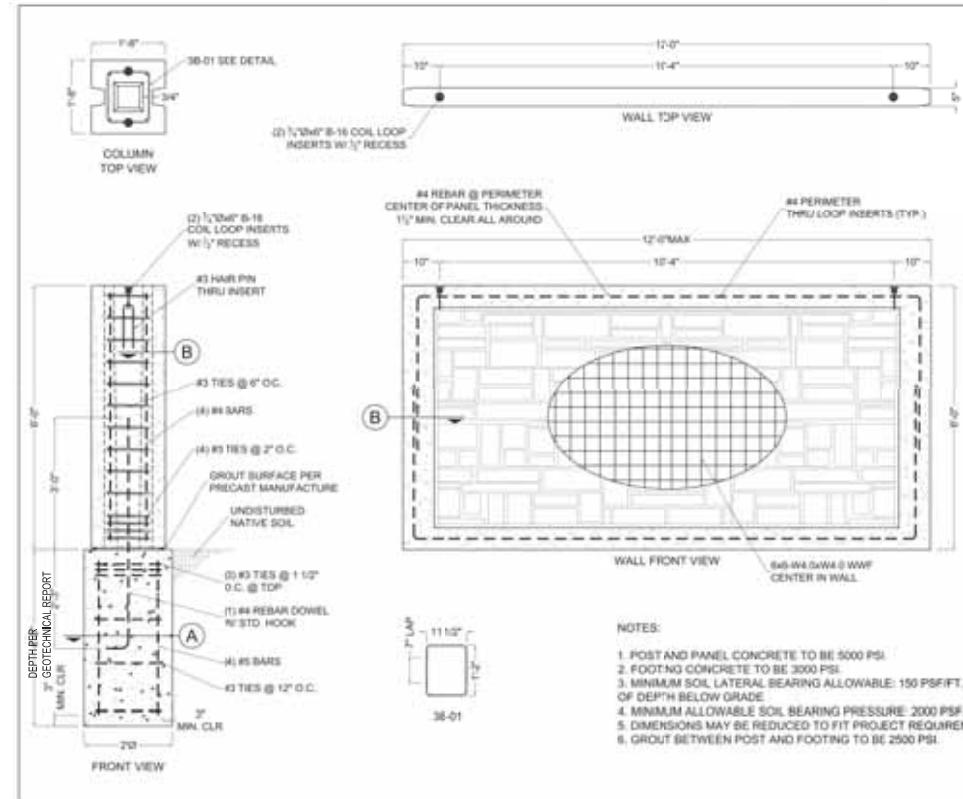


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Sheet Title:	NORTH

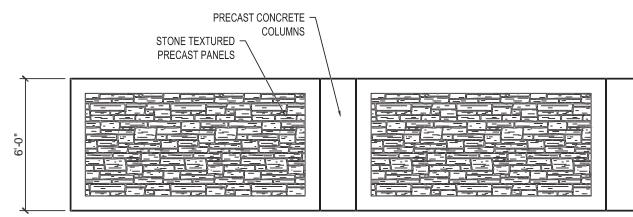
PLANTING PLAN

Sheet No.

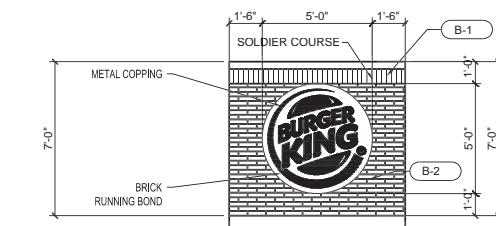
LP. 1 - 01



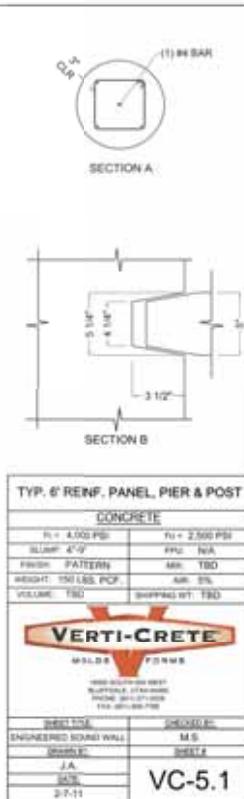
C SCREEN WALL PLAN & SECTION
SCALE: 1/2" = 1'-0"



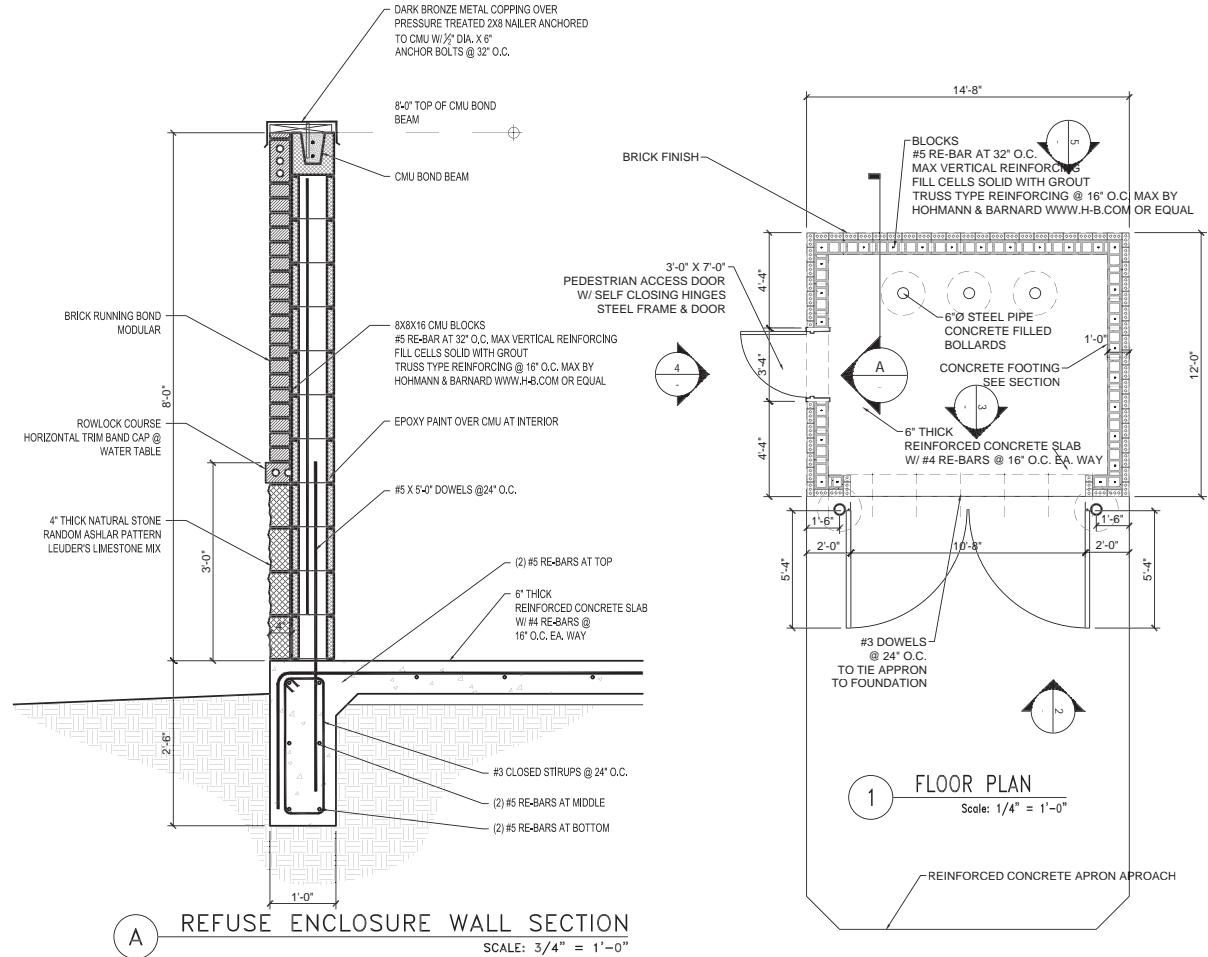
5 GARDEN SCREEN WALL ELEVATION
Scale: 1/4" = 1'-0"



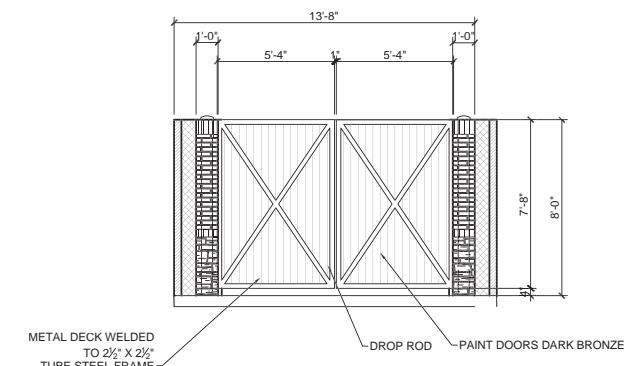
6 MONUMENT SIGN ELEVATION
Scale: 1/4" = 1'-0"



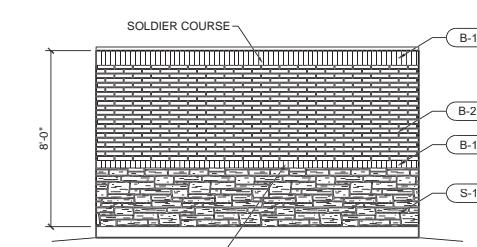
VC-5.1



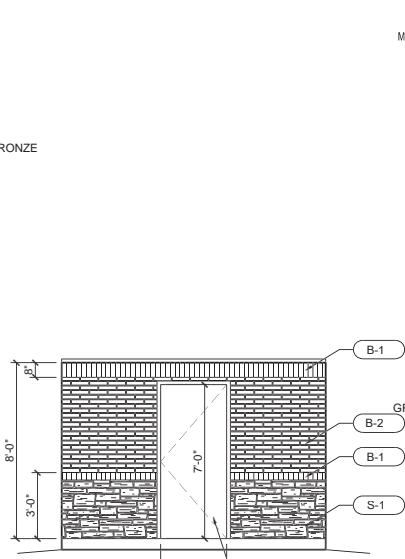
A REFUSE ENCLOSURE WALL SECTION
SCALE: 3/4" = 1'-0"



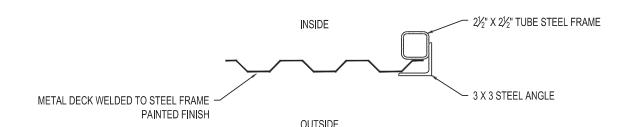
3 INSIDE GATE ELEVATION
Scale: 1/4" = 1'-0"



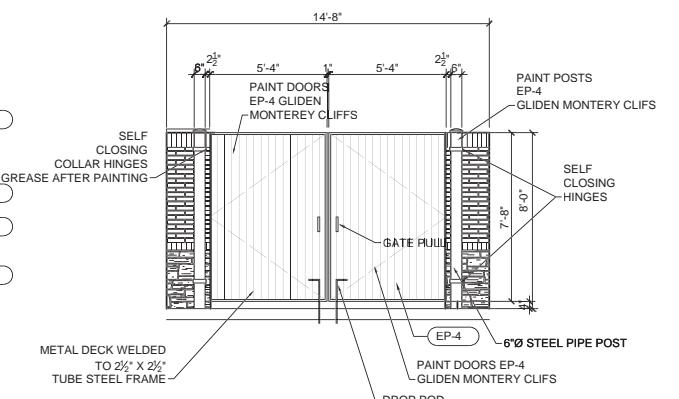
5 REAR EXTERIOR ELEVATION
Scale: 1/4" = 1'-0"



4 SIDE EXTERIOR ELEVATION
Scale: 1/4" = 1'-0"



B GATE PLAN DETAIL
SCALE: 1 1/2" = 1'-0"



2 FRONT EXTERIOR ELEVATION
Scale: 1/4" = 1'-0"

DATE:	
DRAWN BY:	
CHECKED BY:	
REVISION:	



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REG. NO. 2015 DESIGN RELEASE
JAN 18, 2017 - 1:04pm
PROJECT #: 16006
ROC-60 20/20 IMAGE: APRIL 2015
HWY 26 & DALEY AVE
BURGER KING RESTAURANT
7047 HWY 26
NORTH RICHLAND HILLS, TX 76180

SITE DETAILS
A-0.2

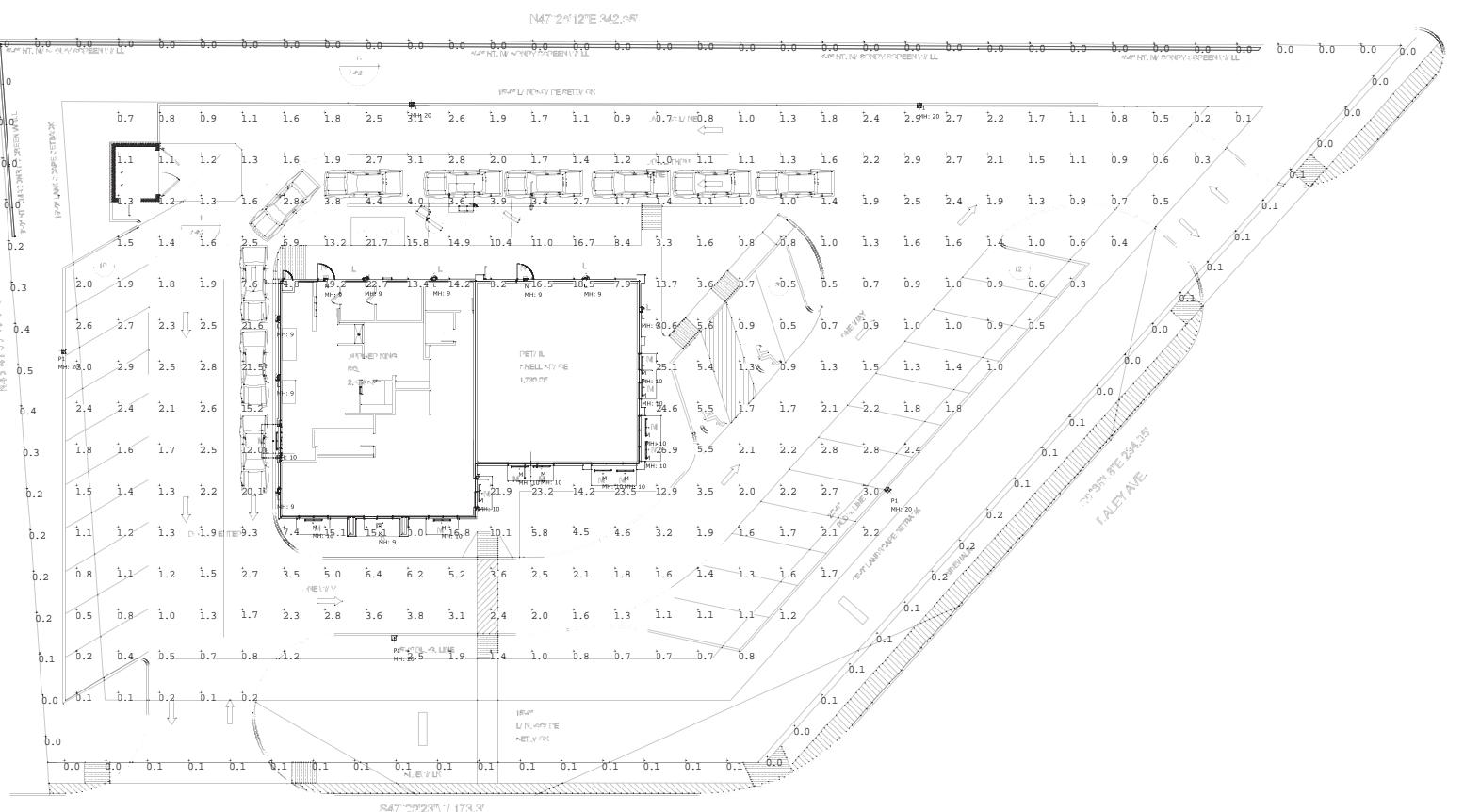
CASE# SP2016-06

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1 PHOTOMETRIC PLAN

SCALE: 1" = 20'

0 10' 20' 40'
SCALE: 1" = 20'



Calculation Summary

Calculation Grid Location

PROPERTY LINE

SITE

Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min
N.A.	Fc	0.07	0.5	0.0	N.A.
0	Fc	3.83	30.6	0.0	N.A.

Luminaire Schedule

Symbol	Type	Qty	Manufacturer / Catalog Number	Total Lumen Output	Total Input Watts	Ballast Factor	Light Lost Factor	User Defined Factor
L		7	LITHONIA WST LED P3 50K VW MVOLT	6691	50	1.000	0.808	1.000
K		1	NEWSTAR AGV14-OP-UN-42	3801	40	1.000	0.808	1.000
N		2	LITHONIA KAXW LED P2 50K R4 MVOLT	6397	49	1.000	0.808	1.000
M		12	LITHONIA ZL1N L48 5000LM FST MVOLT 50K 80 CRI	4896	41.75	1.000	0.808	1.000
P1		5	LITHONIA KAD LED 40C 700 40K R2 MVOLT HS	9239	91	1.000	0.808	1.000

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FILED: 3/22/2017 3:03pm
 MAR 22 2017 3:03PM
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