

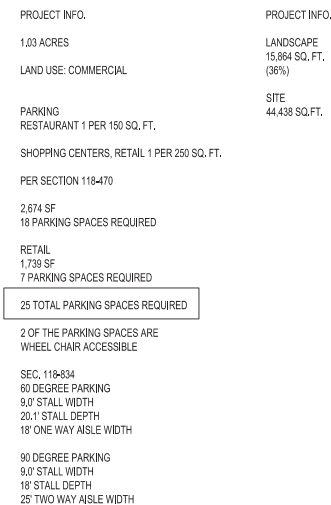


Conservation standards. The following options are primarily intended to encourage energy conservation through such passive solar design methods as shading, daylighting, and building orientation, whereby adding to the articulation and ornamentation of the building as well. All buildings shall utilize a minimum of three of the following options per building. The Development Review Committee may review these options based on meeting the intent of passive solar design.

- (1) Cool roof.
- (2) Solar orientation.
- (3) Living shade screen.
- (4) Awnings, overhangs, arcades, canopies or porticos with colonnade.
- (5) Window area that covers at least 30 percent of one facade, or 50 percent of two facades.
- (6) Clerestory and window shelves/transoms.
- (7) Architecturally integrated rainwater harvesting systems.
- (8) Other as approved by the Development Review Committee as in keeping with the intent of this section.

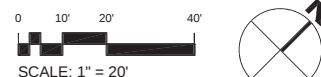
Ornamentation standards. The following options are available to embellish primary façade walls. All primary façade walls shall utilize a minimum of three of the below options, at least one of which shall occur vertically at a separation no less than three times the wall's height. No ornamentation is required on secondary façade walls, however corner elements are required to wrap from the primary façade wall to the secondary façade wall. The term "decorative" is inferred in all options.

- (1) Secondary facade wall, the term "decorative" rings and supports.
- (2) Enhanced exterior lighting such as wall sconces or light covers with concealed light source.
- (3) Changes in material selection, material size, color, texture and/or pattern.
- (4) Public art such as murals, paintings, sculpture, statue, etc. on or within ten feet of a facade wall. Such public art shall not display or connect a commercial message; shall be appropriately sized for the size of the facade and shall be approved by the Development Review Committee.
- (5) Other decorative accents such as corbels, medallions, niches, wrought iron and other metal balconettes, dormers, faux windows or others as approved by the Development Review Committee.
- (6) Cornice, _____
- (7) Quoined corners.
- (8) String courses and stone banding.
- (9) Arched or pedimented windows.
- (10) Massing treatment at window and/or door headers and sills.



EXTERIOR LIGHT FIXTURE SCHEDULE							
LED OPTIONS							
TYPE	MANUFACTURER	CATALOG NO.	WATTAGE	COLOR TEMP.	REMARKS	HEIGHT	
K 	NEWSTAR	AGV14-OP-UN-42	40		RECESSED SOFFIT LIGHT	9'-0"	
L 	LITHONIA	WST LED P3 50K VW MVOLT	50			9'-0"	
M 	LITHONIA	ZL1N L48 5000LM FST MVOLT 50K 80 CRI	41.75		TO BE USED AT AWNINGS ONLY	10'-0"	
N 	LITHONIA	KAXW LED P2 50K R4 MVOLT	49		WALL MOUNTED SECURITY LIGHT	9'-0"	
P1 	LITHONIA	KAD LED 40C 700 40K R2 MVOLT HS	91				

1 SITE PLAN
SCALE: 1" = 20'-0"



BURGER KING FRANCHISE
FIREBRAND PROPERTIES, LP
3318 FOREST LN.
DALLAS, TX 75234
CONTACT: FRED ALLEN
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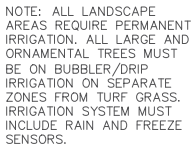


SEAL

Feb 20, 2017 - 6:10pm

PROJECT #: 16006
 APRIL 2015 DESIGN RELEASE
HWY 26 & DALEY AVE
BURGER KING RESTAURANT
 7047 HWY 26
 NORTH RICHLAND HILLS, TX 76180

SITE PLAN



DALEY AVE

NORTH RICHLAND HILLS LANDSCAPING + BUFFERING STANDARDS		
Total Site Area: 44,438 sf		
	Req'd	Provided
Total Site Landscaped Area		
at least 15% of the site must be maintained in landscape	6,666 sf	16,391 sf
Landscape Setback		
setback shall be 15' adjacent to all public street r.o.w.	yes	yes
1 large tree (or 2 ornamentals) / 50 LF required in landscape setback	9	9 equivalent (5 lg + 8 orn)
10 shrubs / 50 LF required in landscape setback	90	123 (plus 71 orn grasses)
landscape islands planted with small shrubs 3' o.c.	yes	yes
Parking Lot Requirements		
Parking Lot Area: 10,400sf (all paved areas for maneuvering and parking of cars)		
must contain at least 5% landscaped area	975 sf	11,023 sf
parking spaces adjacent to public r.o.w., screened by solid screening	yes	yes
1 large canopy tree per 20 parking spaces (25 spaces proposed)	2	3
all parking spaces located within 100' of large canopy tree	yes	yes
Buffer Yard		
15' landscape buffer provided between non-residential and residential	yes	yes
1 tree / 30 LF of buffer (343 LF)	12	12
40% must be evergreen	5	5
6'-8" tall screening wall where non-residential abuts residential	yes	yes

GENERAL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND STRUCTURES WHETHER OR NOT SHOWN ON THE PLANS, AND SHALL BE RESPONSIBLE FOR DAMAGE TO SAID UTILITIES OR STRUCTURE CAUSED BY HIS/HER CREW AND SUBCONTRACTORS.

2. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH CITY CODES. CONTRACTOR WILL SECURE ALL REQUIRED PERMITS AND PAY ASSOCIATED FEES UNLESS OTHER ARRANGEMENTS ARE MADE WITH THE OWNER.

3. NO PLANT SUBSTITUTIONS TO BE MADE
UNLESS AUTHORIZED IN WRITING BY OWNER
OR LANDSCAPE ARCHITECT.

2	Tree Placement Adjusted	3/17/2017
1	Site Plan Revisions	1/9/2017
No.	Revision/Issue	Date

Project Owner:

Burger King Franchise
Firebrand Properties, LP
3318 Forest Ln.
Dallas, TX 75234
Contact: Armando Palacios
lhale@sunholdings.net
Office: 972-249-6179

Project Name and Address

Hwy 26 + Daley Ave
Burger King Restaurant
7047 Hwy 26
North Richland Hills, TX 76180

R+D landscape architects, PLLC

6931 Cornelia Lane
Dallas, Texas 75214
646.245.6757
cortez@rdland.com



Drawn by: ALC

Date 10/19/2016

Scale
1"=20'

Sheet Title

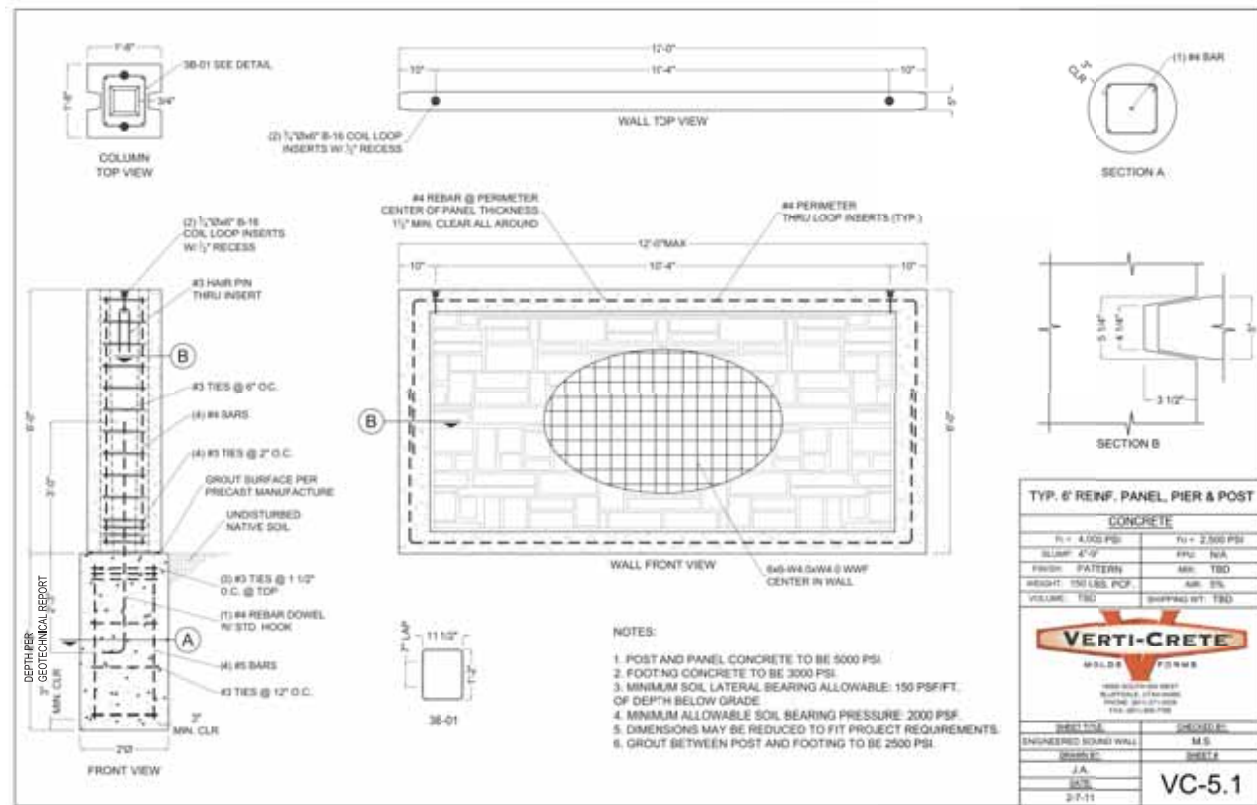
PLANTING PLAN



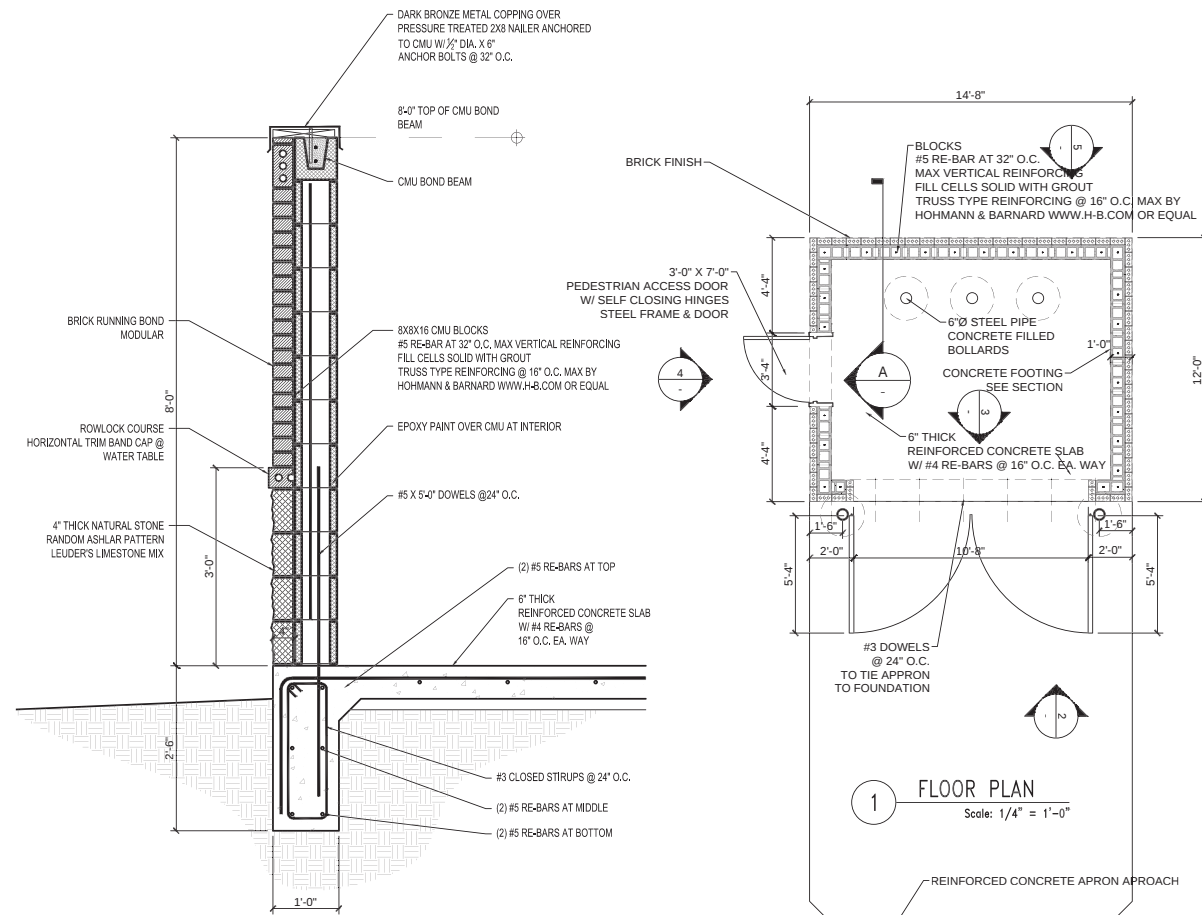
NORTH

Sheet No.

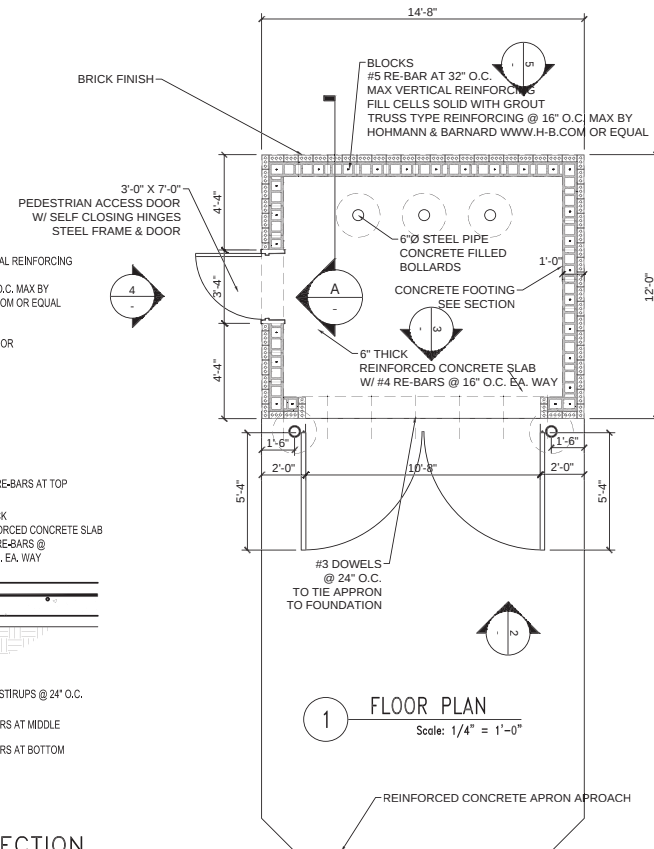
LP.1-01



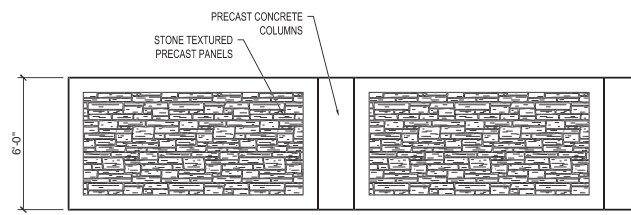
C SCREEN WALL PLAN & SECTION
SCALE: 1/2" = 1'-0"



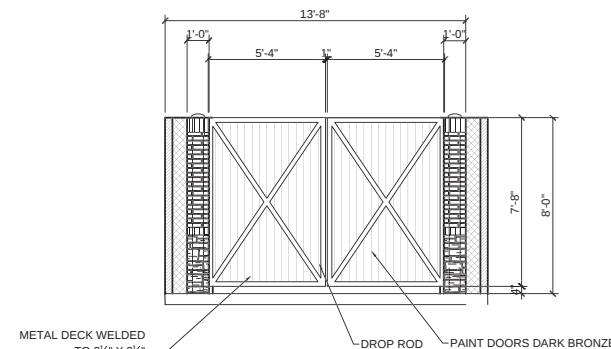
A REFUSE ENCLOSURE WALL SECTION
SCALE: 3/4" = 1'-0"



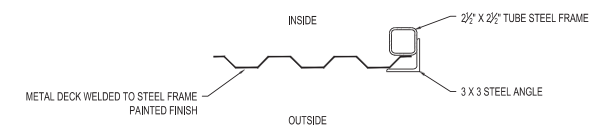
1 FLOOR PLAN
Scale: 1/4" = 1'-0"



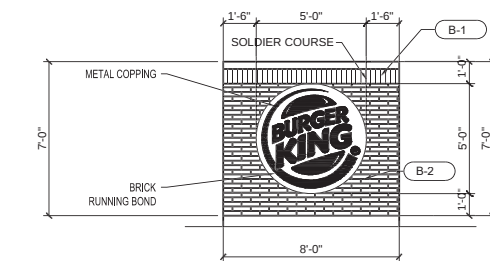
5 GARDEN SCREEN WALL ELEVATION
Scale: 1/4" = 1'-0"



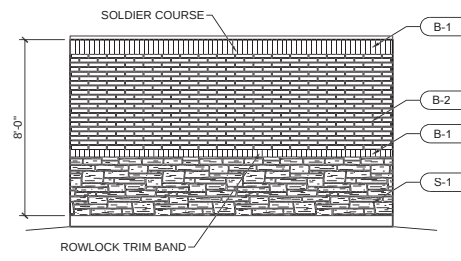
3 INSIDE GATE ELEVATION
Scale: 1/4" = 1'-0"



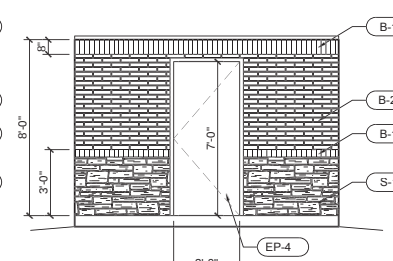
B GATE PLAN DETAIL
SCALE: 1 1/2" = 1'-0"



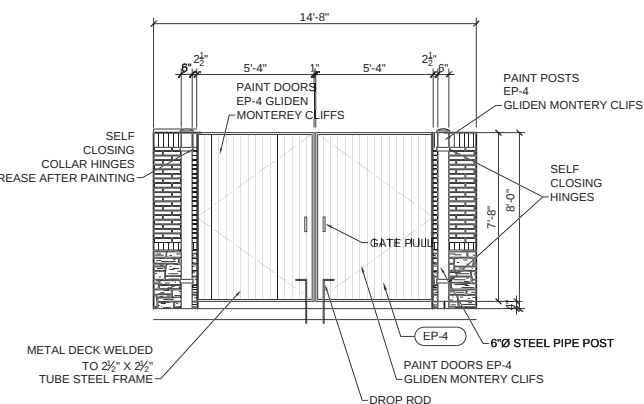
6 MONUMENT SIGN ELEVATION
Scale: 1/4" = 1'-0"



5 REAR EXTERIOR ELEVATION
Scale: 1/4" = 1'-0"



4 SIDE EXTERIOR ELEVATION
Scale: 1/4" = 1'-0"



2 FRONT EXTERIOR ELEVATION
Scale: 1/4" = 1'-0"

CASE# SP2016-06

DATE:	
CHECKED BY:	
NO.	
DATE:	
DRAWN BY:	



BURGER KING FRANCHISE
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3318 FOREST LANE
SUITE 200
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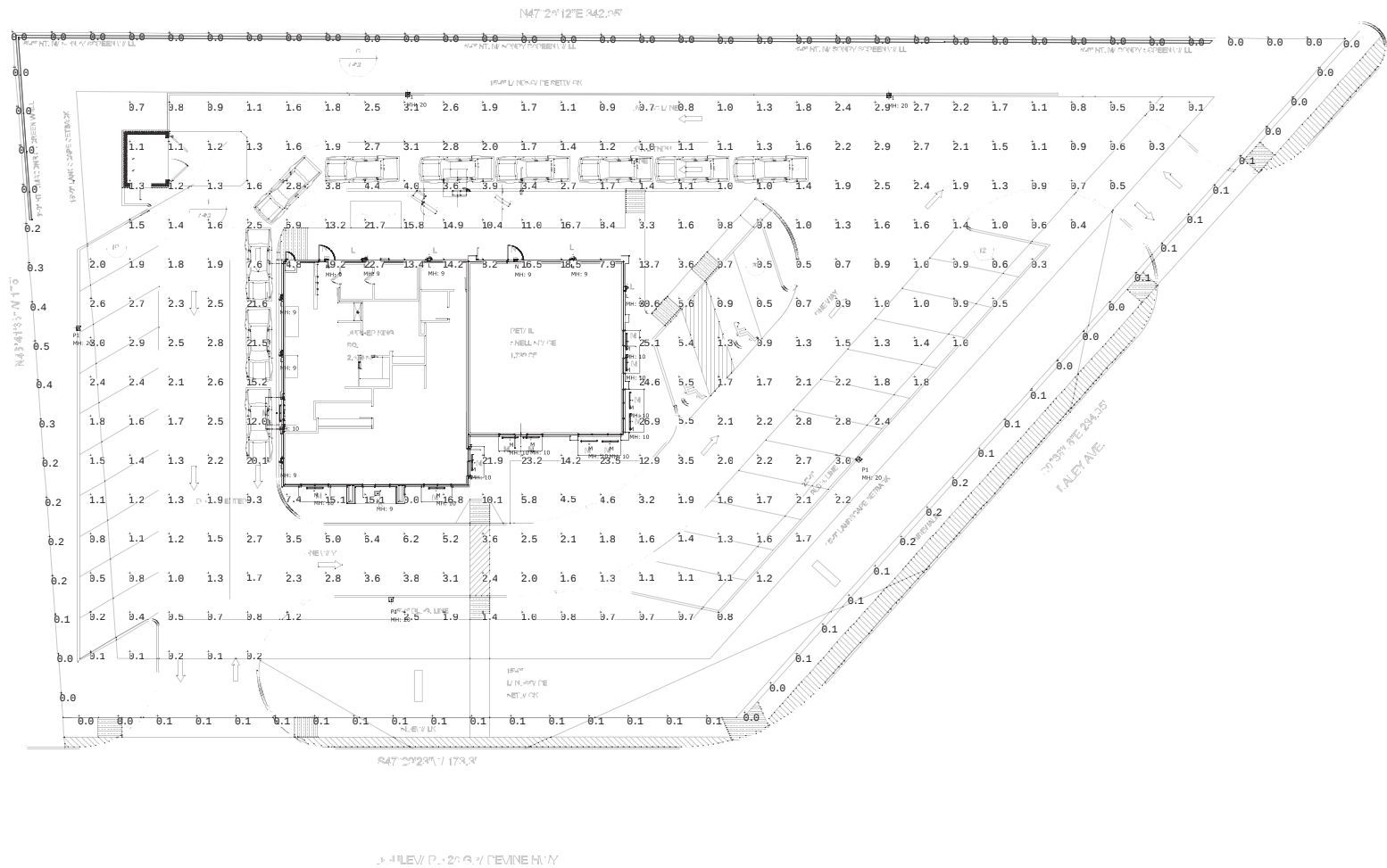


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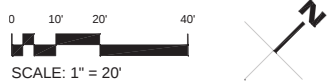


PROJECT # 16006
RCC-60 20/20 WACRE
APRIL 2015 DESIGN RELEASE
Jan 18, 2017 - 1:04pm
HWY 26 & DALEY AVE
BURGER KING RESTAURANT
7047 HWY 26
NORTH RICHLAND HILLS, TX 76180
SITE DETAILS

A-0.2



1 **PHOTOMETRIC PLAN**
SCALE: 1" = 20'-0"



Calculation Summary						
Calculation Grid Location	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min
PROPERTY LINE	N.A	Fc	0.07	0.5	0.0	N.A.
SITE	0	Fc	3.83	30.6	0.0	N.A.

Luminaire Schedule				Total Lumen Output	Total Input Watts	Ballast Factor	Light Lost Factor	User Defined Factor
Symbol	Type	Qty	Manufacturer / Catalog Number					
	L	7	LITHONIA WST LED P3 50K VW MVOLT	6691	50	1.000	0.808	1.000
	K	1	NEWSTAR AGV14-OP-UN-42	3801	40	1.000	0.808	1.000
	N	2	LITHONIA KAXW LED P2 50K R4 MVOLT	6397	49	1.000	0.808	1.000
	M	12	LITHONIA ZL1N L48 5000LM FST MVOLT 50K 80 CRI	4896	41.75	1.000	0.808	1.000
	P1	5	LITHONIA KAD LED 40C 700 40K R2 MVOLT HS	9239	91	1.000	0.808	1.000



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CASE# SP2016-06



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FINESSE AND PRECISION
0315 F. SELECTED
0315 F. SELECTED
2. NTA CT. FRED ALLEN
Fallon B. Miller, 372, 543-5173



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Mar 22, 2017 - 3:03pm
HWY 26 & DALEY AVE
BURGER KING RESTAURANT
7047 HWY 26
NORTH RICHLAND HILLS, TX 76180
PHOTOMETRIC PLAN

A-0.3