

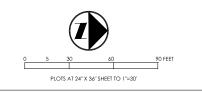
NOTE: THE CONTRACTOR SHALL CONTACT THE FOLLOWING AT LEAST 48 HOURS PRIOR TO EXCAVATING IN THIS AREA:

UTILITY LOCATE
TXU ELECTRIC & GAS
SOUTHWESTERN BELL TELEPHONE COMPANY 800-246-8464 AT&T
WESTERN UNION CABLE DIVISION
MANSFIELD TRAFFIC SIGNAL & LIGHT
FOR OTHER FACILITIES 800-878-8711

NORTH RICHLAND HILLS LANDSCAPING AND BUFFERING STANDARDS
TOTAL SITE AREA: 193,113 SQ FEET 4.43 ACRES REQUIRED PROVIDED TOTAL SITE LANDSCAPED AREA a) At least 15% of the site must be maintained in a landscaped area The site has 17,405 sq ft landscape area within the property lines. Equals 11.09 % landscape area. -Yes LANDSCAPE SETBACK a) The landscape setback shall be 15 feet adjacent to all public street rights-of-way. The site does not meet the 15 foot setback as in the past the lot dedicated property to the city b) 1 tree / 50 linear feet required in landscape setback. No The landscape setback on Strummer total is 325' requiring 7 trees Yes Yes c) 10 shrubs / 50 tinear feet required in tandscape setback
The landscape setback on Strummer total is 325 requiring 70 shrubs Yes Yes d) Landscape entrance islands shall be planted with small shrubs placed at three-foot centers
The landscape entrance islands are planted with small shrubs at three foot center Yes a) Parking spaces adjacent to public right-of-way shall be screened from view by solid b) All parking lots must contain at least 5% landscaped area. The existing landscaping in the parking lot in the lot is 9.75% Yes c) 1 large/canopy tree per 20 parking spaces, planted in island There are 264 parking spaces in the lot requiring 14 trees. The lot has 14 trees in islands. Yes Yes d) All parking spaces must be located within 100 feet of a large/canopy tree Yes 16S

O) Drive approach must include parking entrance islands on each side of driveway. Islands must be perpendicular to properly line. Must measure 18 feet in length, as measured from and of landscape setback, and 6 feet wide. Plantings include small shrubs 3 ft on center. Yes BUFFER YARD a) A 15-foot landscape buffer must be provided between nonresidential and residential uses 1 tree / 30 linear feet of buffer yard No Residential Adjacency 40% of trees must be evergreen species b) A 6- to 8 foot tall screening wall must be provided where nonresidential property abuts residential property FREEWAY CORRIDOR OVERLAY REEWAY COKKIDOR OVERLAY

a) The landscape setback shalt be 10 feet adjacent to right-∢f-way of NE Loop 820 and Airport
Freeway (SH121/SH183). Applicable to properties that adjoin right-of-way or are located



Yes

Yes

Yes

## POPE KYRILLOS THE SIXTH COPTIC ORTHODOX CHURCH

CITY OF NORTH RICHLAND HILLS, TEXAS

## T. H. Pritchett / Associates

NRH LANDSCAPE CRITERIA DATA & CHAR						
DESIGNED: THP	DATE	PROJ. NO.	SHEET			
DRAWN: THP	AUGUST 18, 2024		I A-2			
CHECKED: THP	1.00001 10,2021		LA-2			

OWNER:

NATURON PROPERTIES LLC DILTZ DARLISSA JEANETTE ADDRESS: 8251 BEDFORD BLVD, SUITE 231 NORTH RICHLAND HILLS, TEXAS

DEVELOPER: POPE KYRILLOS THE SIXTH COPTIC ORTHODOX CHURCH

),
ADDRESS: 8251 BEDFORD BLVD,
NORTH RICHLAND HILLS, TEXAS
CONTACT: FR.VICTOR SHAHAT
PHONE: 404.884.9471
EMAIL: FR.VICTORSHATA @ GMAIL.COM



within 200 feet of right-of-way.
Airport Freeway (SH 121)Adjacent within 200.
b) 1 tree / 50 linear feet required in landscape setbook
The landscape setback on Bedford Euless Road total is 133' requiring 3 trees

2 Cedar Elm new and 1 Live Oak #34 is existing

Trees must be one or combination of: Shumard oak, Crinquapin oak, Bur oak, Live oak, Texas red oak, Caddo maple, Cedar elm. Live oaks not more than 50% of trees.

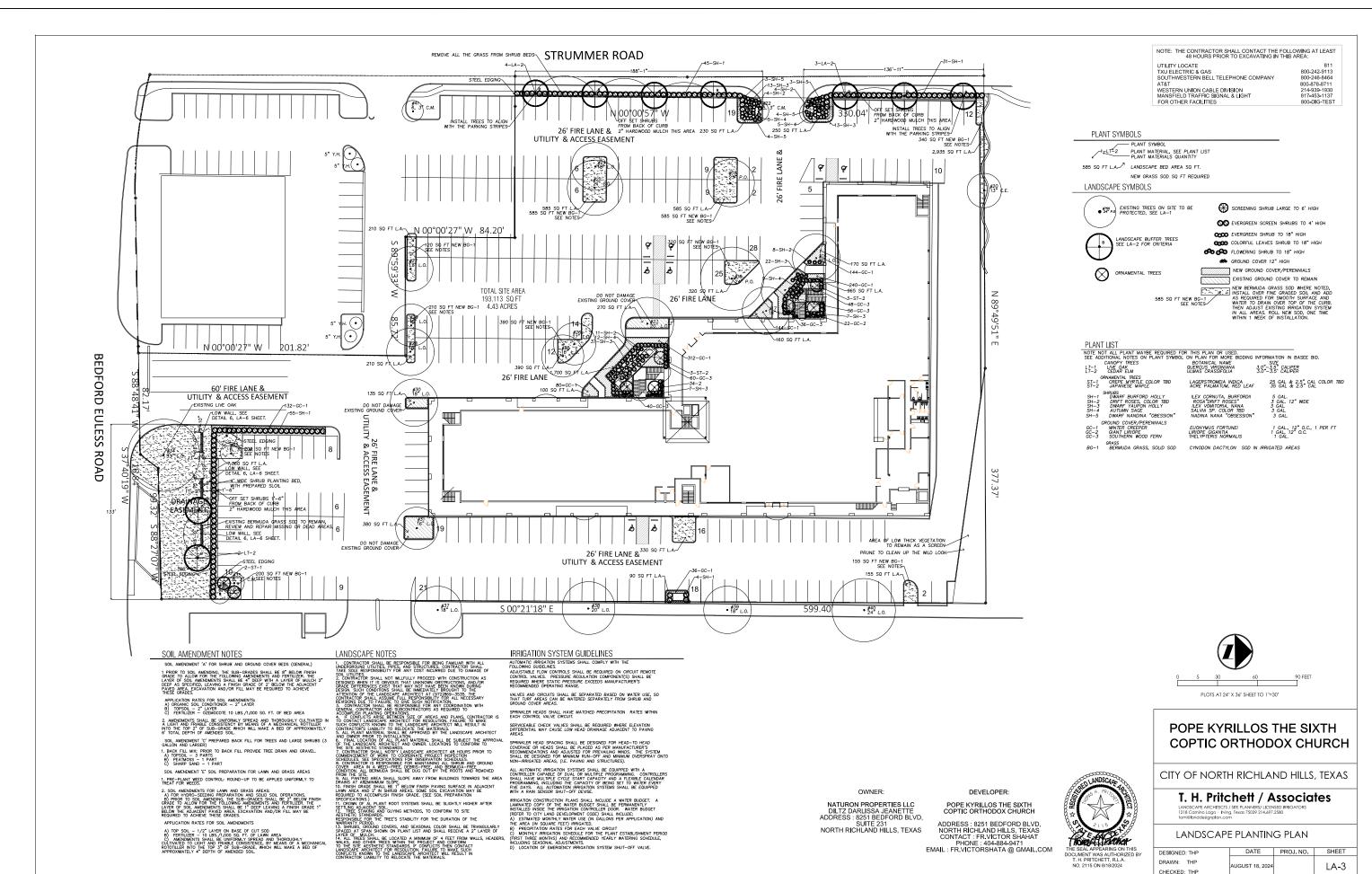
c) Hardscape elements required (one of following)

- Low walt: one or multiple 18- to 30-inch Leuders timesione walts or raised planter beds

Low wate, one or inclupie 18- to 30-inch Leducers unresone wates or raised planter beds with minimum 30 FF of stone fegade per 50 linear feet streat frontage

- Urban design monuments: Leducers Ilmestone in ashlarpattern measuring 36 inches tall and 30 inches wide with solid cast stone cap 6 inches in beight. Must be spaced 50 feet on center and 25 feet on center from large trees.

The Low Leducers limestone walls are shown in 3 locations in the landscape setback.



# LANDSCAPE SPECIFICATIONS

1.1 REFERENCED DOCUMENTS
A. REFER TO BIDDING REQUIREMENTS, SPECIAL PROVISIONS, AND SCHEDULES FOR ADDITIONAL

1.2 DESCRIPTION OF WORK
A. WORK INCLUDED: FURNISH ALL SUPERVISION, LABOR, MATERIALS, SERVICES, EQUIPMENT AND APPLIANCES REQUIRED TO COMPLETE THE WORK COVERED IN CONJUNCTION WITH THE LANDSCAPING COVERED IN THE SPECIFICATIONS AND LANDSCAPE PLANS, INCLUDING:
1. PLANTING (TREES, SHRUBS, ORGUND COVERS, PERENNIALS, ORASS)
2. BED PREPARATIONS AND FERTILIZATION
3. NOTIFICATION OF SOURCES OF PLANT MATERIALS AND AMENDMENTS
4. WATER AND MAINTEANANCE UNTIL INTAL ACCEPTANCE
5. GUARANTEE PERIOD DESCRIBED ON DRAWINGS

### 1.3 REFERENCE STANDARDS

A. AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY AMERICAN ASSOCIATION OF NURSERYMEN; OCTOBER 27, 1980, EDITION; BY AMERICAN NATIONAL STANDARDS INSTITUTE, INC.

(Z60.1)— PLANT MATERIAL.
B. AMERICAN JOINT COMMITTEE ON HORTICULTURE NOMENCLATURE: ADDITION 1942 EDITION STANDARDIZED PLANT NAMES
C. TEXAS ASSOCIATION OF NURSERYMEN, GRADES AND STANDARDS
D. HORTIS THIRD 1976—CORNELL UNIVERSITY

### 1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS
A. THE CONTRACTOR SHALL, WITHIN TEN (10) DAYS FOLLOWING ACCEPTANCE OF BID, NOTIFY THE
LANDSCAPE ARCHITECT/ENGINEER/OWNER OF THE SOURCES OF PLANT MATERIALS AND BED
PREPARATION REQUIRED FOR THE PROJECT.
B. SAMPLES: PROVIDE REPRESENTATIVE QUANTITIES OF SANDY LOAM SOIL, MULCH, BED MIX
MATERIAL PEA GRAVEL, DRAIN GRAVEL, DECOMPOSED GRAVITE, STEEL EDGING, HARDWOOD
MULCH, JUTTE MESH, SOIL SEPARATOR, STONE NOTED ON DRAWINGS, SAMPLES SHALL BE
APPROVED BY THE LANDSCAPE ARCHITECT/ENGINEER/OWNER BEFORE USE ON THE PROJECT.
C. PRODUCT DATA: SUBMIT COMPLETE PRODUCT DATA AND SPECIFICATION ON ALL OTHER

C. PRODUCT DATA: SUBMIT COMPLETE PRODUCT DATA AND SPECIFICATION ON ALL OTHER SPECIFICA MATERIALS.

D. SUBMIT THREE REPRESENTATIVE SAMPLES, JPG FILE PHOTOGRAPHS, OF EACH VARIETY OF LARCE TREES, ORNAMENTAL TREES, SHRUBS, GROUND COVER, PERENNIALS FOR LANDSCAPE ARCHITECT/ENGINEER/OWNER APPROVAL. WHEN APPROVED, TAG, INSTALL, AND MAINTAIN AS REPRESENTATIVE SAMPLES FOR FINAL INSTALLED PLANT MATERIALS.

FILE CETIFICATES OF INSPECTION OF PLANT MATERIAL BY STATE, COUNTY, AND FEDERAL AUTHORITES WITH LANDSCAPE ARCHITECT/ENGINEER/OWNER, IF REQUIRED.

F. SOIL ANALYSIS: PROVIDE AN EXISTING SOIL ANALYSIS FROM THE SITE WITH RECOMMENDATIONS ON AMENDING THE SOIL BY A LICENSED SOILS AND PLANT LAB. PROVIDED SOILS ANALYSIS TO JANDSCAPE ARCHITECT/ENGINEER/OWNER.

LANDSCAPE ARCHITECT/ENGINEER/OWNER.

1.5 JOB CONDITIONS:
A. GENERAL CONTRACTOR TO COMPLETE THE FOLLOWING PUNCH LIST: PRIOR TO THE LANDSCAPE CONTRACTOR RITITING ANY PORTION OF THE LANDSCAPE INSTALLATION, GENERAL CONTRACTOR SHALL LEAVE PLANTING BED AREAS THREE (3") INCHES BELOW FINISHED GRADE OF SIDEWALKS, DRIVES, AND CURBS AS SHOWN ON THE DRAWINGS. ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT ONE (1") INCH BELOW THE FINISHED GRADE AT SIDEWALKS, DRIVES AND CURBS. ALL CONSTRUCTION DEBRIS SHALL BE REMOVED PRIOR TO LANDSCAPE CONTRACTOR BEGINNING

. GENERAL CONTRACTOR SHALL PROVIDE TOPSOIL AS DESCRIBED IN SECTION 02200 -

EAFTHWORK. C. STORAGE OF MATERIALS AND EQUIPMENT AT THE JOB SITE WILL BE AT THE RISK OF THE LANDSCAPE CONTRACTOR. THE OWNER CAN NOT BE HELD RESPONSIBLE FOR THEFT OR DAMAGE.

### 1.6 MAINTENANCE AND GUARANTEE

1.6 MAINTENANCE AND GUARANTEE
A. MAINTENANCE
1. THE LANDSCAPE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE MAINTENANCE OF ALL
WORK FROM THE TIME OF PLANTING UNTIL FINAL ACCEPTANCE BY THE LANDSCAPE
ARCHITECT/ENGINEER/OWNER. NO TREES, SHRUBS, GROUND COVERS OR GRASS TO BE ACCEPTED
UNLESS THEY SHOW A HEALTHY GROWITH AND SATISFACTORY FOLLOGE CONDITION.
2. MAINTENANCE SHALL INCLUDE WATERING OF TREES AND PLANTS, CULTIVATION, WEEDING,
SPRAYING, PRUNING OF TREES AND SHRUBS, MOWING OF GRASS WEEKLY, SITE LANDSCAPE BED
MULCHING, DEBRIS AND TRASH CLEANING UP WEEKLY AND ALL OTHER WORK NECESSARY OF
MAINTENANCE.
3. WRITTEN NOTICE REQUESTING FINAL INSPECTION AND FINAL ACCEPTANCE SHOULD BE
SUBMITTED TO THE OWNER AT LEAST SEVEN (?) DAYS PRIOR TO COMPLETION, AND ON-SITE
INSPECTION BY THE OWNER AND LANDSCAPE CONTRACTOR WILL BE COMPLETED PRIOR TO WRITTEN
ACCEPTANCE.

A AFTER FINAL ACCEPTANCE LANDSCAPE INSTALLATION, THE LANDSCAPE CONTRACTOR WILL NOT BE REQUIRED TO DO ANY OF THE ABOVE MAINTENANCE WORK AS PART OF THESE PLANS.

BE GUARANTEE

1. TREES SHALL BE GUARANTEED FOR TWELVE (12) MONTH PERIOD AFTER FINAL ACCEPTANCE.

SHRUBS AND GROUND COVERS SHALL BE GUARANTEED FOR A PERIOD OF TWELVE (12) MONTHS
AFTER FINAL ACCEPTANCE. THE CONTRACTOR SHALL REPLACE AERIOD OF TWELVE (12) MONTHS
AFTER FINAL COEFFICE. THE CONTRACTOR SHALL REPLACE AERIOD OF THE ANNI MATERIALS AS
EVEN THE ANNI MATERIALS AS THE FOR THE MATERIALS AS THE FINAL COEFFICE OF THE MATERIALS AS
EVEN THE FOR THE FOR

DEMOLITION OF DEAD PLANTS, MATERIALS, LABOR AND EQUIPMENT USED IN REPLACEMENTS, SHALL CARRY A TWELVE (12) MONTH QUARANTE FROM TIME OF ACCEPTANCE OF THE REPLACEMENTS. ANY DAMAGE, INCLUDING RUTS, IN LAWN OR BED AREAS, INCURRED AS A RESULT OF MAKING REPLACEMENTS SHALL BE IMMEDIATELY REPAIRED.

B. AT THE DIRECTION OF THE OWNER, PLANTS MAY BE REPLACED AT THE START OF THE NEXT YEAR'S PLANTING SEASON, IN SUCH CASES, DEAD PLANTS SHALL BE REMOVED FROM THE PREMISES WITHIN TEN (10) DAYS OF NOTIFICATION BY THE OWNER.

C. WHEN PLANT REPLACEMENTS ARE MADE, PLANTS, SOIL MIX, FERTILIZER AND MULCH ARE TO BE UTILIZED AS ORIGINALLY SPECIFIED AND RE INSPECTED FOR FULL COMPLIANCE WITH THE CONTRACT REQUIREMENTS. ALL REPLACEMENTS ARE TO BE INCLUDED UNDER "WORK" OF THIS SECTION.

SECTION. 2. THE OWNER AGREES THAT FOR THE GUARANTEE TO BE EFFECTIVE, HE WILL WATER PLANTS AT LEAST TWICE A WEEK DURING DRY PERIODS AND CULTIVATE BEDS ONCE A MONTH AFTER FINAL

ACCEPTANCE.

3. THE ABOVE GUARANTEE SHALL NOT APPLY WHERE PLANTS DIE AFTER FINAL ACCEPTANCE
BECAUSE OF INJURY BY STORMS, HEAT STRESS, HAIL, FREEZE, INSECTS, DISEASE, INJURY BY
HUMANS, MACHINES OR THEFT.

4. ACCEPTANCE FOR ALL LANDSCAPE WORK SHALL BE GIVEN AFTER FINAL INSPECTION BY THE

\* ACCEPTANCE PROFILED, VALUE OF THE MORE STALL BE GIVEN A FIRE THAT INSPECTION BY THE LANDSCAPE A RCHITECT/ENGINEER/OWNER PROVIDED THE JOB IS IN A COMPLETED, UNDAMAGED CONDITION, AND THERE IS A STAND OF GRASS IN ALL LAWN AREAS. AT THIS TIME, THE OWNER WILL ASSUME MAINTENANCE ON THE ACCEPTED WORK.

1.7 QUALITY ASSURANCE
A. GENERAL: COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS
GOVERNING LANDSCAPE MATERIALS AND WORK.
B. PERSONNEL: EMPLOY ONLY EXPERIENCED PERSONNEL WHO ARE FAMILIAR WITH THE REQUIRED
WORK. PROVIDE FULL-TIME SUPERVISION BY QUALIFIED FOREMAN ACCEPTABLE TO LANDSCAPE

WORK, PROVIDE TOLL-TIME SUPERVISION BY QUALIFIED FOREMAN ACCEPTABLE TO LANDSCAPE.
ARCHITECT/ENGINEER/OMBATERIALS:
C. SELECTION OF PLANT MATERIALS:
I. MAKE CONTACT WITH SUPPLIERS IMMEDIATELY UPON OBTAINING NOTICE OF CONTRACT
ACCEPTANCE TO SELECT AND BOOK MATERIALS. DEVELOP A PROGRAM OF MAINTENANCE (PRUNING
AND FERTILIZATION) WHICH WILL INSURE THE PURCHASED MATERIALS WILL MEET AND OR EXCEED
PROJECT SPECIFICATIONS.

PROJECT SPECIFICATIONS.
2. LANDSCAPE ARCHITECT/ENGINEER WILL PROVIDE A KEY IDENTIFYING EACH TREE LOCATION ON SITE. WRITTEN VERIFICATION WILL BE REQUIRED TO DOCUMENT MATERIAL SELECTION, SOURCE AND DELIVERY SCHEDULE TO SITE.

DELIVERY SCHEDULE TO SITE.

3. OWNER AND OR LANDSCAPE ARCHITECT/ENGINEER SHALL INSPECT ALL PLANT MATERIALS, WHEN REASONABLE AT PLACE OF GROWTH FOR COMPLIANCE WITH REQUIREMENTS FOR GENUS, SPECIES, CULTIVAR/VARIETY, SIZE, AND CULALITY.

4. OWNER AND OR LANDSCAPE ARCHITECT/ENGINEER RETAINS THE RIGHT TO FURTHER INSPECT ALL PLANT MATERIALS UPON ARRIVAL AT THE SITE AND DURING INSTALLATION FOR SIZE AND CONDITION OF FOOT BALLS, LIMBS, BRANCHING HABIT, INSECTS, INJURIES, AND LATENT DEFECTS.

5. OWNER AND OR LANDSCAPE ARCHITECT/ENGINEER MAY REJECT UNSANISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING THE PROCESS OF WORK, REMOVE REJECTED MATERIALS FROM THE SITE IMMEDIATELY. PLANTS DAMAGED IN TRANSIT OR AT JOB SITE SHALL BE REJECTED.

### 1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

A. PREPARATION:

1. BALLED AND BURLAPPED (B&B) PLANTS: DIG AND PREPARE SHIPMENT IN A MANOR THAT WILL

NOT DAMAGE ROOTS, BRANCHES, SHAPE AND FUTURE DEVELOPMENT.

2. CONTAINER GROWN PLANTS: DELIVER PLANTS IN RIGID CONTAINER TO HOLD BALL SHAPE

PROTECT ROOT MASS.

DELIVERY:
DELIVER PACKAGED MATERIALS IN SEALED CONTAINERS SHOWING WEIGHT, ANALYSIS AND NAME

1. DELIVER PACKAGED MATERIALS IN SEALED CONTAINERS SHOWNO. WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. PROTECT MATERIALS FROM DETERIORATION DURING DELIVERY.

2. DELIVER ONLY PLANT MATERIALS THAT CAN BE PLANTED IN ONE DAY UNLESS ADEQUATE STORAGE AND WATERING FACILITIES ARE AVAILABLE ON JOB SITE.

3. PROTECT ROOT BALLS BY HEELING IN WITH SAWDUST OF OTHER APPROVED MOISTURE RETAINING MATERIAL IF NOT PLANTED WITHIN 24 HOURS OF DELIVERY.

4. PROTECT PLANTS DURING DELIVERY TO PREVENT DAMAGE TO ROOT BALLS OR DESICATION OF LEAVES. KEEP PLANTS MOIST AT ALL TIMES. COVER ALL MATERIALS DURING TRANSPORT.

5. NOTIFY LANDSCAPE ARCHITECT/ENGINEER/OWNER OF DELIVERY SCHEDULE 72 HOURS IN ADVANCE SO PLANT MATERIAL MAY BE OBSERVED UPON ARRIVAL AT JOB SITE.

6. REMOVE REJECTED PLANT MATERIALS IMMEDIATELY FROM SITE.

7. TO AVOID DAMAGE OR STRESS, DO NOT LIFT, MOVE, ADJUST TO PLUMB, OR OTHERWISE MAIPPULATE PLANTS BY TRUNK OR STEMS.

PART 2 - PRODUCTS

2.1 PLANTS
A. GENERAL; WELL FORMED NO. 1 GRADE OR BETTER NURSERY GROWN STOCK. LISTED PLANT
HEIGHTS ARE FROM TOPS OF ROOT BALLS TO NOMINAL TOPS OF PLANTS. PLANT SPREAD REFERS
TO NOMINAL OUTER WIDTH OF THE PLANT, NOT TO THE OUTER LEAF TIPS. PLANTS WILL BE

TO NOMINAL OUTER WIDTH OF THE PLANT, NOT TO THE OUTER LEAF TIPS, PLANTS WILL BE INDIVIDUALLY APPROVED BY THE LANDSCAPE ARCHITECT/ENGINEER AND THAT DECISION AS TO THEIR ACCEPTABILITY SHALL BE FINAL.

B. QUANTITIES: THE DRAWINGS AND SPECIFICATIONS AND COMPLIMENTARY; ANYTHING CALLED FOR ON ONE AND NOT THE OTHER IS A BINDING AS IF SHOWN AND CALLED FOR ON BOTH. THE PLANT SCHEDULE IS AN AID TO BIDDERS ONLY. CONFIRM ALL QUANTITIES ON THE PLAN, COUALITY AND SIZE: PLANT MATERIALS SHALL CONFIRM TO THE SIZE GIVEN ON THE PLAN, AND SHALL BE HEALTHY, SYMMETRICAL, WELL SHAPED, FULL BRANCHED, AND WELL ROOTED. THE PLANTS SHALL BE FREE FROM INJURIOUS INSECTS, DISEASES, INJURIES TO THE BARK OR ROOTS, BROKEN BRANCHES, OBJECTIONABLE DISFIGUREMENTS, INSECT EGGS AND LARVAE AND ARE TO BE SPECIMEN QUALITY.

BROKEN BRANCHES, OBJECTIONABLE DISFIGUREMENTS, INSECT EGGS AND LARVAE AND ARE TO BE SPECIMEN QUALITY.

E. TREES SHALL BE HEALTHY, FULL BRANCHED, WELL SHAPED, AND SHALL MEET THE TRUNK DIAMETER AND HEIGHT REQUIREMENTS OF THE PLANT SCHEDULE. BALLED AND BURLAPPED SHALL BE FIRM, NEAT, SUCHTLY TAPERED, AND WELL WRAPPED IN BURLAP, ANY TREE LOOSE IN THE BALL OR WITH BROKEN BALL AT TIME OF PLANTING WILL BE REJECTED. BALLS SHALL BE TEN (10") INCHES IN DIAMETER FOR EACH ONE (1") INCH OF TRUNK DIAMETER, MEASURED SIX (6") INCHES ABOVE THE TOP OF BALL.

1. NOMENCLATURE CONFORMS TO CUSTOMARY NURSERY USAGE; FOR CLARIFICATION, THE TERM "MULTI — TRUNK" DEFINES A PLANT HAVING THREE (3) OR MORE TRUNKS OF NEARLY EQUAL DIAMETER. TO CALCULATE THE TOTAL CALIPER OF MULTI TRUNK TREES, ADD THE CALIPER OF THE LARGEST TRUNK IN INCHES TO THE REMAINING CALIPER IN INCHES DIVIDED BY 2. THEN ADD THAT TOTAL CALIPER INCHES OF TRUNKS FOR THE TOTAL SPECIFIED CALIPER INCHES OF ROVIDED ON THE MULTI — TRUNK PLANT.

F. PRUNINIS, ALL PRUNING OF TREES AND SHRUBS, AS DIRECTED BY LANDSCAPE

PRUNING: ALL PRUNING OF TREES AND SHRUBS, AS DIRECTED BY LANDSCAPE ARCHITECT/ENGINEER, SHALL BE EXECUTED BY LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

FRIABLE, FERTILE, DARK, LOAMY SOIL, FREE OF CLAY LUMPS, SUBSOIL, GRASS, STONES OVER 1. FRIABLE, FERTILE, DARK, LOAMY SOIL, FREE OF CLAY TLUMPS, SUBSUIL, GRASS, STONES ON ONE (1") NOCH AND OTHERS EXTRANEOUS MATERIAL AND REASONABLY FREE OF WEEDS AND FOREIGN GRASS. LOAM CONTAINING DALLAS GRASS OR NUT GRASS SHALL BE REJECTED. 2. PHYSICAL PROPERTIES AS FOLLOWS CLAY — BETWEEN 7-27 PERCENT SAND — LESS THEN 52 PERCENT SAND — LESS THEN 52 PERCENT

SAND — LESS THEN 52 PERCENT
3. ORGANIC MATTER SHALL BE 3%—10% OF TOTAL DRY WEIGHT.
4. IF REQUESTED, PROVIDE A CERTIFIED SOIL ANALYSIS CONDUCTED BY AN APPROVED SOIL
TESTING LABORATORY VERIFYING THAT THE SANDY LOAM MEETS THE ABOVE REQUIREMENTS.
B. ORGANIC MATERIAL: COMPOST WITH A MIXTURE OF 80% VEGETATIVE MATTER AND 20% ANIMAL
WASTE. INORFOLIENTS SHOULD BE A MIX OF COURSE AND FINE TEXTURED MATERIAL.
C. PREMIXED BEDDING SOIL AS SUPPLIED BY VITAL EARTH RESOURCES, CLADEWATER, TEXAS:
PROFESSIONAL BEDDING SOIL AS SUPPLIED BY LIVING EARTH TECHNOLOGY, DALLAS, TEXAS OR
ACID GRO MUNICIPAL MIX AS SUPPLIED BY SOIL BUILDING SYSTEMS, DALLAS, TEXAS OR
APPROVED FOLIAL

ACID GRO MUNICIPAL MIX AS SUPPLIED BY SOIL BUILDING SYSTEMS, DALLAS, TEXAS OR APPROVED EQUAL.

D. SHARP SAND: SHARP SAND MUST BE FREE OF SEEDS, SOIL PARTICLES AND WEEDS.

E. MULCH: DOUBLE SHREDDED HARDWOOD MULCH, PARTIALLY DECOMPOSED, DARK BROWN, LIVING EARTH TECHNOLOGY OR APPROVED EQUAL.

F. ORGANG TERTILIZER: SUSTAINE, FERTILIZER SHALL BE DELIVERED TO THE SITE IN ORIGINAL ON PREDICATIONS. CHETTILIZER SHALL BE DELIVERED TO THE SITE IN ORIGINAL ON PREDICATIONS.

ANALYSIS.

G. COMMERCIAL FERTILIZER: 10-20-10 OR SIMILAR ANALYSIS. NITROGEN SOURCE TO BE A MINIMUM 50% SLOW RELEASE ORGANIC NITROGEN (SCU OR UF) WITH A MINIMUM OF 8% SULFUR AND 4% RON, PLUS MICRONUTRIENTS.

H. PEAT: COMMERCIAL SPHAGNUM PEAT MOSS OR PARTIALLY DECOMPOSED SHREDDED PINE BARK OR OTHER APPROVED ORGANIC MATERIAL.

A. STEEL EDGING: SHALL BE RYERSON "ESTATE CURBING", DARK GREEN, 1/8" X 4" WITH STAKES

FOUR (4') FEET ON CENTER OR APPROVED EQUAL.

B. TREE STAKING MATERIAL FOR SHADE TREES:
1. POST; STUDDED "T" POST, NO 1 ARMCO WITH ANCHOR PLATE; SIX (6') FEET IN LENGTH, PAINT FLAT BLACK, PRIOR TO INSTALLING.
2. WRE: 12 GAUGE, SINGLE STRAND, GALVANIZED WIRE.

RUBBER HOSE: 2 PLY, FIBER REINFORCED HOSE, MINIMUM HALF (.5") INCH INSIDE DIAMETER.

COLOR BLACK. C. GRAVEL: WASHED NATIVE PEA GRAVEL, GRADED ONE (1") INCH TO ONE AND HALF (1.5") INCH D. FILTER FABRIC: MIRAFI 140N CELANESE FIBERS MARKETING COMPANY, AVAILABLE AT CMC REBAR CO (214)-631-5250 OR AS APPROVED

### PART 3 - EXECUTION

### 3.1 BED FERTILIZER AND FERTILIZATION

A. LANDSCAPE CONTRACTOR TO INSPECT ALL EXISTING CONDITIONS AND REPORT ANY DEFICIENCIES TO THE LANDSCAPE ARCHITECT/ENGINEER/OWNER:

B. ALL PLANTING AREAS SHALL BE CONDITIONED AS FOLLOWS:

1. PERPARE NEW PLANTING GED BY SCRAPING AWAY EXISTING GRASS AND WEEDS AS NECESSARY. IN ADDITION AT BACK OF CURBS AND EDGES OF PAVING REMOVE THE EXISTING SOIL TO A DEPTH OF SIX (67) NICHES TO ALLOW FOR THE AMENDMENTS. THEN TILL EXISTING SOIL TO A DEPTH OF OF SIX (6) INCHES TO ALLOW FOR THE AMENDMENTS. HEN TILL EXISTING SOIL TO A DEPTH OF SIX (6) NICHES PRIOR TO FERTILIZER AND COMPOST APPLICATION. FINAL CONDITION OF EXISTING SOIL TO BE FINE, FRABLE, CONSISTENT DEPTH, AND FREE OF ROCKS AND ROOTS AND ALL CLODS WHEN COMPLETELY TILLED. APPLY FERTILIZER AS PER MANUFACTURER RECOMMENDATIONS. ADD SIX (6°) INCHES OF COMPOST AND TILL INTO A DEPTH OF SIX (6°) INCHES OF EXISTING SOIL. APPLY ORGANIC FERTILIZER SUCH AS SUSTANCE OR GREEN SENSE AT THE RATE OF TWENTY (20)

POUNDS PER ONE THOUSAND (1,000) SQUARE FEET (3") INCH LAYER OF SPECIFIED MULCH)

2. ALL PLANTING BED AREAS SHALL RECEYS A THREE (3") INCH LAYER OF SPECIFIED MULCH)

3. BACKFULL FOR TREE FITS SHALL BE AS FOLLOWS; USE EXISTING TOP SOIL ON SITE, FREE FROM LARGE CLUMPS, ROCK, DEBRIS, CALICHE, SUBSOIL, ETC., PLACED IN NINE (9") INCH LAYERS AND WATERED IN THOROUGHLY.

WATERED IN THOROUGHLY.

C. GRASS AREA:

1. AREAS TO BE SOLID SOD GRASS TYPES SPECIFIED; BLOCKS OF SOD SHOULD BE LAID END TO 1. AREAS TO BE SOLID SOD GRASS TYPES SPECIFIED; BLOCKS OF SOD SHOULD BE LAID END TO END (WITH STAGGERING JOINTS) AFTER FERTILIZING THE GROUND FIRST. WATER AND ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SUFFACE. ROLLING IS TO BE COMPLETED WITHIN 24 HOURS OF INSTALLING THE SOD. THE LANDSCAPE ARCHITECT/ENGINEER/OWNER MAY REQUEST ADDITIONAL ROLLING BY THE LANDSCAPE CONTRACTOR OVER GRASS AREAS TO ACHIEVE THE FINAL SMOOTH SUFFACE. THE JOINTS BETWEEN THE BLOCKS OF SOD SHOULD BE FILLED WITH TOP SOIL WHERE THEY ARE EVIDENTLY GASED OPEN, THEN WATERED THOROUGHLY.

2. AREAS TO BE HORRO MULCHED GRASS SEED: HYDRO MULCH WITH SPECIFIED SEED OR COMMON BERMUDA GRASS SEED AT A RATE OF TWO (2) POUNDS PER ONE THOUSAND (1,000) SQUARE FEET. USE A FOUR (4') FOOT X EIGHT (8') FOOT BATTER BOARD AGAINST BED AREAS TO REDUCE OVER SPRAY.

A MAINTENANCE OF PLANT MATERIALS SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS DELIVERED TO SITE AND SHALL CONTINUE UNTIL ALL CONSTRUCTION HAS BEEN SATISFACTORILY ACCOMPLISHED.

B. PLANT MATERIALS SHALL BE DELIVERED TO THE SITE ONLY AFTER THE BEDS ARE PREPARED AND ARE READY FOR PLANTING, ALL SHIPMENTS OF NURSERY MATERIALS SHALL BE THOROUGHLY PROTECTED FROM DRYING WINDS DURING TRANSIT. ALL PLANTS, WHICH CANNOT BE PLANTED AT ONCE, AFTER DELIVERY TO SITE, SHALL BE WELL PROTECTED AGAINST POSSIBILITY OF DRYING BY WIND AND SUN. BALLS OF EARTH OF B. & B PLANTS SHALL BE KEPT COVERED WITH SAWDUST OF THE ACCEPTANCE.

C. POSITION THE TREES AND SHRUBS IN THEIR INTENDED LOCATION AS PER PLAN.

D. NOTIFY THE LANDSCAPE ARCHITECT KRONINFER FOR INSPECTION AND APPROVAL OF ALL

. NOTIFY THE LANDSCAPE ARCHITECT/ENGINEER FOR INSPECTION AND APPROVAL OF ALL

C. POSITION THE TETES AND SHRUBS IN THEIR INTENDED LOCATION AS PER PLAN.

D. NOIFLY THE LANDSCAPE ARCHITECT/ENGINEER FOR INSPECTION AND APPROVAL OF ALL

POSITIONING OF PLANT MATERIALS.

E. EXCAVATE PITS WITH VERTICAL SIDES AND HORIZONTAL BOTTOM. TREE PITS SHALL BE LARGE

ENOUGH TO PERMIT HANDLING AND PLANTING WITHOUT INJURY TO BALLS OR EARTH OR REPEAT

AND SHALL BE OF SUCH DEPTH THAT, WHEN PLANTED AND SETTILED. THE CROWN OF THE PLANT

SHALL BEAR THE SAME RELATION TO THE FINISH GRADE THAT IT DID TO SOIL SURFACE IN PLACE

OF GROWTH, NOTE TO ALLOW AS WHO (2) FEET FOR SETTLEMENT IN CLAY SOIL.

F. SHRUB AND TREE PITS SHALL BE NO LESS THAN TWO (2') FEET, TWENTY-FOUR (24") INCHES

WORET THAN THE LATERAL DIMENSION OF THE EARTH BALL AND SIX (6") INCHES DEEPER THAN

ITS VERTICAL DIMENSION. REMOVE AND HAUL FROM SITE ALL ROCKS OR STONES OVER ONE (1")

INCH IN DIAMETER. PLANTS SHOULD BE THOROUGHLY MOIST BEFORE REMOVING FROM CONTAINERS.

G. DIG A WIDE, ROUGH SIDED HOLE EXACTLY THE SAME DEPTH AS THE HEIGHT OF THE BALL,

ESPECIALLY AT THE SUFFACE OF THE GROUND. THE SIDES OF THE HOLE SHOULD BE ROUGH AND

JAGGED, NEVER SLICK OR GLAZED. DO NOT DRILL OR AUGER HOLES IN CLAY SOILS.

H. PERCOLATION TEST: FILL THE HOLE WITH WATER. IF THE WATER LEVEL DOES NOT PERCOLATE

WITHIN TWENTY FOUR (24) HOURS, THE TREE NEEDS TO BE MOVED TO ANOTHER LOCATION OR

HAVE TWO FOUR (4") FOOT DEEP PIER HOLE DRAINAGE ADDED.

I. BACKFILL ONLY WITH 5 PARTS EXISTING SOIL OR SANDY LOAM AND ONE (1) PART BED

PREPARATION. WHEN HOLE IS DUG IN SOULD ROCK, TOPSOIL FROM THE SAME AREA SHOULD NOT

BE USED. CAREFULLY SETTLE BY WATERING TO PREVENT AIR POCKETS. REMOVE THE BURLAP

FROM THE TOP THIRD DO THE BALL, AS WELL AS THE NYLON, PLASTIC STRING AND MEE MESH

FROM THE TOP THIRD OF THE BALL DO NOT PLANT GRASS ALL THE ROOT FLARE

AND NATIVE TOP SOIL.

J. DO NOT WARP TREES.

K. DO NOT PRUNE TREES. UNLESS DIRECTED BY LANDSCAPE ARCHITECT/ENGINEER.

L. MULCH THE TOP THE BOUTE DETO THE BOULE DATE OF THE BOULE DAY THE ROLE DAY THE ROLE THAN OF

THE TREE. LEAVE THE AREA ABOVE

M. ALL PANT BEDS AND TREES TO BE MULCHED WITH A MINIMUM SETTLED THICKNESS OF THREE

M. ALL PANT BEDS AND TREES TO BE MULCHED WITH A MINIMUM SETTLED THICKNESS OF THREE (3") INCHES OVER THE ENTIRE BED OR PIT.

N. OBSTRUCTION BELOW GROUND: IN THE EVENT ROCK OR UNDERGROUND CONSTRUCTION WORK OR OBSTRUCTIONS ARE RECOUNTERED IN ANY PLANT PIT EXCAVATION WORK TO BE DONE UNDER THIS SECTION, ALTERNATE LOCATIONS MAY BE SELECTED BY THE LANDSCAPE ARCHITECT/FROMISEER/OWNER. WHERE LOCATIONS CAN NOT BE CHANGED, THE OBSTRUCTION SHALL BE REMOVED TO A DEPTH OF NOT LESS THAN THREE (3") FEET BELOW GRADE AND NO LESS THAN SIX (6") INCHES BELOW BOTTOM OF THE BALL WHEN PLAN IS PROPERLY SET AT THE REQUIRED GRADE. THE WORK OF THIS SECTION SHALL INCLUDE THE REMOVAL FROM THE SIX OF A THE ROCK OR UNDERGROUND DESTRUCTIONS ENCOUNTERED AT THE COST OF THE LANDSCAPE CONTRACTOR.

CONTRACTOR.

O. TREES AND LARGE SHRUBS SHALL BE STAKED AS SITE CONDITIONS REQUIRE. POSITION STAKES TO SECURE TREE AGAINST SEASONAL WINDS. LANDSCAPE CONTRACTOR TO INSPECT AND MAINTAIN STAKES IN A SECURED CONDITION DURING CONSTRUCTION UNTIL IRMAL ACCEPTANCE.

P. PRUNING AND MULCHING: EACH AREA SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE TO PRESERVE THE NATURAL CHARACTER OF THE PLANT AND IN THE MANNER FITTING ITS USE IN THE LANDSCAPE DESIGN.

I. DEAD WOOD OR SUCKERS AND BROKEN OR BADLY BRUISED BRANCHES SHALL BE REMOVED; GENERAL TIPPING OF ALL BRANCHES IS NOT PERMITTED.

J. PRUNING SHALL BE DONE WITH CLEAN SHARP TOOLS.

J. IMMEDIATELY AFTER PLANTING OFERATIONS ARE COMPLETED, ALL TREE PITS SHALL BE COVERED WITH LAYER OF SPECIFIED MULCH THREE (3") INCHES TROM TREE BASK TO THE MULCH DESIGN.

C. STELL CURBING INSTALLATION:

C. CURBING INSTALLATION:

C. CURBING SHALL BE ALIONED AS INDICATED ON DRAWINGS.

LALL STEEL CURBING SHALL BE FREE OF KINKS OR ABRUIT BENDS.

J. TOP OF STEEL CURBING SHALL BE FREE OF KINKS OR ABRUIT BENDS.

J. TOP OF STEEL CURBING SHALL BE ONE (1") HORDER THAN EXISTING GRADE.

4. STAKES ARE TO BE INSTALLED ON THE PLANTING BED SIDE OF THE CURBING, AS OPPOSED TO THE GRASS SIDE.

D. DO NOT INSTALL STEEL EDDING ALONG SIDEWALKS OR BACK OF CURBS.

D. ON THE STEEL CURBING SHALL BE ALONG SIDEWALKS OR BACK OF CURBS.

C. CLIT AN EDGE ON THE STEEL CURBING AT 45 DEGREE ANGLE WHERE EDGING MEETS PAVING EDGES. FILE EDGES CUT TO BE ROUNDED, SMOOTH AND NOT SHARP. TREES AND LARGE SHRUBS SHALL BE STAKED AS SITE CONDITIONS REQUIRE. POSITION STAKES

A. CLEANING: DURING THE WORK, THE PREMISES SHALL BE KEPT NEAT AND ORDERLY AT ALL TIMES. STORAGE AREA FOR ALL MATERIALS SHALL BE ORGANIZED THAT THEY, TOO, ARE NEAT AND ORDERLY. ALL TRASH AND DEBRIS SHALL BE REMOVED FROM SITE AS WORK PROGRESSES. KEEP PAVED AREAS CLEAN BY SWEEPING OR HOSING AT END OF EACH DAY'S WORK.

1. ON LEED APPLIED FOR OR PROJECTS TO BE LEED CERTIFIED COORDINATE WITH THE GENERAL CONTRACTOR FOR ACCEPTABLE DISPOSAL OF TRASH, WASTE, SOLIS, PLANT MATERIALS, FERTILIZERS SO AS RECYCLE CREDITS MAYBE TRACKED BY VOLUME.

### OWNER:

NATURON PROPERTIES LLC DILTZ DARLISSA JEANETTE ADDRESS: 8251 BEDFORD BLVD, SUITE 231 NORTH RICHLAND HILLS, TEXAS

DEVELOPER:

ADDRESS: 8251 BEDFORD BLVD, NORTH RICHLAND HILLS, TEXAS CONTACT: FR. VICTOR SHAHAT PHONE: 404-884-9471 EMAIL: FR.VICTORSHATA @ GMAIL.COM



NOTE: THE CONTRACTOR SHALL CONTACT THE FOLLOWING AT LEAST 48 HOURS PRIOR TO EXCAVATING IN THIS AREA:

UTILITY LOCATE TXU ELECTRIC & GAS SOUTHWESTERN BELL TELEPHONE COMPANY AT&T AT&T WESTERN UNION CABLE DIVISION MANSFIELD TRAFFIC SIGNAL & LIGHT FOR OTHER FACILITIES

## POPE KYRILLOS THE SIXTH **COPTIC ORTHODOX CHURCH**

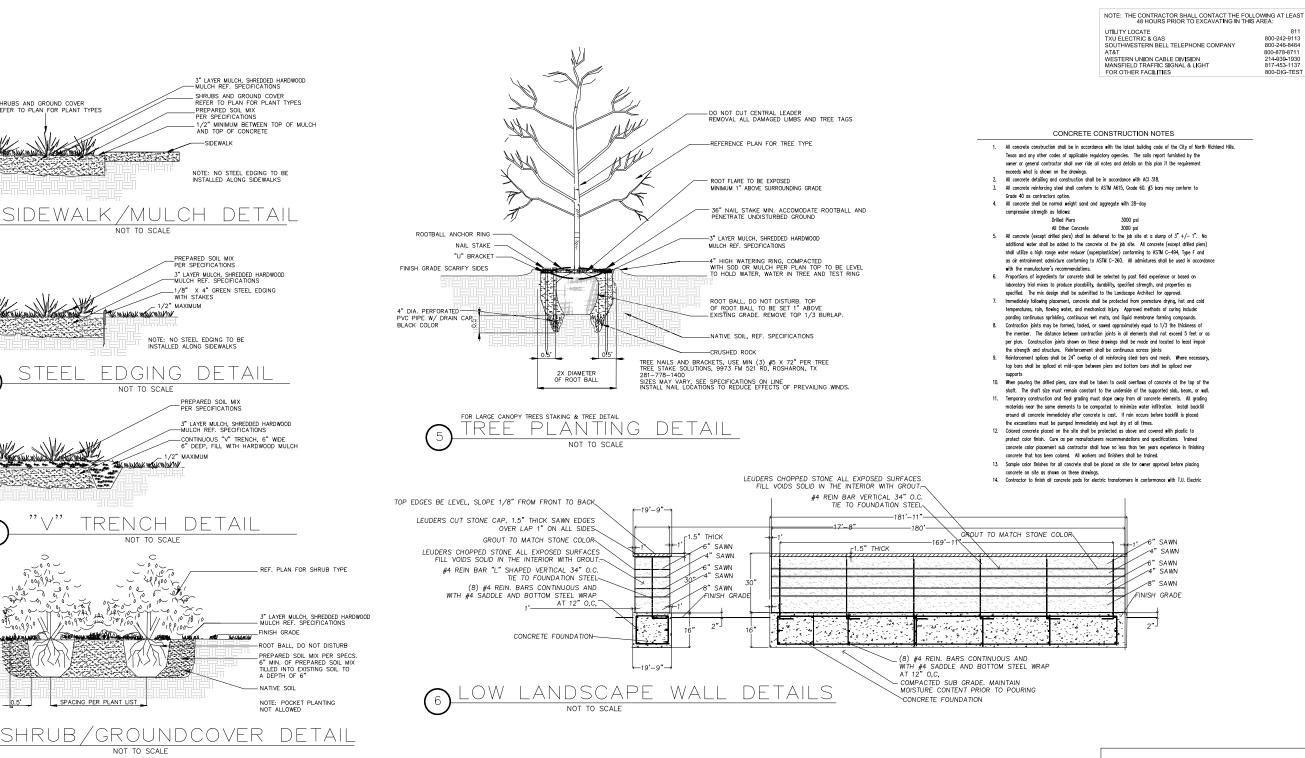
CITY OF NORTH RICHLAND HILLS, TEXAS

## T. H. Pritchett / Associates

1218 Camino Lago · Irving, Texas 75039 214.697.2580 tom@landdesignplan.com

## LANDSCAPE SPECIFICATIONS

П				
	DESIGNED: THP	DATE	PROJ. NO.	SHEET
	DRAWN: THP	AUGUST 18, 2024		1 4 4
	CHECKED: THP	7100001 10, 2021	11100.110.	LA-4



3" LAYER MULCH, SHREDDED HARDWOOD MULCH REF. SPECIFICATIONS SHRUBS AND GROUND COVER REFER TO PLAN FOR PLANT TYPES PREPARED SOIL MIX PER SPECIFICATIONS

-SIDEWALK

3" LAYER MULCH, SHREDDED HARDWOOD MULCH REF. SPECIFICATIONS

3" LAYER MULCH, SHREDDED HARDWOOD MULCH REF. SPECIFICATIONS -CONTINUOUS "V" TRENCH, 6" WIDE 6" DEEP, FILL WITH HARDWOOD MULCH

REF. PLAN FOR SHRUB TYPE

ROOT BALL, DO NOT DISTURB

NOTE: POCKET PLANTING NOT ALLOWED

\_FINISH GRADE

\_1/8" X 4" GREEN STEEL EDGING WITH STAKES

\_ 1/2" MAXIMUM

EDGING DETAIL

. 1/2" MAXIMUM

SIDEWALK/MULCH DETAIL

OWNER:

NATURON PROPERTIES LLC DILTZ DARLISSA JEANETTE ADDRESS: 8251 BEDFORD BLVD, SUITE 231 NORTH RICHLAND HILLS, TEXAS

DEVELOPER:

POPE KYRILLOS THE SIXTH COPTIC ORTHODOX CHURCH ADDRESS : 8251 BEDFORD BLVD

NORTH RICHLAND HILLS, TEXAS CONTACT: FR. VICTOR SHAHAT PHONE: 404-884-9471 EMAIL: FR.VICTORSHATA @ GMAIL.COM



## POPE KYRILLOS THE SIXTH **COPTIC ORTHODOX CHURCH**

CITY OF NORTH RICHLAND HILLS, TEXAS

### T. H. Pritchett / Associates

LANDSCAPE PLANTING & LOW WALL DETAIL

.	DESIGNED: THP	DATE	PROJ. NO.	SHEET
	DRAWN: THP	AUGUST 18, 2024		
	CHECKED: THP			LA-5