

CITY COUNCIL MEMORANDUM

FROM: The Office of the City Manager **DATE:** November 14, 2022

SUBJECT: PLAT22-0028 Consideration of a request from Benjamin Alicea for a final plat of Lots 1 and 2, Block 2, Antinone Addition, being 1.740 acres located at 7200 Mid-Cities Boulevard.

PRESENTER: Clayton Husband, Principal Planner

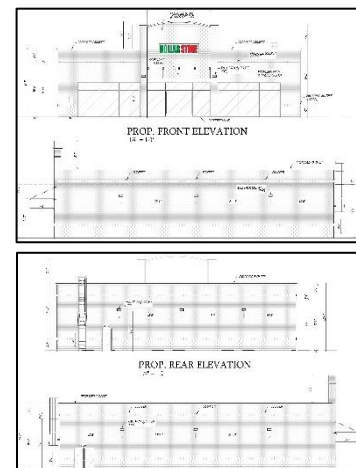
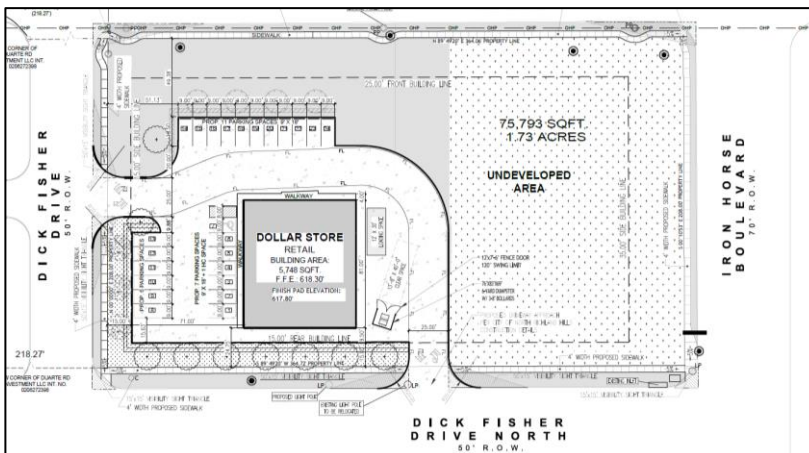
SUMMARY:

On behalf of Western Texas LLC, Benji Alicea is requesting approval of a final plat of Lots 1 and 2, Block 2, Antinone Addition. This 1.740-acre property is located at 7200 Mid-Cities Boulevard.

GENERAL DESCRIPTION:

The property under consideration is a 1.740-acre site located at the southwest corner of Mid-Cities Boulevard and Iron Horse Boulevard, in front of the NRH Animal Adoption & Rescue Center. The property is bounded on four sides by streets, with Dick Fisher Drive abutting the west and south sides of the site. The property is zoned C-2 (Commercial) and is undeveloped.

The proposed final plat is intended to create two nonresidential lots. The western lot is intended for the construction of a retail store. The site plan for the retail store is currently in review by the Development Review Committee, and the first submittal of the site plan is provided below for reference. The proposed easements on the plat are intended to align with the draft site plan. The eastern lot would remain vacant and available for development. Water and sanitary sewer service is available to the property.



PRELIMINARY SITE PLAN AND BUILDING ELEVATIONS



LAND USE PLAN: This area is designated on the Land Use Plan as Office Commercial. This designation encourages professional, medical, and administrative offices as well as limited commercial and service establishments that benefit adjacent and nearby residential areas, and in which all business and commerce is conducted indoors.

CURRENT ZONING: The property is currently zoned C-2 (Commercial). This district is intended to provide for the development of retail and general business uses primarily to serve the community and region. Uses include a wide variety of business activities and may involve limited outside storage, service, or display. The C-2 district should be located away from low and medium density residential development and should be used as a buffer between retail and industrial uses. The district is also appropriate along business corridors as indicated on the land use plan.

TRANSPORTATION PLAN: The development has frontage on the following streets. Right-of-way dedication is not required on the final plat as sufficient right-of-way exists at this location.

STREET	FUNCTIONAL CLASSIFICATION	LAND USE CONTEXT	DESIGN ELEMENTS
Mid-Cities Boulevard	P6D Major Arterial	Suburban Commercial	6-lane divided roadway variable right-of-way width
Iron Horse Boulevard	C2D Major Collector	Suburban Neighborhood	2-lane divided roadway 68-foot right-of-way width
Dick Fisher Drive	R2U Local Road	Local Road	2-lane undivided roadway 50-foot right-of-way width

SURROUNDING ZONING | LAND USE:

DIRECTION	ZONING	LAND USE PLAN	EXISTING LAND USE
NORTH	R-3 (Single-Family Residential)	Low Density Residential	Single-family residences
WEST	C-2 (Commercial)	Office Commercial	Retail and service uses
SOUTH	U (School, Church, Institutional)	Community Services	NRH Animal Adoption & Rescue Center
EAST	AG (Agricultural)	Office Commercial	Vacant

PLAT STATUS: The property is unplatted.

PLANNING AND ZONING COMMISSION: The Planning and Zoning Commission considered this item at the October 17, 2022, meeting and voted 7-0 to approve the plat with the conditions outlined in the Development Review Committee comments.



DRC REVIEW & RECOMMENDATION: The Development Review Committee (DRC) recommends approval of the plat subject to the attached DRC comments. These comments include minor revisions to notations and labeling on the drawing, revising the subdivision name to Antinone Addition, and adding necessary utility easements and sight visibility easements.

RECOMMENDATION:

Approve PLAT22-0028 with the conditions outlined in the Development Review Committee comments.