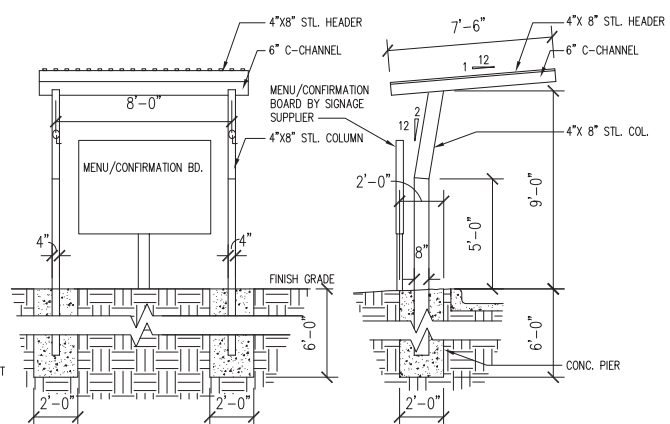
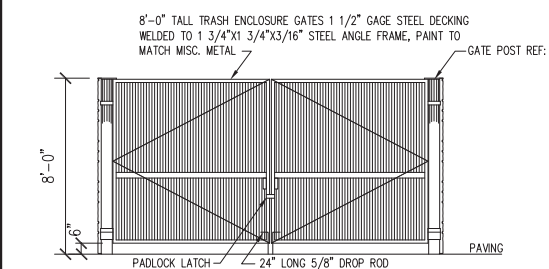


2 TRASH ENCLOSURE PLAN
SCALE: 1/4" = 1'-0"

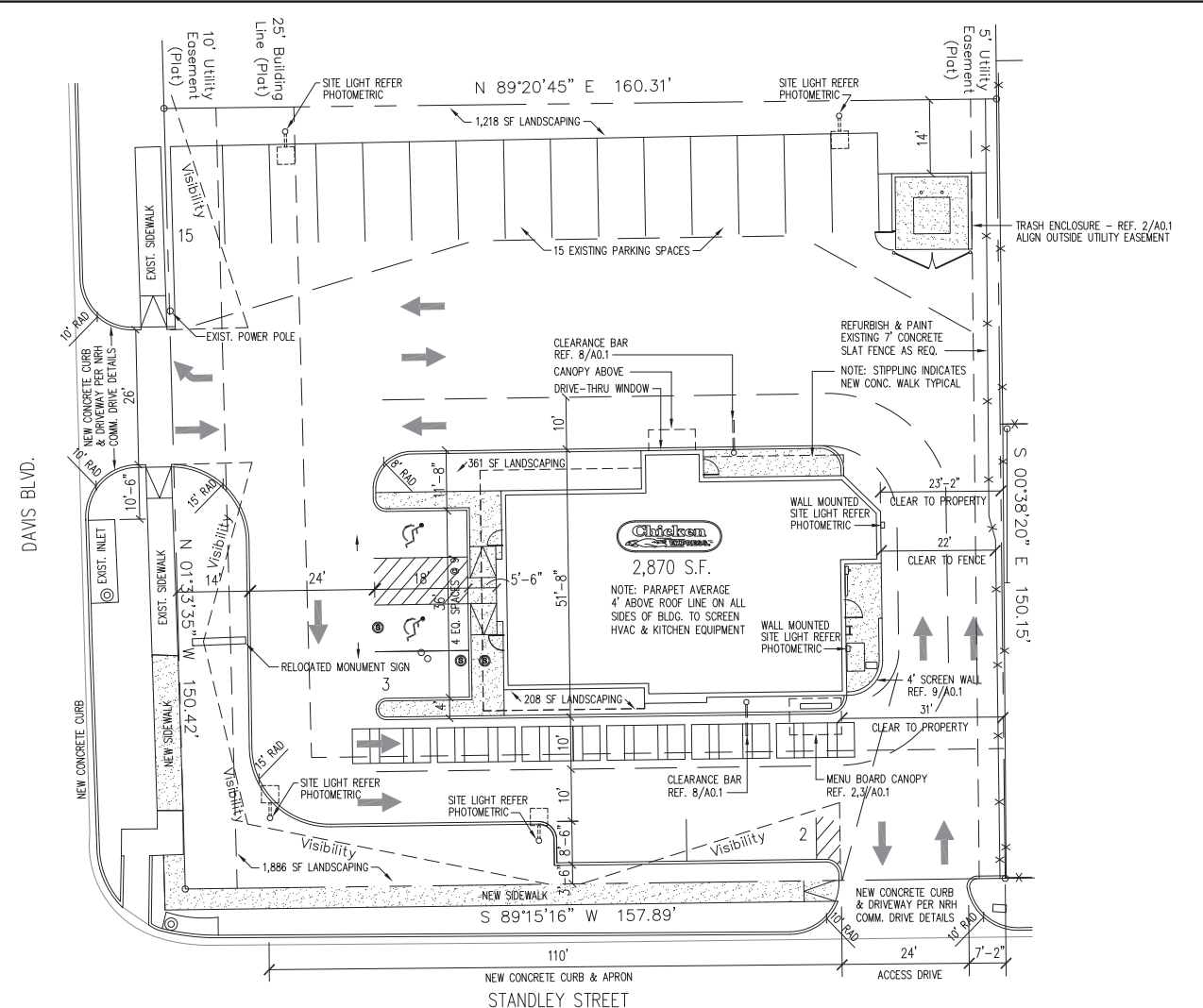


4 MENU BOARD CANOPY FRONT ELEV.
SCALE: 1/4" = 1'-0"

5 MENU BOARD CANOPY SIDE ELEV.
SCALE: 1/4" = 1'-0"



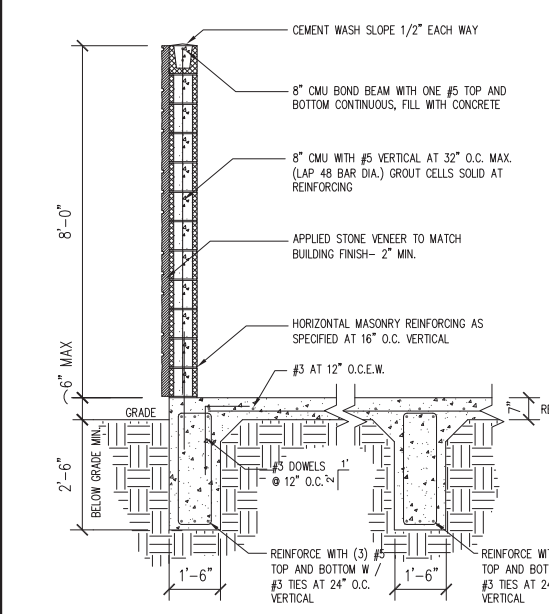
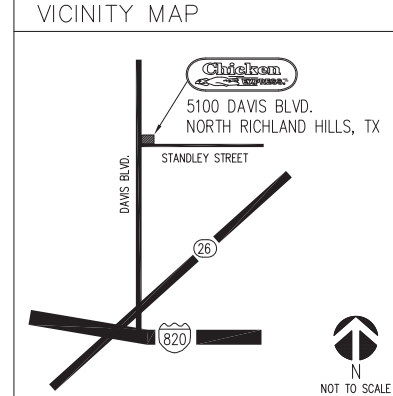
3 DUMPSTER ENCLOSURE ELEVATION
SCALE: 1/4" = 1'-0"



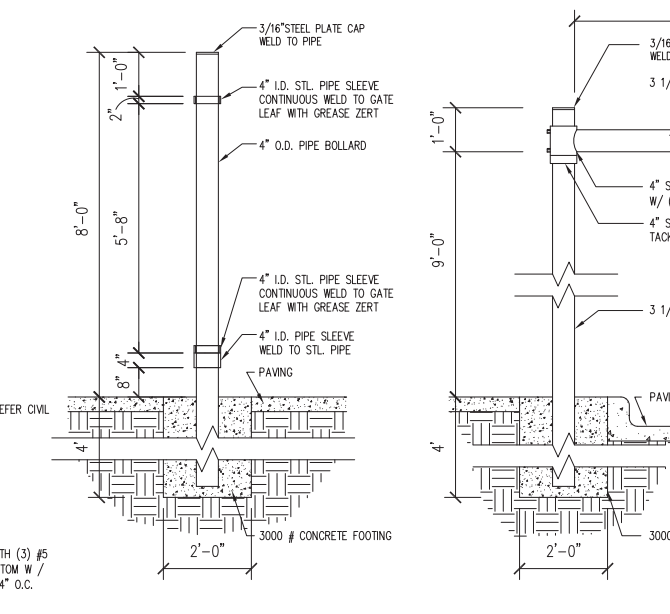
1 SITE PLAN
SCALE: 1/16" = 1'-0"
NOTE: EXISTING SITE CONDITIONS TO REMAIN UNLESS NOTED

SITE DATA SUMMARY	
EXISTING ZONING:	C-1 COMMERCIAL
REZONING REQUEST:	RD-PD
LOT AREA:	23,909 SF
BUILDING AREA:	2,870 SF
IMPERVIOUS AREA:	20,236 SF
LANDSCAPE AREA:	3,673 SF 15.3%
BUILDING HEIGHT:	25'
PARKING PROVIDED:	20 SPACES
LAND USE:	QUICK SERVICE RESTAURANT

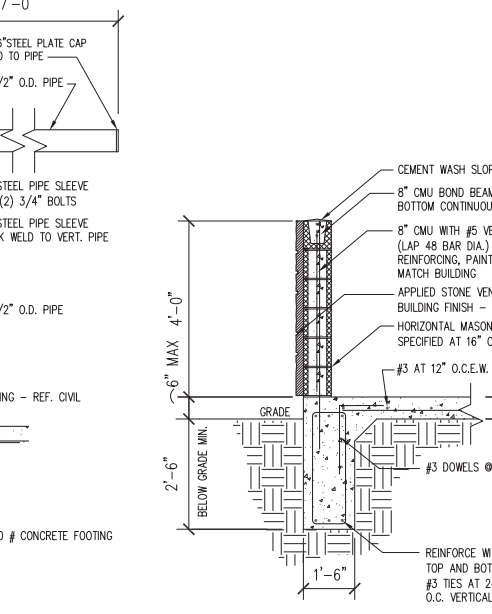
OWNER INFORMATION	
HALINAT INVESTMENTS L.P.	
PO BOX 189	
EASTLAND, TX 76448	
CONTACT:	KEITH RICHARDSON
PHONE:	254 631-4156
EMAIL:	keith-richardson@att.net



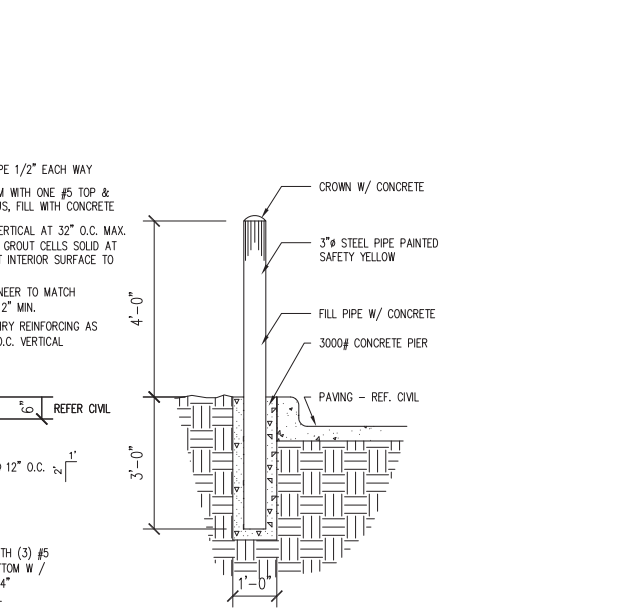
6 DUMPSTER ENCLOSURE SECTION
SCALE: 1/2" = 1'-0"



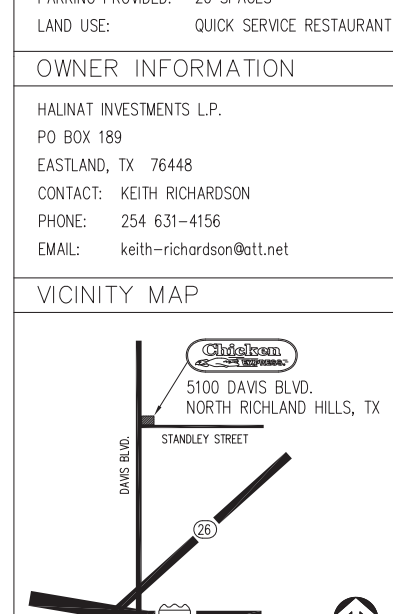
7 DUMPSTER ENC. GATE POST
SCALE: 1/2" = 1'-0"



8 CLEARANCE BAR DET.
SCALE: 1/2" = 1'-0"



9 SCREEN WALL SECTION
SCALE: 1/2" = 1'-0"



10 PIPE BOLLARD DETAIL
SCALE: 1/2" = 1'-0"

preliminary not for construction

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CASE SP 2019-04

PROJECT: CE201907
DATE: 5/1/19
DRAWN BY: SS
CHECKED BY: JH
FILE: CE1907-A0.1

REVISIONS

SHEET TITLE
SITE PLAN
PROJECT DATA
SITE DETAILS

SHEET

A0.1



05/01/19

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CASE SP 2019-04

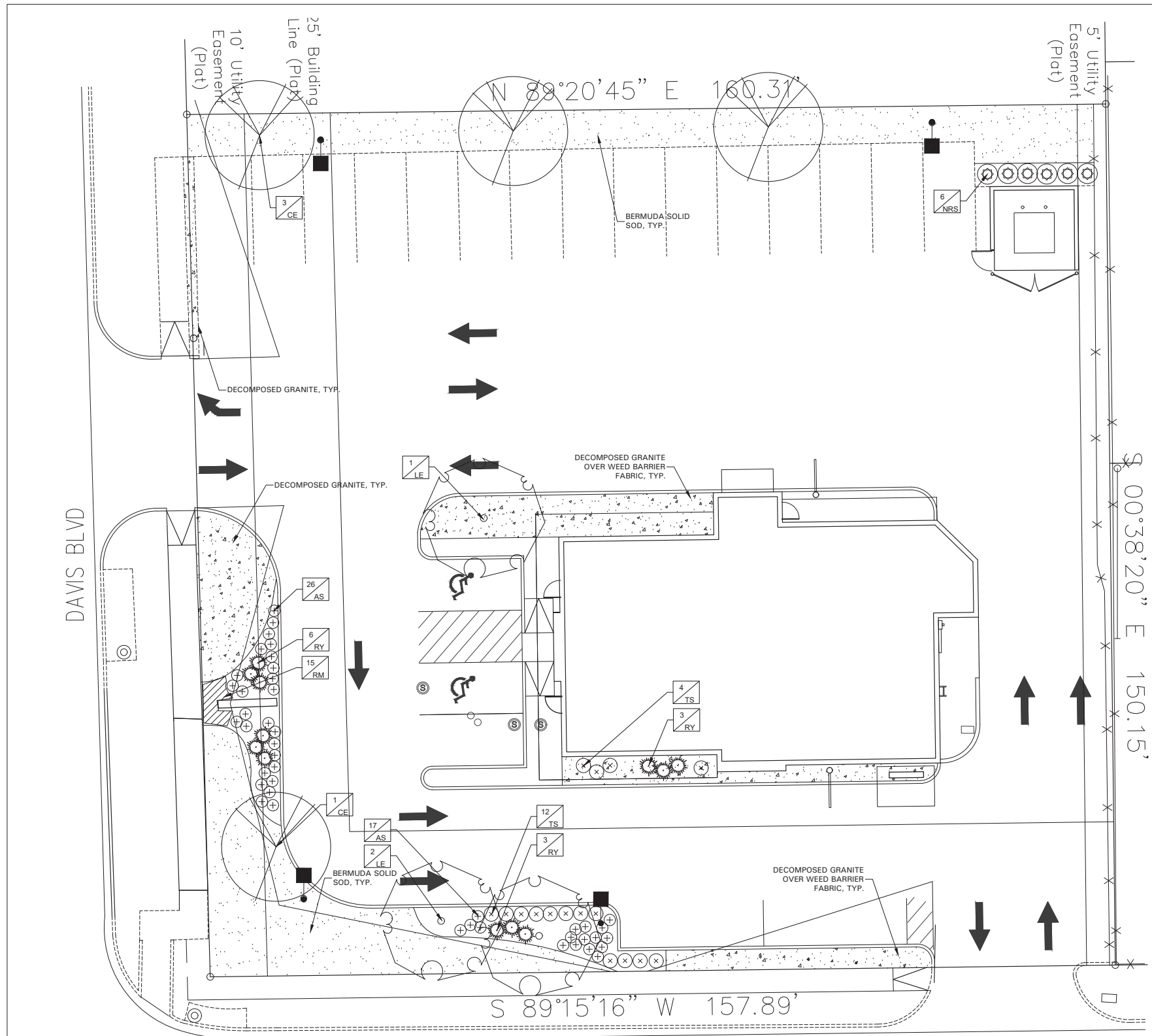
PROJECT:
 DATE: 05/01/19
 DRAWN BY: AWR
 CHECKED BY: AWR
 FILE:

REVISIONS

SHEET TITLE
 LANDSCAPE
 PLAN

SHEET

L1.01



GENERAL LAWN NOTES

EROSION CONTROL AND SOIL PREPARATION:
 THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TOP SOIL AT THE CORRECT GRADES. CONTRACTOR TO FINE GRADE AREAS TO REACH FINAL CONTOURS AS SPECIFIED PER CIVIL PLANS. ALL CONTOURS SHOULD ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND STRUCTURES. WATER SHOULD NOT BE ABLE TO POOL IN ANY AREAS UNLESS SPECIFIED OTHERWISE. EROSION FABRIC SUCH AS JUTE MATTING OR OPEN WEAVE TO BE USED WHERE NECESSARY TO PREVENT SOIL EROSION.

ANY LOSS OF TOPSOIL OR GRASS DUE TO EROSION IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL IT IS 100% ESTABLISHED.

CONTRACTOR TO REMOVE ANY ROCKS 3/4" AND LARGER, STICKS AND DEBRIS PRIOR TO INSTALLATION OF TOPSOIL AND SOD.

FOUR (4") OF TOPSOIL SHALL BE APPLIED TO AREAS DISTURBED BY CONSTRUCTION RECEIVING SOD. IF TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL AS APPROVED BY THE OWNER OR OWNERS REPRESENTATIVE.

TOPSOIL SHALL BE FRIABLE, NATURAL LOAM, FREE OF ROCKS, WEEDS, BRUSH, CLAY LUMPS, ROOTS, TWIGS, LITTER AND ENVIRONMENTAL CONTAMINANTS.

CONTRACTOR SHALL BE RESPONSIBLE FOR SOD UNTIL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION. SOD SHALL BE REPLACED IF NECESSARY.

SOLID SOD:
 SOLID SOD SHALL BE PLACED ALONG ALL IMPERVIOUS EDGES, AT A MINIMUM. THIS SHALL INCLUDE CURBS, WALKS, INLETS, MANHOLES AND PLANTING BED AREAS. SOD SHALL COVER OTHER AREAS COMPLETELY AS INDICATED BY PLAN.

SOD SHALL BE STRONGLY ROOTED DROUGHT RESISTANT SOD, NOT LESS THAN 2 YEARS OLD, FREE OF WEEDS AND UNDESIRABLE NATIVE GRASS AND MACHINE CUT TO PAD THICKNESS OF 3/4" (+ 1/4"), EXCLUDING TOP GROWTH AND THATCH. PROVIDE ONLY SOD CAPABLE OF VIGOROUS GROWTH AND DEVELOPMENT WHEN PLANTED.

DO NOT INSTALL SOD IF IT IS DORMANT OR GROUND IS FROZEN. LAY SOD WITH TIGHTLY FITTING JOINTS. NO OVERLAPS WITH STAGGERED STRIPS TO OFFSET JOINTS.

SOD SHALL BE ROLLED TO CREATE A SMOOTH EVEN SURFACE. SOD SHOULD BE WATERED THOROUGHLY DURING INSTALLATION PROCESS.

SHOULD INSTALLATION OCCUR BETWEEN OCTOBER 1ST AND MARCH 1ST, SOD SHALL INCLUDE AN OVER-SEED OF ANNUAL RYE OR WINTER RYEGRASS AT A RATE OF FOUR POUNDS PER ONE THOUSAND SQUARE FEET FOR A GROWN-IN APPEARANCE. CONTRACTOR SHALL ENSURE CONFORMANCE TO §115.0 OF TITLE 7, PART XXX, HORTICULTURE COMMISSION CHAPTER 1.

HYDROMULCH:
 SCARIFY SURFACE TO A MINIMUM OF 2" DEPTH PRIOR TO THE IMPORT TOPSOIL APPLICATION. TOP SOIL SHALL BE PLACED 2" IN DEPTH IN ALL AREAS TO BE SEED. CONTRACTOR TO SUPPLY HIGH QUALITY IMPORTED TOPSOIL HIGH IN HUMUS AND ORGANIC CONTENT FROM A LOCAL SUPPLY. IMPORTED TOPSOIL SHALL BE REASONABLY FREE OF CLAY LUMPS, COARSE SANDS, STONES, ROOTS AND OTHER FOREIGN DEBRIS.

IF INADEQUATE MOISTURE IS PRESENT IN SOIL, APPLY WATER AS NECESSARY FOR OPTIMUM MOISTURE FOR SEED APPLICATION.

ALL SEED SHALL BE HIGH QUALITY, TREATED LAWN TYPE SEED AND IS FREE OF NOXIOUS GRASS SEEDS. THE SEED APPLICATION SHALL BE UNIFORMLY DISTRIBUTED ON THE AREAS INDICATED ON PLANS. HYDROMULCH WITH BERMUDA GRASS SEED AT A RATE OF TWO POUNDS PER ONE THOUSAND SQUARE FEET.

IF INSTALLATION OCCURS BETWEEN OCTOBER 1ST AND APRIL 1ST, ALL HYDROMULCH AREAS SHALL BE OVER-SEED WITH ANNUAL RYE GRASS AT A RATE OF FOUR POUNDS PER ONE THOUSAND SQUARE FEET. CONTRACTOR TO RE-HYDROMULCH WITH BERMUDA GRASS AT THE END OF THE ANNUAL RYE GROWING SEASON.

AFTER APPLICATION, NO EQUIPMENT SHALL OPERATE OVER APPLIED AREAS. WATER SEEDED AREAS IMMEDIATELY AFTER INSTALLATION TO SATURATION.

ALL LAWN AREAS TO BE HYDROMULCHED SHALL ACHIEVE 100% COVERAGE PRIOR TO FINAL ACCEPTANCE.

LANDSCAPE NOTES

REFERENCE SITEWORK AND SPECIFICATIONS FOR INFORMATION NEEDED FOR LANDSCAPE WORK.

CONTRACTOR TO VERIFY AND LOCATE ALL PROPOSED AND EXISTING STRUCTURES. NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE FOR ANY LAYOUT DISCREPANCIES OR ANY CONDITION THAT WOULD PROHIBIT THE INSTALLATION AS SHOWN.

CONTRACTOR SHALL CALL 811 TO VERIFY AND LOCATE ANY AND ALL UTILITIES ON SITE PRIOR TO COMMENCING WORK. LANDSCAPE ARCHITECT SHOULD BE NOTIFIED OF ANY CONFLICTS.

A MINIMUM OF 2% SLOPE SHALL BE PROVIDED AWAY FROM ALL STRUCTURES. LANDSCAPE ISLANDS SHALL BE CROWNED, AND UNIFORM THROUGHOUT THE SITE.

ALL PLANTING AREAS SHALL BE GRADED SMOOTH TO ACHIEVE FINAL CONTOURS AS INDICATED ON PLAN WITH 3" OF TOPSOIL AND 3" OF COMPOST AND CONSISTENTLY BLENDED TO A DEPTH OF 12". ALL BEDS SHALL BE CROWNED TO ANTICIPATE SETTLEMENT AND ENSURE PROPER DRAINAGE.

PLANTING AREAS AND SOD TO BE SEPARATED BY STEEL EDGING. EDGING TO BE GREEN IN COLOR AND A MINIMUM OF 3/16" THICK. EDGING SHALL BE STAKED FROM THE INSIDE OF BED. EDGING NOT TO BE MORE THAN 1/2" ABOVE FINISHED GRADE.

MULCH SHALL BE INSTALLED AT 1/2" BELOW THE TOPS OF SIDEWALKS AND CURBING.

QUANTITIES ON THESE PLANS ARE FOR REFERENCE ONLY. THE SPACING OF PLANTS SHOULD BE AS INDICATED ON PLANS OR OTHERWISE NOTED. ALL TREES AND SHRUBS SHALL BE PLANTED PER DETAILS.

CONTAINER GROWN PLANT MATERIAL IS PREFERRED HOWEVER BALL AND BURLAP PLANT MATERIAL CAN BE SUBSTITUTED IF NEEDED AND IS APPROPRIATE TO THE SIZE AND QUALITY INDICATED ON THE PLANT MATERIAL LIST.

TREES SHALL BE PLANTED AT A MINIMUM OF 5' FROM ANY UTILITY LINE, SIDEWALK OR CURB. TREES SHALL ALSO BE 10' CLEAR FROM FIRE HYDRANTS.

4" OF SHREDDED HARDWOOD MULCH (2" SETTLED THICKNESS) SHALL BE PLACED OVER 4.1 OZ WOVEN, WEED BARRIER FABRIC OR APPROVED EQUAL. WEED BARRIER FABRIC SHALL BE USED IN PLANT BEDS AND AROUND ALL TREES AND SHALL BE DE WIT WEED BARRIER OR APPROVED EQUAL. MULCH SHALL BE SHREDDED BARK OR RUBBER LANDSCAPE MULCH. PINE STRAW MULCH IS PROHIBITED.

CONTRACTOR TO PROVIDE UNIT PRICING OF LANDSCAPE MATERIALS AND BE RESPONSIBLE FOR OBTAINING ALL LANDSCAPE AND IRRIGATION PERMITS.

IRRIGATION:
 IN THE ABSENCE OF AN IRRIGATION SYSTEM OR AREAS BEYOND THE COVERAGE LIMITS OF A PERMANENT IRRIGATION SYSTEM, CONTRACTOR SHALL WATER SOD TEMPORARILY, BY ANY MEANS AVAILABLE, TO DEVELOP ADEQUATE GROWTH. TURF SHALL BE IN 100% ESTABLISHMENT AT THE TIME OF ACCEPTANCE.

ALL PLANTING BEDS SHALL HAVE AN AUTOMATIC IRRIGATION SYSTEM WITH A FREEZE/RAIN SENSOR. SYSTEM SHALL ALSO HAVE AN ET WEATHER BASED CONTROLLER AND BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATOR.

MAINTENANCE REQUIREMENTS:
 VEGETATION SHOULD BE INSPECTED REGULARLY TO ENSURE THAT PLANT MATERIAL IS ESTABLISHING PROPERLY AND REMAINS IN A HEALTHY GROWING CONDITION APPROPRIATE FOR THE SEASON. IF DAMAGED OR REMOVED, PLANTS MUST BE REPLACED BY A SIMILAR VARIETY AND SIZE.

MOWING, TRIMMING, EDGING AND SUPERVISION OF WATER APPLICATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE OWNER OR OWNER'S REPRESENTATIVE ACCEPTS AND ASSUMES REGULAR MAINTENANCE.

ALL LANDSCAPE AREAS SHOULD BE CLEANED AND KEPT FREE OF TRASH, DEBRIS, WEEDS AND OTHER MATERIAL.

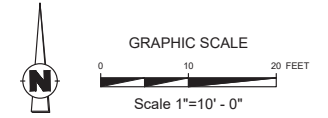
MISCELLANEOUS MATERIALS:
 STEEL EDGING SHALL BE 3/16" X 4 X 16' DARK GREEN DURAEDEGE STEEL LANDSCAPE EDGING.

DECOMPOSED GRANITE SHALL CONSIST OF A NATURAL MIX OF GRANITE AGGREGATE NOT TO EXCEED 1/8" IN DIAMETER AND COMPOSED OF VARIOUS STAGES OF DECOMPOSED EARTH BASE. DO SHALL BE PLACED OVER FILTER FABRIC AT A MINIMUM OF 3" DEPTH.

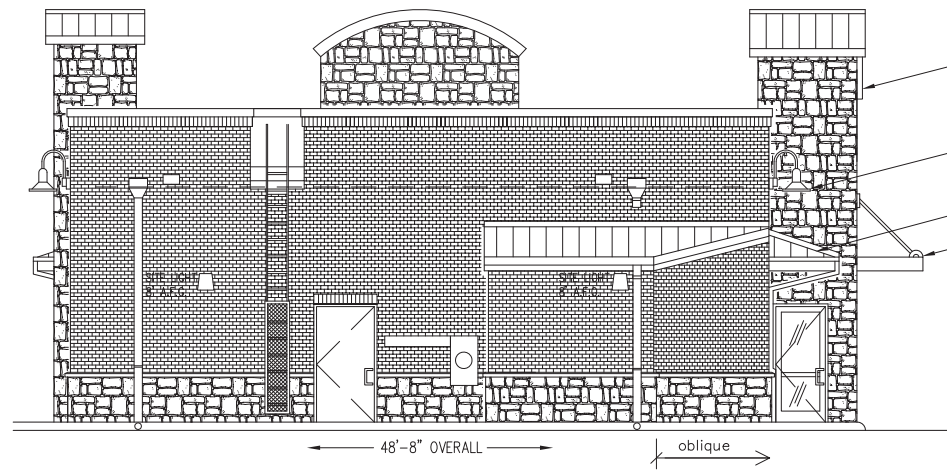
LANDSCAPE TABULATIONS for North Richland Hills, Texas	
GENERAL LANDSCAPE	
1. A minimum of 15% of the total area to be permeable landscape.	
REQUIRED 3,586 s.f. (15%)	PROVIDED 3,673 s.f. (15.3%)
STREET LANDSCAPE/LANDSCAPE SETBACK	
1. A minimum of 15' landscape setback from public streets	
2. Within the 15' landscape setback, there shall be 1 large tree every 50 l.f. of frontage. 2 ornamental trees may be substituted for 1 large tree.	
3. 10 small shrubs shall be planted every 50 l.f. of street frontage.	
4. A 15' buffer is required adjacent to the single family residential. In buffer, one large tree shall be planted for each 30 l.f. with 40% being an evergreen species.	
Davis - 150 l.f.	
REQUIRED 15' landscape buffer	PROVIDED not able to be provided
3 trees	2 trees along Davis, additional tree was added to the north property
30 shrubs	32 shrubs
Standley - 158 l.f.	
REQUIRED 15' landscape buffer	PROVIDED 10' landscape buffer
3 trees	2 trees along Standley, additional tree was added to the north property
32 shrubs	32 shrubs
East buffer - 15'	
REQUIRED 15' landscape buffer	PROVIDED not able to be provided
5 trees	NA
PARKING LOT LANDSCAPE	
1. Parking lot screening shall be provided and shall be in the form of shrubs or walls with a maximum height of 30' above grade of the parking lot and adjacent its entire length.	
2. 1 parking lot tree is required for every 30 parking spaces.	
3. Each drive approach shall be constructed with parking entrance islands. The landscape entrance island shall be planted with small shrubs placed 3' o.c.	
4. All parking lots shall be 5% landscaped.	
Parking Spaces - 20	
REQUIRED parking screening	PROVIDED parking screening
1 trees	1 trees
551 s.f. (5%)	579 s.f. (5.2%)

PLANT SCHEDULE					
QTY	LABEL	COMMON NAME	SCIENTIFIC NAME	SIZE	NOTES
SHADE TREES					
4	CE	Cedar Elm	<i>Ulmus crassifolia</i>	3" cal.	12' ht., 4' spread, matching
3	LE	'Bosque' Lacebark Elm	<i>Ulmus parvifolia 'UPMTF'</i>	4" cal.	14' ht., 5' spread, matching
SHRUBS					
43	AS	Autumn Sage	<i>Salvia greggii</i>	3 gal.	full, 24" o.c.
6	NRS	Nellie R Stevens Holly	<i>Ilex x 'Nellie R. Stevens'</i>	7 gal.	full, 40" o.c.
12	RY	Red Yucca	<i>Hesperaloe parvifolia</i>	5 gal.	full, 24" sprd, 30" o.c.
16	TS	Texas Sage 'Thundercloud'	<i>Leucophyllum frutescens 'Thundercloud'</i>	5 gal.	full, 24" sprd, 30" o.c.
GROUND COVER/VINES/GRASS					
15	RM	Creeping Rosemary	<i>Rosmarinus officinalis 'Prostratus'</i>	1 gal.	full, 18" o.c.
		Bermuda Solid Sod	<i>Cynodon dactylon</i>		
		Decomposed Granite			

Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. Trees shall have a strong central leader and be of matching specimens. All plant material shall meet or exceed remarks as indicated.



25'-0" A.F.F. TOP OF TOWER
 19'-0" A.F.F. TOP OF PARAPET
 14'-3" A.F.F. TOP OF ROOF
 9'-2" A.F.F. BOTTOM EAVE
 4'-0" A.F.F. T.O. SCREEN WALL
 3'-0" A.F.F. TOP OF WAINSCOT
 0'-0" A.F.F. FINISH FLOOR

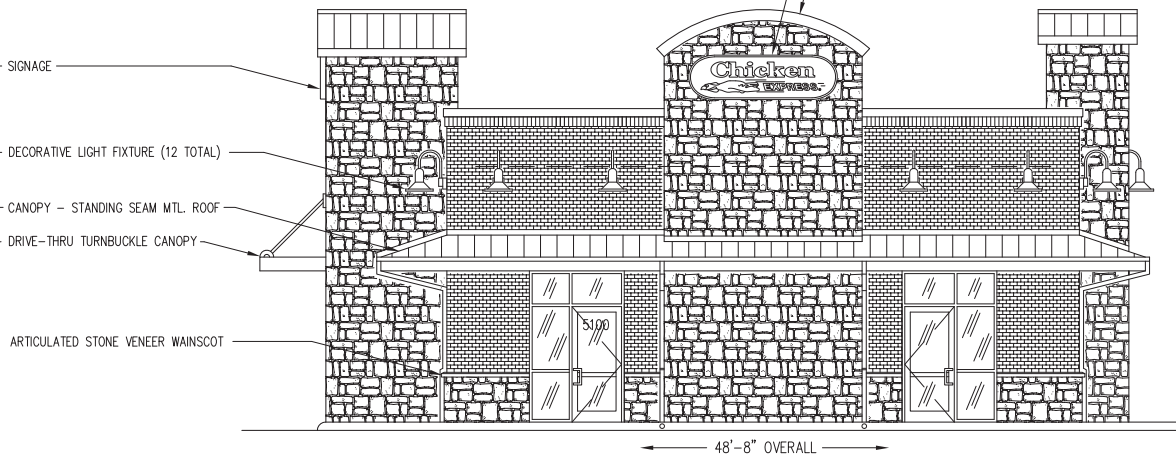


1 EAST EXTERIOR ELEVATION
 SCALE: 3/16" = 1'-0"
 NOTE: 4' SCREEN WALL NOT INDICATED FOR CLARITY

TOTAL SURFACE AREA: 1,014 SQUARE FEET
 STONE VENEER: 263 S.F. / 26%
 BRICK: 550 S.F. / 54%
 METAL ROOF & MISC. MTLs.: 180 S.F. / 18%
 GLAZING: 21 S.F. / 2%

SIGNAGE
 10' RADIUS TOWER ROOF - STANDING SEAM MTL.

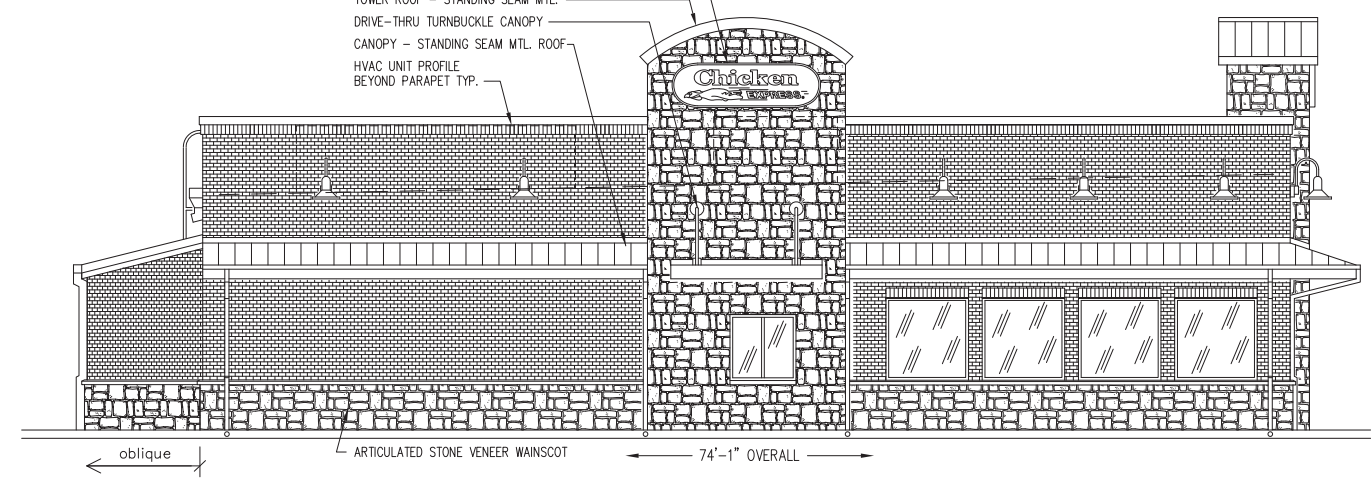
25'-0" A.F.F. TOP OF TOWER
 19'-0" A.F.F. TOP OF PARAPET
 15'-6" A.F.F. TOP OF ROOF
 9'-2" A.F.F. BOTTOM CANOPY
 3'-0" A.F.F. TOP OF WAINSCOT
 0'-0" A.F.F. FINISH FLOOR



2 WEST EXTERIOR ELEVATION
 SCALE: 3/16" = 1'-0"

TOTAL SURFACE AREA: 1,078 SQUARE FEET
 STONE VENEER: 542 S.F. / 50%
 BRICK: 266 S.F. / 24%
 METAL ROOF & MISC. MTLs.: 164 S.F. / 16%
 GLAZING: 106 S.F. / 10%

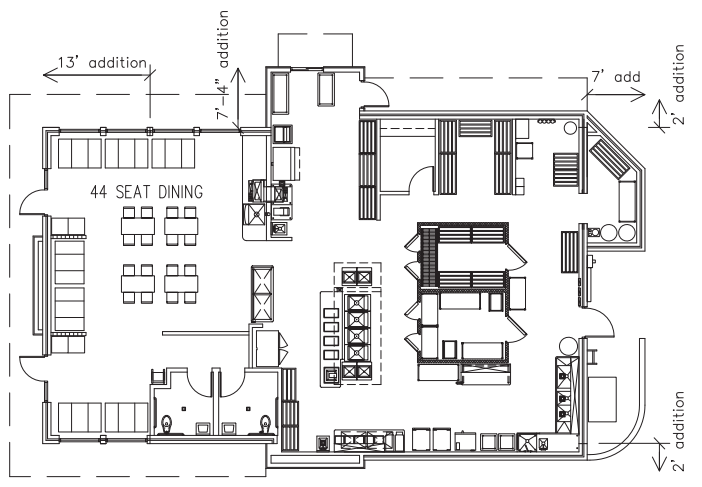
SIGNAGE
 TOWER ROOF - STANDING SEAM MTL.
 DRIVE-THRU TURNBUCKLE CANOPY
 CANOPY - STANDING SEAM MTL. ROOF
 HVAC UNIT PROFILE BEYOND PARAPET TYP.



3 NORTH EXTERIOR ELEVATION
 SCALE: 3/16" = 1'-0"

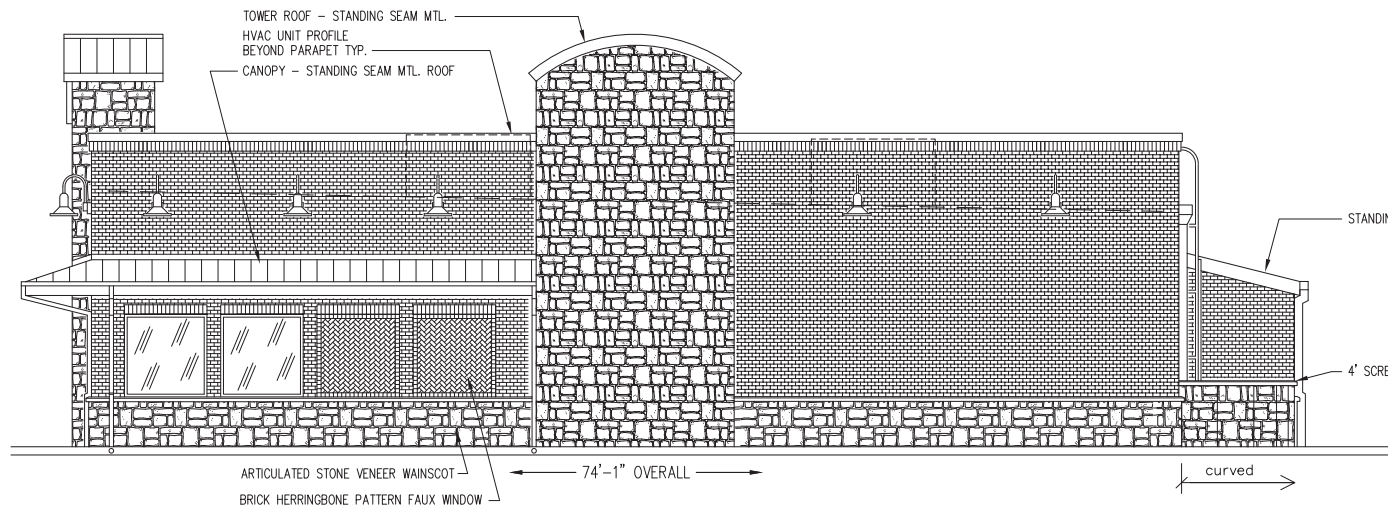
TOTAL SURFACE AREA: 1,460 SQUARE FEET
 STONE VENEER: 474 S.F. / 32%
 BRICK: 636 S.F. / 44%
 METAL ROOF & MISC. MTLs.: 234 S.F. / 16%
 GLAZING: 116 S.F. / 8%

25'-0" A.F.F. TOP OF TOWER
 19'-0" A.F.F. TOP OF PARAPET
 15'-6" A.F.F. TOP OF ROOF
 9'-2" A.F.F. BOTTOM CANOPY
 3'-0" A.F.F. TOP OF WAINSCOT
 0'-0" A.F.F. FINISH FLOOR



5 REMODEL PLAN 2,870 SF
 SCALE: 3/32" = 1'-0"

25'-0" A.F.F. TOP OF TOWER
 19'-0" A.F.F. TOP OF PARAPET
 15'-6" A.F.F. TOP OF ROOF
 9'-2" A.F.F. BOTTOM CANOPY
 3'-0" A.F.F. TOP OF WAINSCOT
 0'-0" A.F.F. FINISH FLOOR



4 SOUTH EXTERIOR ELEVATION
 SCALE: 3/16" = 1'-0"

TOTAL SURFACE AREA: 1,460 SQUARE FEET
 STONE VENEER: 514 S.F. / 35%
 BRICK: 740 S.F. / 51%
 METAL ROOF & MISC. MTLs.: 156 S.F. / 11%
 GLAZING: 50 S.F. / 3%

MATERIAL LEGEND

- STANDING SEAM ROOFING
- MISC. METALS TO MATCH
- MUELLER, INC. CRIMSON RED
- GLAZING - WINDOWS & DOORS
- DOUBLE PANE LOW-E TINTED
- 9% REFLECTANCE
- OLDCASTLE GLASS
- FACE BRICK
- ACME BRICK
- ARKANSAS ROSE
- BUFF MORTAR
- APPLIED STONE VENEER
- LONE STAR STONE
- HILL COUNTRY CHALK
- BUFF MORTAR

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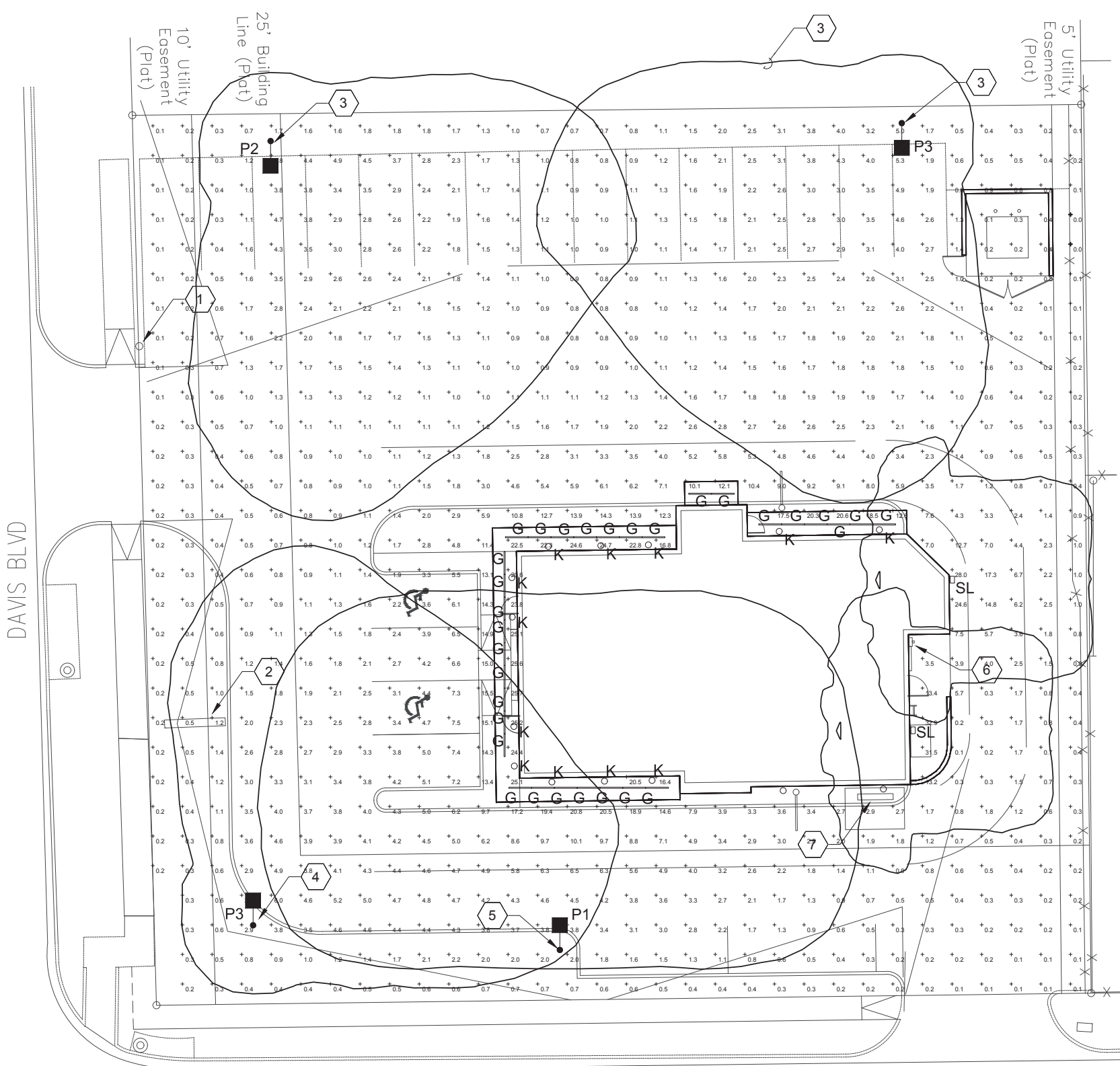
PROJECT: CE201907
 DATE: 5/1/19
 DRAWN BY: SS
 CHECKED BY: JH
 FILE: CE1907-A4

REVISIONS

SHEET TITLE
**ELEVATIONS
 REMODEL
 PLAN**

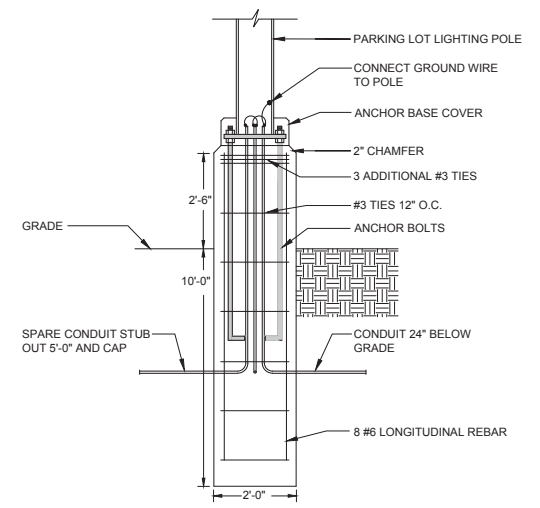
SHEET
A4

CASE SP 2019-04



- NOTES BY SYMBOL "Ⓝ"**
- EXISTING UTILITY POLE WITH POLE MOUNTED TRANSFORMERS.
 - RELOCATED EXISTING SIGN.
 - EXISTING LOCATION OF SITE LIGHTING. INSTALL SHORTENED POLE AND NEW FIXTURE HEADS.
 - RELOCATE EXISTING SITE LIGHTING. INSTALL SHORTENED POLE AND NEW FIXTURE HEADS.
 - INSTALL NEW SITE LIGHTING FIXTURE TO MATCH EXISTING SITE LIGHTING POLES.
 - EXISTING UTILITY METER TO REMAIN.
 - RELOCATED EXISTING MENU BOARD.
 - CONTOUR LINES INDICATE WHERE 0.25 FOOTCANDLES FALL PER VISUAL 2012.

- GENERAL NOTES:**
- ALL ELECTRICAL WORK SHALL COMPLY WITH THE NEC AND LOCAL CODES AS ADOPTED BY NORTH RICHLAND HILLS, TX.
 - CONDUIT ROUTING AND J-BOX LOCATIONS SHOWN ARE DIAGRAMMATIC. EXACT ROUTING SHALL BE DETERMINED BY THE CONTRACTOR TAKING INTO ACCOUNT EXISTING CONDITIONS AND OBSTRUCTIONS THAT MAY IMPEDE INSTALLATION. CONTRACTOR IS SOLELY RESPONSIBLE FOR INSTALLATION OF CONDUIT FROM POINT OF ORIGIN TO POINT OF TERMINATION EVEN AROUND OBSTRUCTION.
 - GENERAL SITE LIGHTING IS SHOWN ON THIS PLAN. SEE SHEET E1.0 FOR PEDESTRIAN AND FACADE LIGHTING.



2 POLE BASE DETAIL
SCALE: NO SCALE

Symbol	Label	Quantity	Description	Footcandle	Height	Notes
Ⓝ	K	14	RELOCATED EXISTING SIGN	2000	10'-0"	RELOCATED EXISTING SIGN
Ⓝ	SL	1	RELOCATED EXISTING SIGN	2000	10'-0"	RELOCATED EXISTING SIGN
Ⓝ	G	1	RELOCATED EXISTING SIGN	2000	10'-0"	RELOCATED EXISTING SIGN
Ⓝ	D	1	RELOCATED EXISTING SIGN	2000	10'-0"	RELOCATED EXISTING SIGN
Ⓝ	E	1	RELOCATED EXISTING SIGN	2000	10'-0"	RELOCATED EXISTING SIGN
Ⓝ	F	1	RELOCATED EXISTING SIGN	2000	10'-0"	RELOCATED EXISTING SIGN

1 PHOTOMETRIC SITE PLAN
SCALE: 1" = 10'-0"

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	2.9 fc	25.7 fc	0.0 fc	N/A	N/A

preliminary not for construction

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PROJECT: CE201907
DATE: 04/30/2019
DRAWN BY: BF
CHECKED BY: KR
FILE:
REVISIONS:

CASE SP 2019-04

SHEET TITLE
PHOTOMETRIC
SITE PLAN

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