

PROJECT INFORMATION

APPLICANT/LEASSEE:  
NAME:  
ADDRESS:  
CITY, STATE, ZIP:  
CONTACT:  
PHONE:

VERIZON WIRELESS

TOWER OWNER:  
NAME:  
ADDRESS:  
CITY, STATE, ZIP:  
CONTACT:  
PHONE:

AMERICAN TOWER CORPORATION  
8505 FREEPORT PARKWAY, STE. 135  
IRVING, TX 75063  
CHRIS PRESCOTT  
214-395-4539

PROPERTY OWNER:  
NAME:  
ADDRESS:  
CITY, STATE, ZIP:  
CONTACT:  
PHONE:

H. W. GILBREATH  
8212 SAYERS LANE  
NORTH RICHLAND HILLS, TX 76182  
  
817-281-3893

SCOPE OF WORK:

NEW UNMANNED TELECOMMUNICATIONS FACILITY

LATITUDE:

32° 53' 54.3194" (NAD83)

LONGITUDE:

-97° 11' 55.4290" (NAD83)

AMSL:

637.3' (NAVD88)

JURISDICTION:

CITY OF NORTH RICHLAND HILLS

TELEPHONE CO.:

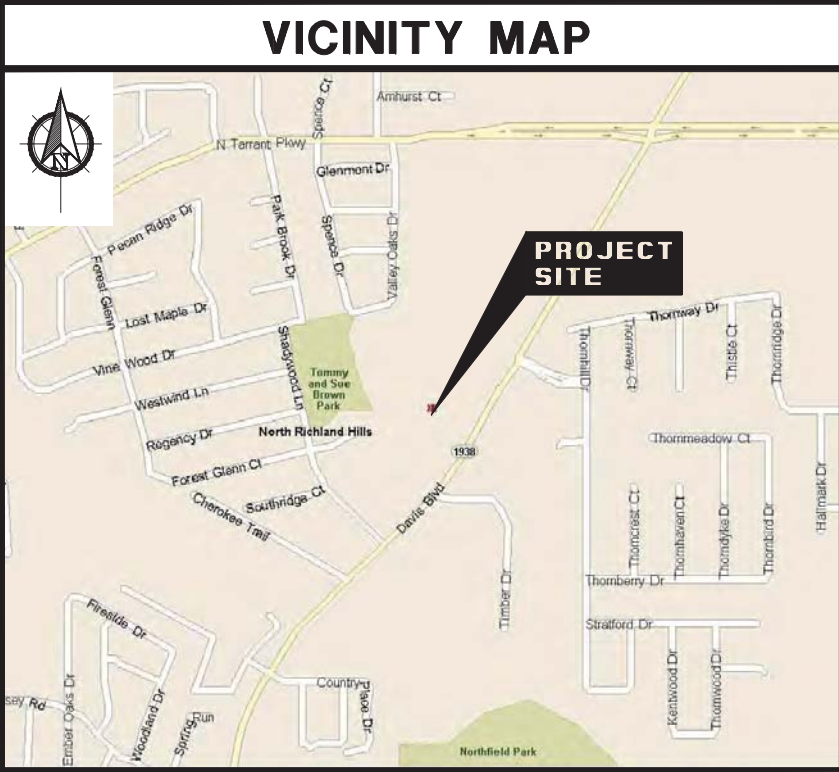
AT&T

POWER CO.:

ONCOR

DRIVING DIRECTIONS

FROM THE INTERSECTION OF NE LOOP 820 AND SR-26 (BOULEVARD 26) IN NORTH RICHLAND HILLS: TAKE BOULEVARD 26 NORTH TO DAVIS BLVD. TAKE DAVIS BLVD. NORTH APPROX. 4.7 MILES TO SITE ON YOUR LEFT ON WEST SIDE OF ROAD AT 8321 DAVIS BLVD.



verizonwireless

SITE NAME

DAVIS BLVD

ATC SITE NUMBER

201302

SITE ADDRESS

8321 DAVIS BLVD.

NORTH RICHLAND HILLS, TX 76182

(TARRANT COUNTY)

SITE PHOTO

DESIGN TEAM

ENGINEER:  
NAME:  
ADDRESS:  
CITY, STATE, ZIP:  
CONTACT:  
PHONE:

THE CELERIS GROUP, INC.  
2000 E. LAMAR BLVD., STE. 550  
ARLINGTON, TX 76006  
MARK STAPLETON  
817-446-1700

APPROVALS

LANDLORD

LEASING

CONSTRUCTION SUPERVISOR

SITE ACQUISITION

RF ENGINEERING

CONSTRUCTION MANAGER

SHEET INDEX

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1

REVISED PER CITY COMMENTS, REVISED TOWER COMPOUND LOCATION, REVISED VERIZON WIRELESS EQUIPMENT FROM SHELTER TO OUTDOOR EQUIPMENT AND UPDATED PER REVISED RFDS INFO

2

REVISED TOWER COMPOUND LOCATION, REVISED 12' ACCESS DRIVE LOCATION, REVISED 20' ACCESS EASEMENT & 5' UTILITY/FIBER EASEMENT LOCATIONS

BUILDING CODES

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL AUTHORITIES HAVING JURISDICTION.  

1. INTERNATIONAL BUILDING CODE

2. NATIONAL ELECTRIC CODE

3. CITY/COUNTY ORDINANCES

4. ANSI/TIA/EIA-222

THE TOWER SHALL MEET ALL APPLICABLE FCC, FAA AND LOCAL BUILDING CODES AS REQUIRED.

IF YOU DIG IN ANY STATE DIAL 811  
FOR THE LOCAL 'ONE CALL CENTER'  
IT'S THE LAW

THE UTILITIES SHOWN HEREIN ARE FOR THE CONTRACTORS CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER/SURVEYOR ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL THE UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO THE EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

REVISIONS

DATE

0	ISSUED FOR CONSTRUCTION	03/16/15
1	ISSUED FOR CONSTRUCTION	03/04/16
2	ISSUED FOR CONSTRUCTION	05/12/16

CELERIS PROJECT NO.: 15-7350

CELERIS GROUP

CONSULTING ENGINEERS  
2000 E. Lamar Blvd., Suite 550  
Arlington, TX 76006  
Office: 817.446.1700  
Fax: 817.460.0677  
TX Firm Reg. # F-13992

AMERICAN TOWER®

verizonwireless

STATE OF TEXAS

ZHENJING GUO

5/12/2016

LICENSED PROFESSIONAL ENGINEER

SITE NAME

DAVIS BLVD

ATC SITE NUMBER

201302

DRAWN BY:  
BA

CHECKED BY:  
ZG

DATE  
05/12/16

PLOT SCALE  
1:2

DRAWING NAME  
TITLE SHEET

SHEET No.

T01

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NOTE:  
CONTRACTOR SHALL REFER TO SEPARATE CIVIL PLANS  
PERFORMED BY BANNISTER ENGINEERING FOR ACCESS  
DRIVE PAVING PLAN, GRADING PLAN, EROSION  
CONTROL PLAN, & LANDSCAPE/TREE MITIGATION PLAN.

L C TUBB JR  
INST. D204158933  
D.R.T.C.T.

ZONED: AG

CITY OF NORTH  
RICHLAND HILLS  
INST. D204065839  
D.R.T.C.T.

ZONED: C-1

WAYNE GILBREATH  
VOL. 11990, PG. 2081  
D.R.T.C.T.

ZONED: AG

WATER BIB W/STEEL POST

EXISTING  
5' ELECTRIC EASEMENT  
VOL. 3058, PG. 163  
D.R.T.C.T.

CONC.  
SLAB

DAVIS BOULEVARD  
(FM-1938)  
PUBLIC R.O.W.

EXISTING ACCESS DRIVE TO BE REMOVED.  
REF. TO SEPARATE CIVIL PLANS  
PERFORMED BY BANNISTER ENGINEERING

NEW CONC. ACCESS DRIVE.  
REF. TO SEPARATE CIVIL PLANS  
PERFORMED BY BANNISTER ENGINEERING

EXISTING ACCESS DRIVE TO BE REMOVED.  
REF. TO SEPARATE CIVIL PLANS  
PERFORMED BY BANNISTER ENGINEERING

GAS PIPES NO METER

J&J NRH 100 FLP  
INST. D214248833  
D.R.T.C.T.

ZONED: C-1

1 OVERALL SITE PLAN

SCALE: (34" X 22") 1"=20'-0"  
SCALE: (17" X 11") 1"=40'-0"

SCALE (FEET)

0 20 40 60 80

REVISIONS	DATE
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**CELERIS GROUP**  
CONSULTING ENGINEERS  
2000 E. Lamar Blvd., Suite 550  
Arlington, TX 76006  
Office: 817.446.1700  
Fax: 817.460.0677  
TX Firm Reg. # F-13992



SITE NAME

DAVIS BLVD

ATC SITE NUMBER  
201302

DRAWN BY:

BA

CHECKED BY:

ZG

DATE

05/12/16

PLOT SCALE

1:2

DRAWING NAME

OVERALL SITE PLAN

SHEET No.

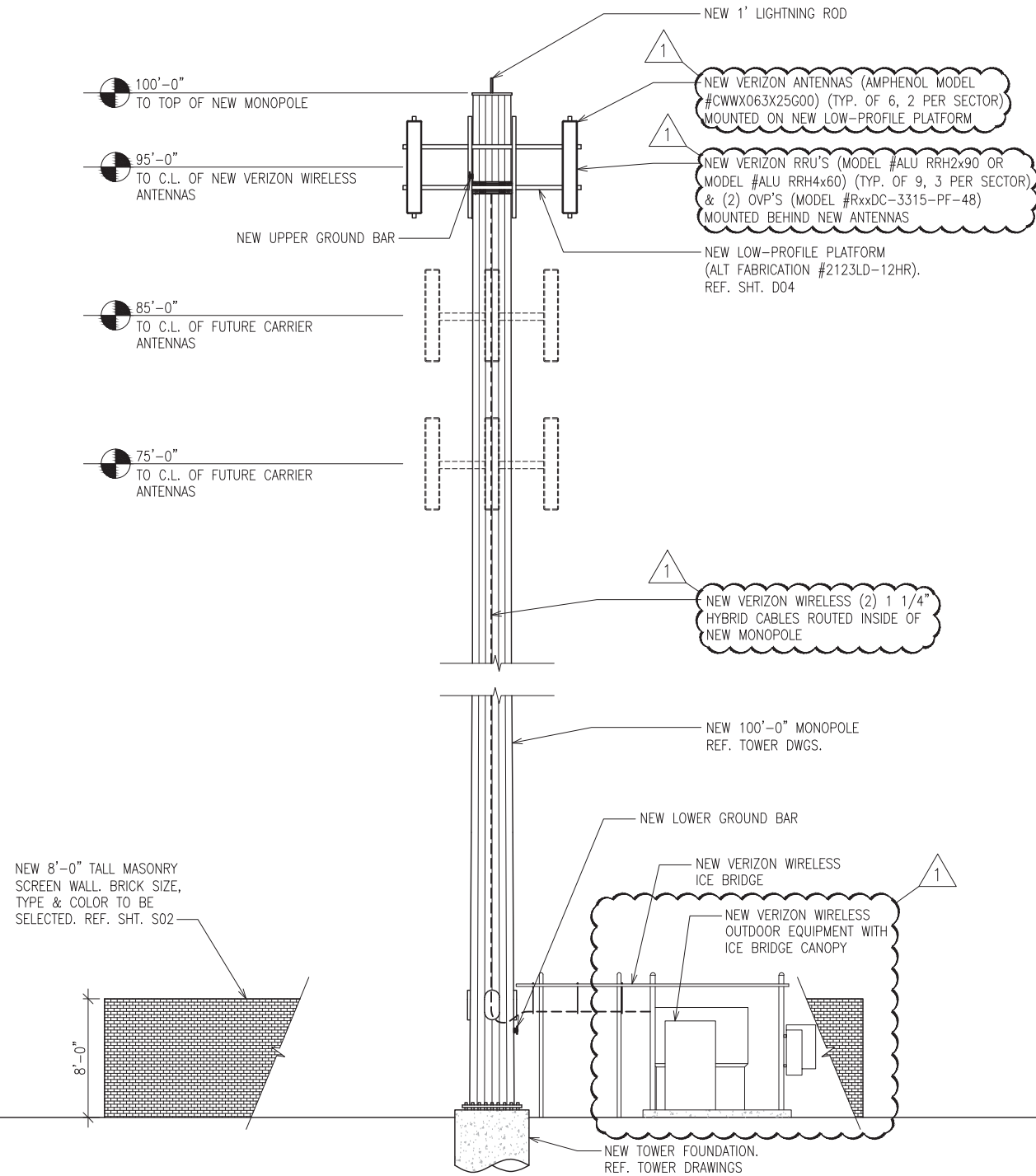
A01

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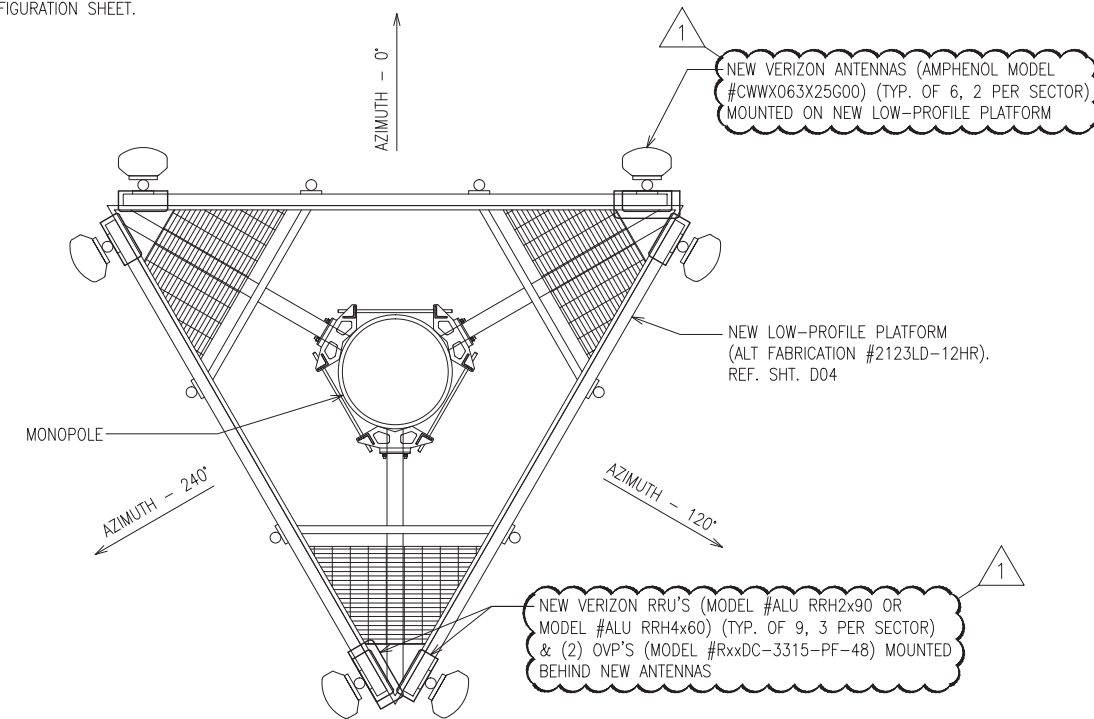
PRIOR TO INSTALLING ANY EQUIPMENT ON TOWER, CONTRACTOR SHALL REFER TO THE CURRENT STRUCTURAL ANALYSIS/TOWER DRAWINGS BY TOWER MANUFACTURER.



① TOWER ELEVATION  
SCALE: (34" X 22") 3/16"=1'-0"  
SCALE: (17" X 11") 3/32"=1'-0"



**NOTE:**  
BEFORE INSTALLING ANY EQUIPMENT CONTRACTOR  
MUST CHECK WITH VERIZON WIRELESS PROJECT  
MANAGER AND VERIZON WIRELESS RF ENGINEER  
FOR MOST RECENT RF CONFIGURATION SHEET.



## 2 ANTENNA ORIENTATION

NOTE:  
ALL CONNECTIONS FOR HANGERS, SUPPORTS,  
BRACING, ETC. SHALL BE INSTALLED PER  
TOWER MANUFACTURER'S STANDARD DETAILS.

[illegible]

CELERIS PROJECT NO.: 15-7350



SITE NAME

DAVIS BLVD

ATC SITE NUMBER  
201302

DRAWN BY:

CHECKED BY:

ZG  
DATE

03/04/16

PLOT SCALE  
1:2

DRAWING NAME

TOWER ELEVATION /  
ANTENNA ORIENTATION

SHEET No.

A03

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ORNAMENTAL METAL FENCING SYSTEM

1.

The Contractor shall provide all labor, materials, and appurtenances necessary for installation of the ornamental metal gate system defined.
2.

The Contractor shall supply a total ornamental metal gate system of the design, style, strength, and picket interspace defined herein. The system shall include all components (i.e., pickets, rails, posts, gates and hardware) required.
3.

The Contractor shall provide laborers and supervisors who are thoroughly familiar with the type of construction involved and materials and techniques specified.
4.

Components to comply with ASTM A526--Steel Sheet Zinc-Coated (Galvanized by the Hot Dip Process) ASTM B117--Salt Spray Testing.
5.

The manufacturer's literature and Shop Drawings shall be submitted prior to fabrication.
6.

Upon receipt at the job site, all materials shall be checked to ensure that no damages occurred during shipping or handling. Materials shall be stored in such a manner to ensure proper ventilation and drainage, and to protect against damage, weather, vandalism, and theft.
7.

The ornamental metal gate system shall conform to Ameristar AEGIS II, Industrial Weight, Classic Panels as listed below, distributed by Allied Fence 214-748-6088, or approved equal. Submit any proposed alternate to AT&T's Construction Manager and the Architect for consideration and approval.
8.

MATERIALS

A.

The material for gate framework (i.e., pickets, rails, and posts) shall be manufactured from coil steel having a yield strength of 50,000 psi. The steel shall be galvanized to meet the requirements of ASTM A526 with a minimum zinc coating weight of .90 ounces per square foot (coating Designation G-90), hot-dip process. Galvanized framework shall be subject to five-stage pretreatment system, and then coated by electrostatic spray application of a thermoset polyester supplied as a homogeneous free-flowing powder. The color shall be black. Coated galvanized framework shall be capable of withstanding 500 hours of salt spray testing to ASTM B117 without creep.

B.

Material for gate pickets shall be 1" square x 16ga tubing. The cross-sectional shape of the rails shall conform to the manufacturer's Forerunner design, with outside cross-section dimensions of 1.75" square and a minimum thickness of 14ga. Picket holes in the forerunner rail shall be holes in the Forerunner rail shall be spaced 4.98" o.c. Picket retaining rods shall be 0.125" dia. galvanized steel. Posts shall be a minimum of 2-1/2" square x 12ga. Rubber grommets shall be supplied to seal all picket-to-rail intersections.
9.

FABRICATION

A.

Pickets, rails, and posts shall be precut to specified lengths. Forerunner rails shall be pre-punched to accept pickets.

B.

Grommets shall be inserted into the pre-punched holes in the rails and pickets.

C.

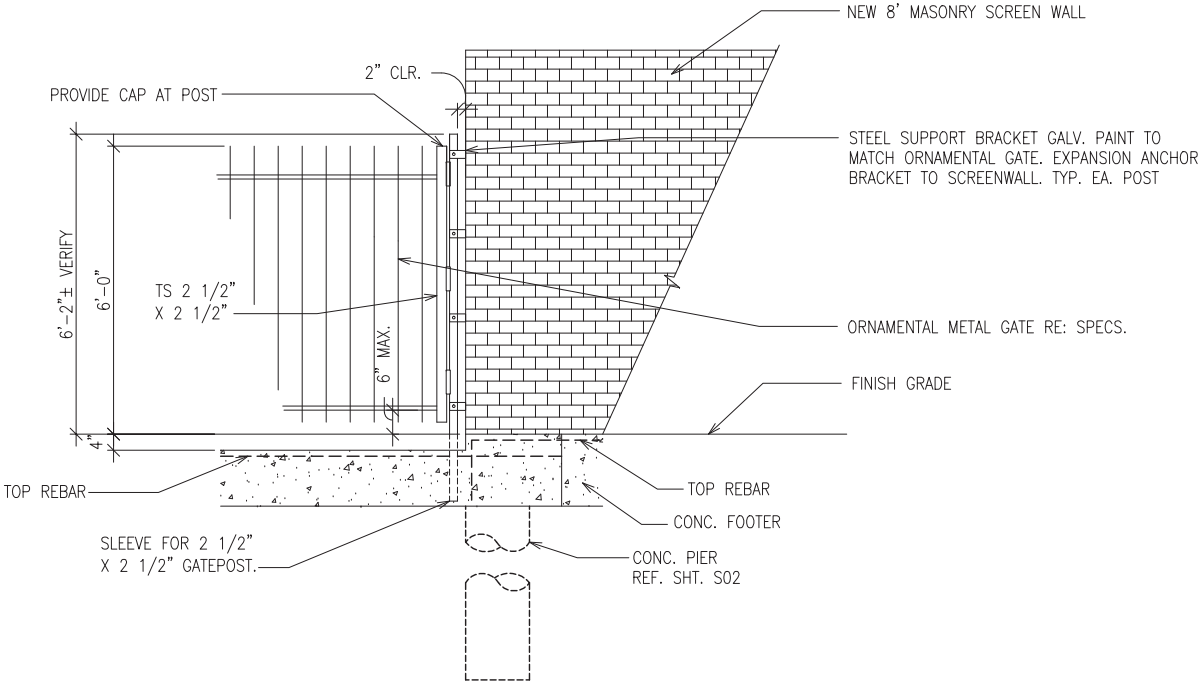
Completed sections (i.e., panels) shall be capable of supporting a 600 lb. load applied at midspan without permanent deformation. Panels shall be biasable to a 25% change in grade.

D.

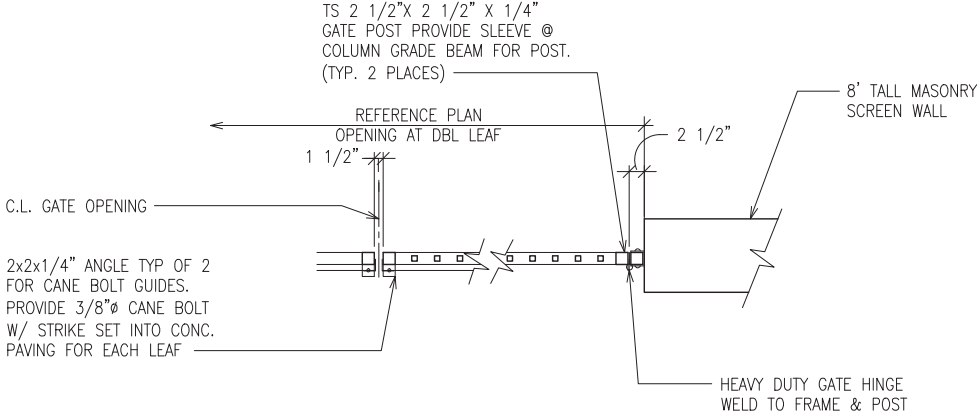
Gates shall be fabricated using AEGIS panel material and gate ends having the same outside cross-section dimensions as the Firerunner rail. Each upright and rail intersection shall be joined by welding. Each picket and rail intersection shall also be joined by welding. Gates are to have hasp for padlocks.
10.

All new installation shall be laid out by the contractor in accordance with the construction plans and approved Shop Drawings.
11.

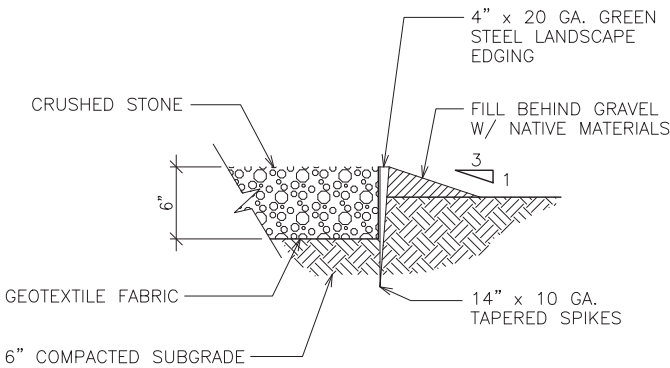
2 1/2" square gate posts shall be spaced according to the gate openings specified in the construction plans. Set gate posts in concrete foundation a minimum of 12-inch diameter and 3'-6" deep. AEGIS panels shall be attached to posts using panel brackets supplied by the bolt - on hardware supplied with the manufacturer.



1 ORNAMENTAL STEEL GATE DETAIL  
SCALE: 1/2"=1'-0"



2 ORNAMENTAL STEEL GATE DETAIL  
SCALE: 3/4"=1'-0"

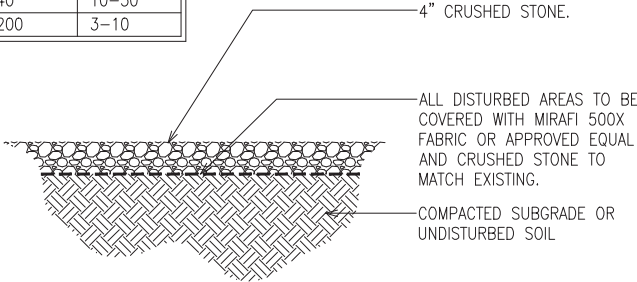


- NOTES:
- SUBGRADE SHALL BE CLEAN AND FREE OF ROCKS, ROOTS AND OTHER ORGANIC MATERIAL
  - SPRAY AREA UNDER BUILDING & NEW CRUSHED STONE AREA WITH HERBICIDE, COVER W/ GEOTEXTILE FABRIC AND 6" CRUSHED STONE.
  - CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO CONFINE HERBICIDE TO THE LEASE TRACT.
  - INSTALL 4" x 20 GA. GREEN STEEL LANDSCAPE EDGING W/ 14" x 10 GAUGE TAPERED SPIKES ALONG THE PERIMETER OF FENCED AREA.

3 METAL EDGE DETAIL  
SCALE: NTS

CLASS 7 GRADIATION SCHEDULE	
SIEVE SIZE	% PASSING
1 1/2"	100
1"	60-100
3/4"	50-90
3/8"	-
#4	25-55
#10	-
#40	10-30
#200	3-10

NOTE:  
MINIMUM STONE THICKNESS  
SHALL BE 4" OF CLASS 7  
OR OTHER APPROVED  
MATERAIL. (SEE GRADIATION  
SCHEDULE THIS SHEET)



4 GEOTEXTILE FABRIC DETAIL  
SCALE: NTS

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REVISIONS	DATE
0 ISSUED FOR CONSTRUCTION	03/16/15
1 ISSUED FOR CONSTRUCTION	03/04/16

CELERIS PROJECT NO.: 15-7350



2000 E. Lamar Blvd., Suite 550  
Arlington, TX 76006  
Office: 817.446.1700  
Fax: 817.460.0677  
TX Firm Reg. # F-13992



SITE NAME  
**DAVIS BLVD**  
  
ATC SITE NUMBER  
**201302**

DRAWN BY: BA
CHECKED BY: ZG
DATE 03/04/16
PLOT SCALE 1:2
DRAWING NAME DETAILS
SHEET No. <b>D02</b>



NOTE:  
1. ROUTE CONDUITS 36" FROM OBSTRUCTIONS  
2. HAND EXCAVATE WHERE EXISTING UNDERGROUND SERVICES EXIST.

○  
WATER BIB W/STEEL POST

CONC.  
SLAB

PROVIDE NEW PULLBOX  
AS REQUIRED  
NEW 20' ACCESS EASEMENT.  
REF. SURVEY

(N) HOFFMAN ENCLOSURE FOR TELCO SERVICE.  
REF. ELEC. RISER ON SHT. E02  
PROVIDE (N) SERVICE ENTRANCE TAP CAN  
(OR DISCONNECT) AS PROSCRIBED BY  
ELECTRIC SERVICE PROVIDER AND AHJ.  
REF. ELEC. RISER ON SHT. E02  
(N) FIBER MUX BOX  
ON (N) H-FRAME  
(N) TELCO BOX ON (N)  
H-FRAME. REF. ELEC.  
RISER ON SHT. E02  
(N) ELEC. PANEL ON (N)  
H-FRAME. REF. ELEC.  
RISER ON SHT. E02  
(N) DISCONNECT ON (N)  
H-FRAME. REF. ELEC.  
RISER ON SHT. E02  
(N) VERIZON WIRELESS METER IN (N) METER  
STACK MODULE. REF. ELEC. RISER ON SHT. E02  
(N) MULTI-GANG METER RACK.  
REF. ELEC. RISER ON SHT. E02  
(N) U/G TELCO SERVICE APPROX. 75'± FROM  
(N) TELCO BOX ON (N) COMMUNITY UTILITY  
RACK TO (N) TELCO BOX AT (N) VZW  
EQUIPMENT. REF. ELEC. RISER ON SHT. E02  
(N) TRENCH FOR NEW U/G UTILITY  
SERVICES. AVOID CONFLICTS WITH  
EXISTING U/G UTILITIES. REF. DET. 4/D01  
(N) U/G ELEC. SERVICE APPROX. 70'± FROM (N)  
VERIZON WIRELESS METER AT (N) COMMUNITY UTILITY  
RACK TO (N) DISCONNECT AT (N) VZW EQUIPMENT.  
REF. ELEC. RISER ON SHT. E02  
(N) AUTOMATIC TRANSFER SWITCH  
ON (N) H-FRAME. REF. ELEC.  
RISER ON SHT. E02

EXISTING  
HOUSE  
(ABANDONED)

EXISTING  
BARN

2  
1 ELECTRICAL SITE PLAN  
SCALE: NTS

## GENERAL NOTES

- IT IS THE ELECTRICAL CONTRACTORS RESPONSIBILITY TO CONTACT THE SERVING POWER COMPANY AS SOON AS THE WORK IS SCHEDULED FOR THIS SITE. CONTRACTOR SHALL INFORM THEM OF THE CONDITIONS SPECIFIC TO THIS SITE AND COORDINATE THE PROPOSED ROUTING OF CONDUITS, TERMINATION OF CONDUITS, POWER (VOLTAGE AND KVA) REQUIRED AND SCHEDULED DATE OF ACTIVATION.
- ROUTING OF UNDERGROUND UTILITIES IS APPROXIMATE; CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES AND SHALL BE EXTREMELY CAUTIOUS WHEN EXCAVATING TO AVOID DISRUPTION OF POWER OR TELEPHONE SERVICE OF OTHER TENANTS ON THE SITE. FAILURE TO OBSERVE THIS REQUIREMENT SHALL LEAVE THIS CONTRACTOR LIABLE FOR LOSS OF SERVICE (REVENUE) OF ANY SITE OCCUPANT.
- CONTRACTOR SHALL PROVIDE ALL CONDUIT, WIREWAYS, CABINETS, ETC. AS REQUIRED BY SERVING ELECTRICAL UTILITY COMPANY.
- DO NOT SCALE PLANS; SITE VERIFY EXISTING CONDITIONS.
- ELECTRICAL SERVICE SIZE IS NOMINAL FOR BIDDING PURPOSE ADJUST SIZE IF REQ'D BY A.H.J. OR TO MEET VOLTAGE DROP PERMITTED BY NFPA-70, ART. 215.
- PROVIDE PULLBOX AS SHOWN OR WHERE TOTAL CONDUIT BENDS EXCEED 360° AND/OR LENGTH OF CONDUIT EXCEEDS 200 FT. (200 FT. MAX. PERMITTED BETWEEN PULL BOXES) LOCATE PULLBOXES TO PROVIDE UNIFORM PULLING TENSION.
- REFER TO NOTES 2, 3, & 4 SHEET E02 AND SECTION 16130 OF ELECTRICAL SPECS ON SHEET E03 FOR RACEWAY MATERIALS REQUIRED.
- THIS PROJECT REQUIRES EVALUATION FOR PROPOSED NEW SERVICE BY THE LOCAL POWER CO. PRIOR TO STARTING ANY WORK THE CONTRACTOR SHALL CONTACT THE POWER CO. AND COORDINATE THE POINTS OF SERVICE DEMARCATION. CONTRACTOR SHALL INCLUDE ANY UTILITY COMPANY CHARGES FOR ESTABLISHING THESE SERVICES.
- NEW TRENCH FOR THE BURIED CONDUIT AND GROUNDING CONDUCTORS SHALL BE WIDE ENOUGH TO PERMIT CONNECTIONS TO BE MADE AND INSPECTED BY AUTHORITIES HAVING JURISDICTION; BACKFILL SHALL BE NON-CORROSIVE, LOW RESISTIVITY, FREE OF DEBRIS AND STONES, TAMPED DOWN IN LAYERS NOT TO EXCEED 6" DEEP AND COMPACTED TO 95% OF ORIGINAL DENSITY.

(N) TRENCH FOR NEW U/G UTILITY  
SERVICES. AVOID CONFLICTS WITH  
EXISTING U/G UTILITIES. REF. DET. 4/D01

(N) U/G TELCO SERVICE (APPROX. 320'± TO R.O.W.)  
FROM (N) HOFFMAN BOX ON (N) COMMUNITY UTILITY  
RACK TO (E) TELCO DEMARCATION POINT. CONTRACTOR  
SHALL COORDINATE WITH LOCAL TELCO PROVIDER FOR  
THE EXACT TERMINATION POINT. REF. ELEC. RISER ON  
SHT. E02

EXISTING  
5' ELECTRIC EASEMENT  
VOL. 3058, PG. 163  
D.R.T.C.T.

PROVIDE NEW PULLBOX  
AS REQUIRED  
NEW 5' UTILITY/FIBER  
EASEMENT. REF. SURVEY

EXISTING  
FENCE

DAVIS  
BOULEVARD  
(FM-1938)  
PUBLIC R.O.W.

(E) OVERHEAD POWER

GAS PIPES NO METER

(E) POWER POLE W/ TRANSFORMER.  
REF. ELEC. RISER ON SHT. E02

(N) U/G ELEC. SERVICE (APPROX. 435'±) FROM (N)  
TAP CAN ON (N) COMMUNITY UTILITY RACK TO (E)  
POWER POLE W/ TRANSFORMER. CONTRACTOR SHALL  
COORDINATE EXACT TERMINATION POINT WITH LOCAL  
POWER PROVIDER. REF. ELEC. RISER ON SHT. E02



5/13/16

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CELERIS PROJECT NO.: 15-7350

**CELERIS GROUP**  
CONSULTING ENGINEERS  
2000 E. Lamar Blvd., Suite 550  
Arlington, TX 76006  
Office: 817.446.1700  
Fax: 817.460.0677

**Torres Engineering Services, Inc.**  
8237 Delafield Dr.  
Ft. Worth, Texas 76131  
(822) 556-0848  
Registration No. F-10147



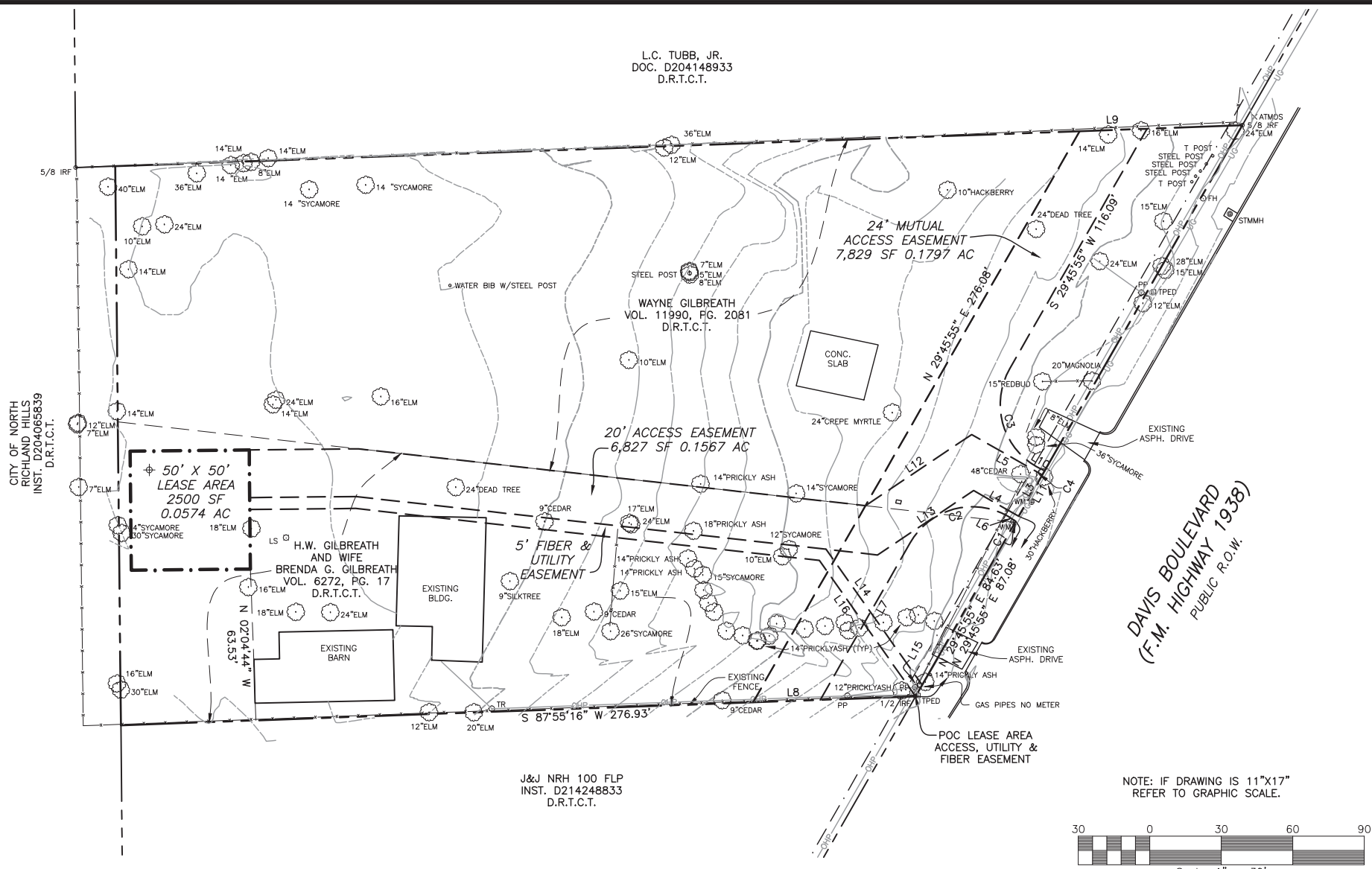
SITE NAME  
**DAVIS BLVD**  
ATC SITE NUMBER  
**201302**

DRAWN BY:  
BA  
CHECKED BY:  
RT  
DATE  
05/12/16  
PLOT SCALE  
1:2  
DRAWING NAME  
ELECTRICAL SITE PLAN

SHEET No.  
**E01**

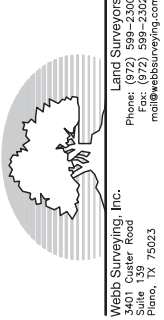
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FR, MAY 13, 2016 11:12 A G:\AL-JOB\GILBREATH\DAVIS BLVD\201302 SURVING X-REFS: 201302 DET.DWG



NUMBER	DIRECTION	DISTANCE
L1	N 00°34'23" W	5.00'
L2	N 00°34'23" W	20.00'
L3	S 29°45'55" W	20.00'
L4	N 60°14'05" W	21.76'
L5	S 60°14'05" E	34.16'
L6	N 60°01'12" W	0.85'
L7	S 29°45'55" W	75.99'
L8	S 87°55'16" W	28.25'
L9	N 87°55'16" E	28.25'
L10	S 60°01'12" E	1.15'
L11	S 29°45'55" W	24.45'
L12	N 56°10'08" E	53.61'
L13	S 56°10'08" W	48.54'
L14	S 35°17'59" E	69.85'
L15	S 29°45'55" W	5.51'
L16	N 35°17'59" W	69.93'

NUMBER	DELTA ANGLE	RADIUS	TANGENT	ARC LENGTH	CHORD LENGTH	CHORD DIRECTION
C1	08°43'28"	20.00	1.53	3.05	3.04	N 55°39'28" W
C2	90°12'52"	30.00	30.11	47.24	42.51	S 74°52'22" W
C3	89°47'08"	30.00	29.89	47.01	42.35	S 15°07'38" E
C4	08°30'25"	20.00	1.49	2.97	2.97	S 64°16'25" E



**SURVEY**  
SITE NAME: DAVIS BLVD.  
SITE NUMBER: 201302  
8321 DAVIS BLVD.  
NORTH RICHLAND HILLS, TX 76182



DRWN KRW  
CK KRW

NO.	DATE	DESCRIPTION:
1	01/27/2015	DATE OF SURVEY
2	02/11/2015	ISSUED
3	02/18/2015	ADDED PARENT TRACT
4	02/19/2016	REVISED LEASE AREA
5	02/24/2016	ADDED EASEMENT
6	05/13/2016	REVISED LEASE AREA
7		

SV-1

KRW JOB NO: 215-019

## SITE PLAN SCALE: 1" = 30'

### PROJECT INFORMATION

CENTER OF TOWER COORDINATES:

NAD83:  
LAT 32° 53' 55.1289"  
LONG 97° 11' 55.5664"  
ELEV. 637.3 FEET (AMSL NAVD88)

NOTES:

INGRESS/EGRESS IN COMMON WITH LESSOR.

LATITUDE AND LONGITUDE SHOWN HEREON ARE BASED ON NAD83 AND ELEVATIONS NAVD 1988.

MAGNETIC DECLINATION INFORMATION TAKEN FROM NOAA WEB SITE AND IS APPROXIMATE.

LATITUDE AND LONGITUDE FROM GPS OBSERVATIONS PERFORMED COINCIDENT WITH SURVEY, 1983 NORTH AMERICAN DATUM.

BASIS OF ELEVATION: GPS OBSERVATIONS PERFORMED COINCIDENT WITH SURVEY.

BASIS OF BEARINGS: GRID BEARINGS BASED ON GPS OBSERVATIONS PERFORMED COINCIDENT WITH SURVEY.

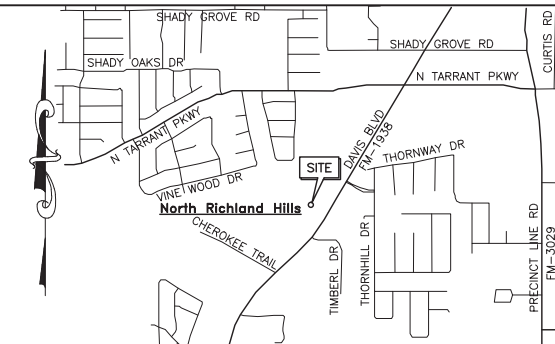
CONVERGENCE ANGLE: 00° 42' 35"

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS WITHIN ZONE "X". AREAS OUTSIDE OF A 100 YR. FLOOD PLAIN AS SHOWN BY FIRM MAP COMMUNITY-PANEL NUMBER 48439C0090K, DATED SEPTEMBER 25, 2009. NO SURVEYING WAS DONE TO DETERMINE THIS FLOOD ZONE.

### LEGEND

- PP - POWER POLE
- TPED - TELEPHONE RISER
- WV - WATER VALVE
- FH - FIRE HYDRANT
- TOWER CENTROID
- LP - LIGHT POLE
- EM - ELECTRIC METER
- GM - GAS METER
- IRS - IRON ROD SET
- IRF - IRON ROD FOUND
- TBM - BENCH MARK
- BUILDING LINES
- FENCE LINE
- POWER LINE

### VICINITY MAP

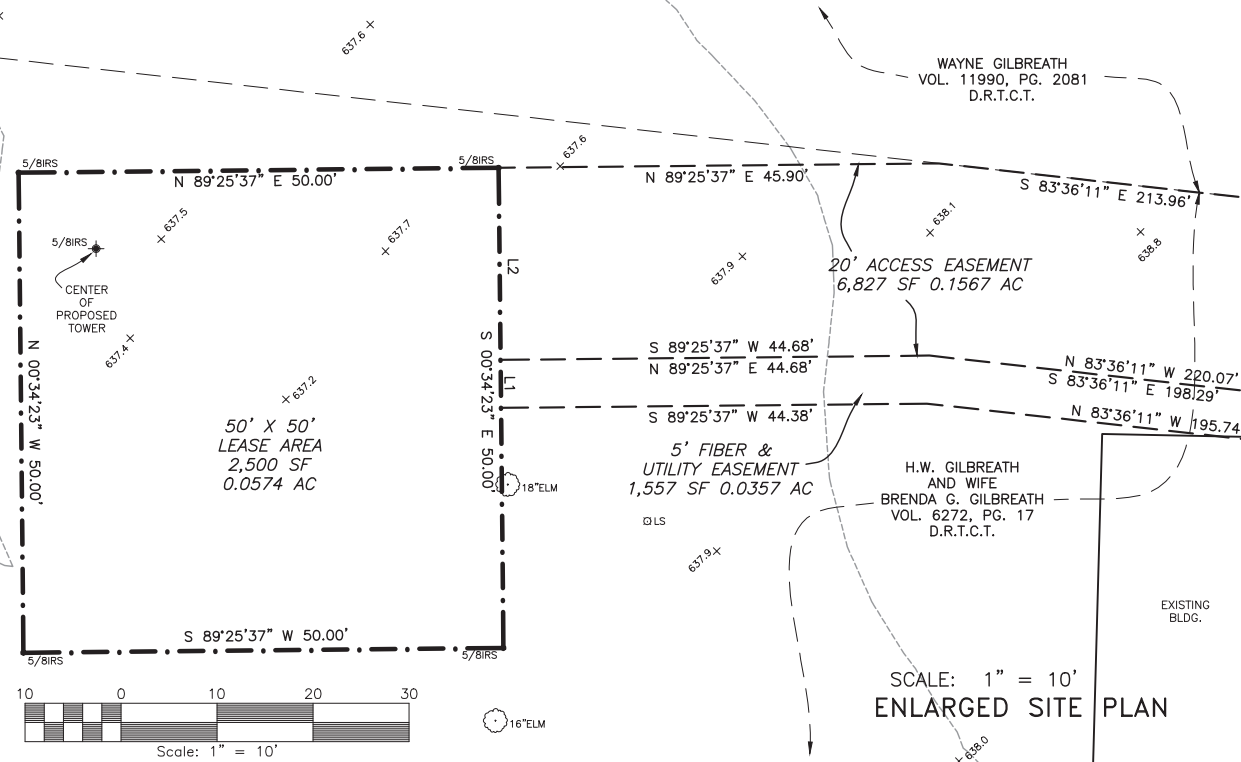


To AMERICAN TOWERS, INC. AND OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY:

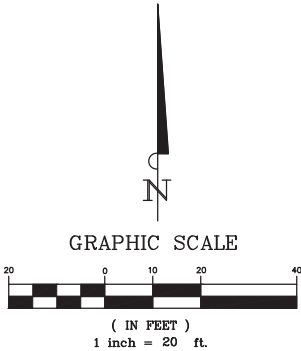
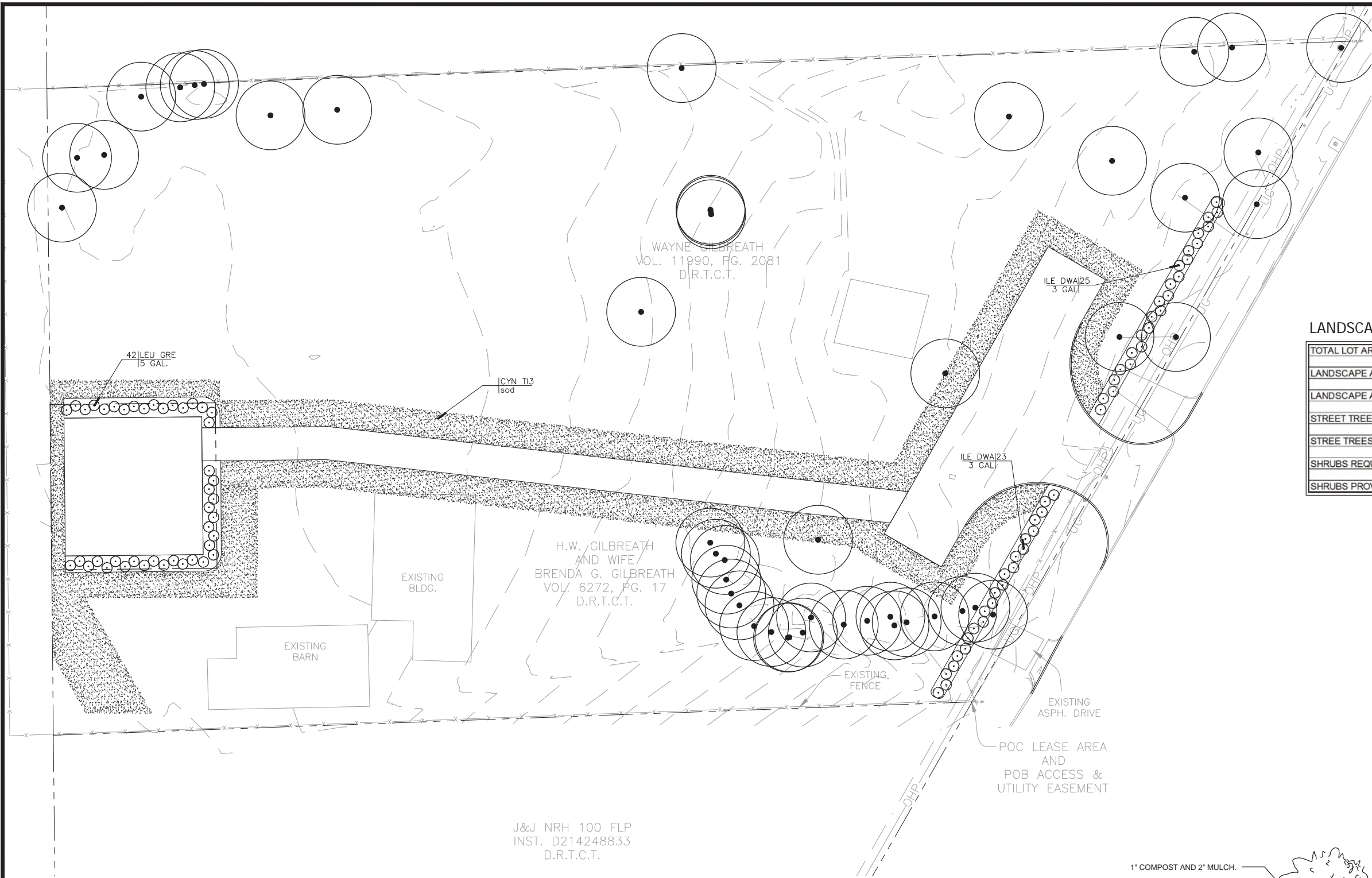
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 2, 3, 4, 6(b), 7(a), 7(c), 8, 9, 11(a), 11(b), 13, 16, 17 & 18 of Table A thereof. The field work was completed on 01/27/2015.

Date of Plat or Map: 5/13/2016

Kurtis R. Webb  
R.P.L.S. #4125





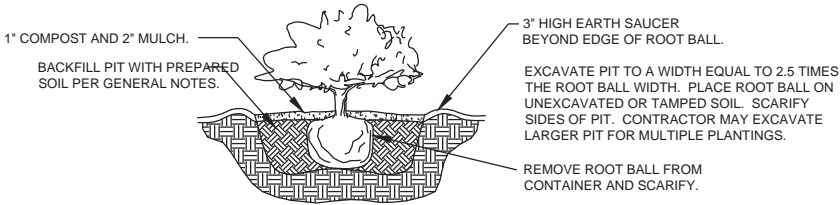


LANDSCAPE TABULATIONS:

TOTAL LOT AREA:	94,603 SF (2.17 AC)
LANDSCAPE AREA REQUIRED: 15%	14,190 SF
LANDSCAPE AREA PROVIDED:	81,018 SF (1.86 AC) 86%
STREET TREES REQUIRED: 1/ 50 LF (240 LF)	5 TREES
STREE TREES PROVIDED:	5 EXISTING TREES
SHRUBS REQUIRED: 10/ 50 LF( 240 LF)	48 SHRUBS
SHRUBS PROVIDED:	48 SHRUBS

PLANT\_SCHEDULE

TREES		BOTANICAL NAME / COMMON NAME			
	Existing Tree To Remain				
SHRUBS		BOTANICAL NAME / COMMON NAME		CONT	QTY NOTES
	Ilex cornuta 'Dwarf Burford' / Dwarf Burford Holly			3 GAL	48 36" O.C., 24" HT., FULL, MATCHING, TRIANGULAR SPACING
	Leucophyllum frutescens 'Green Cloud' TM / Green Cloud Texas Ranger			5 GAL	42 36" O.C., 24" HT., FULL, MATCHING, TRIANGULAR SPACING
	TIFWAY 419	SOD OR SEED PER PLAN			



A SHRUB PLANTING DETAIL

NOT TO SCALE



Know what's below.  
Call before you dig.  
(@ least 48 hours prior to digging)

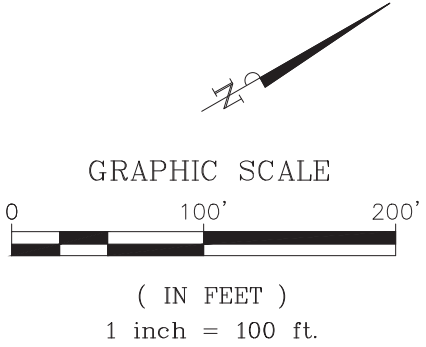
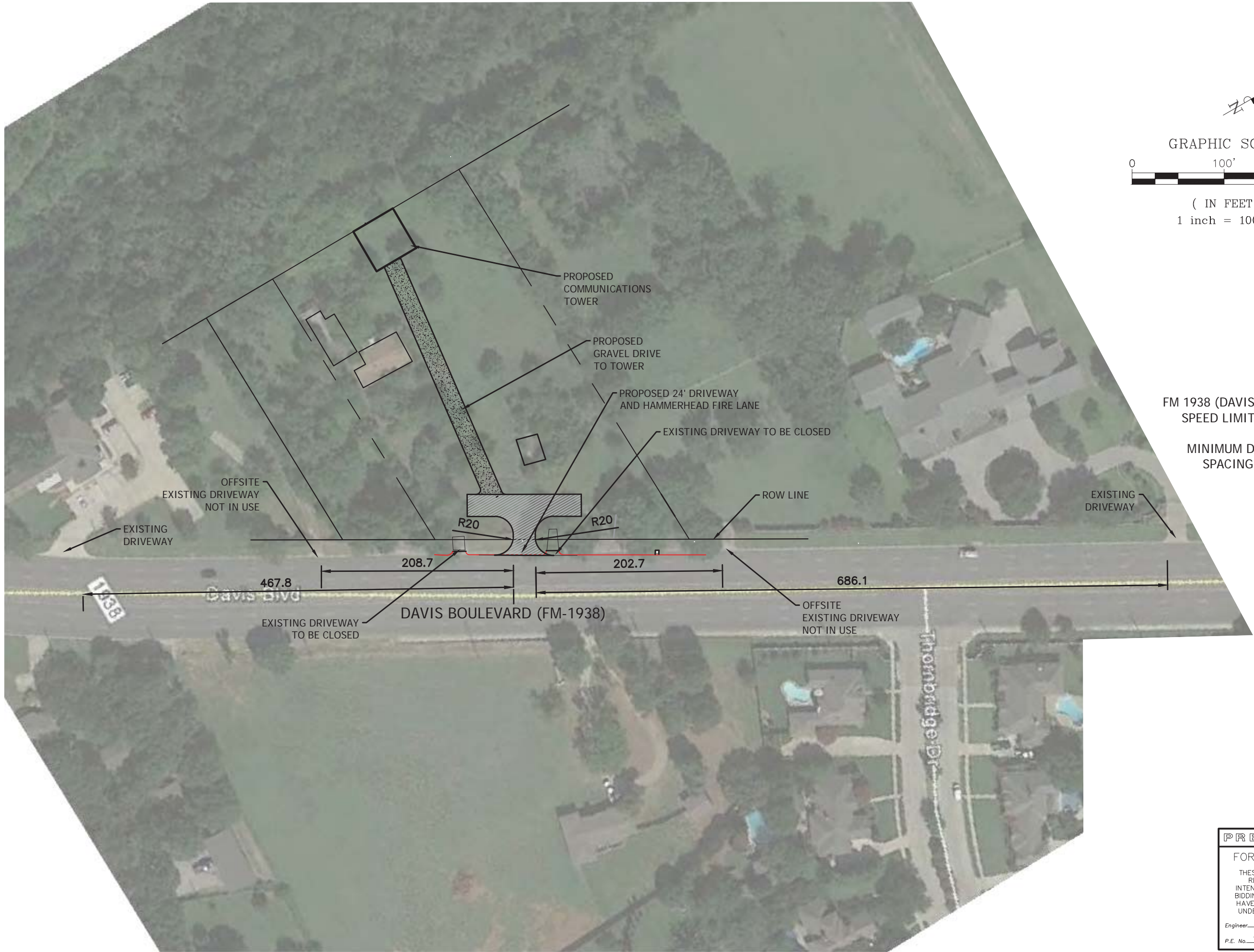
INFORMATION ON THIS SHEET IS PERTINENT TO ALL OTHER DESIGN SHEETS IN THIS SET OF DRAWINGS. THE CONTRACTOR SHALL NOT SEPARATE DRAWINGS FROM THE SET FOR DISTRIBUTION TO SPECIFIC DISCIPLINES. EACH SUBCONTRACTOR SHALL BE PROVIDED WITH ALL SHEETS WITHIN THIS PLAN SET.

No.	Date	Revision	Description



05-25-2016





FM 1938 (DAVIS BOULEVARD)  
SPEED LIMIT = 50 MPH

MINIMUM DRIVEWAY  
SPACING = 425'

PRELIMINARY

FOR REVIEW ONLY

THESE DOCUMENTS ARE FOR  
REVIEW ONLY AND NOT  
INTENDED FOR CONSTRUCTION,  
BIDDING, OR PERMITTING. THEY  
HAVE BEEN PREPARED BY OR  
UNDER THE SUPERVISION OF:

Engineer: DAVID A. GREER

P.E. No. 109928 Date 02/26/16

AMERICAN TOWER CORPORATION  
8321 DAVIS BLVD.  
NORTH RICHLAND HILLS, TEXAS

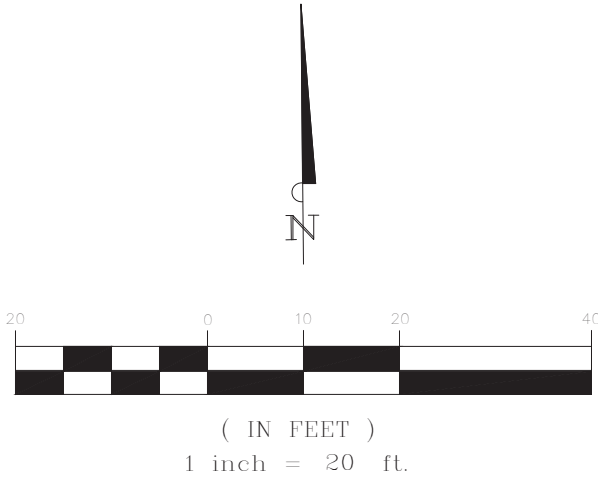
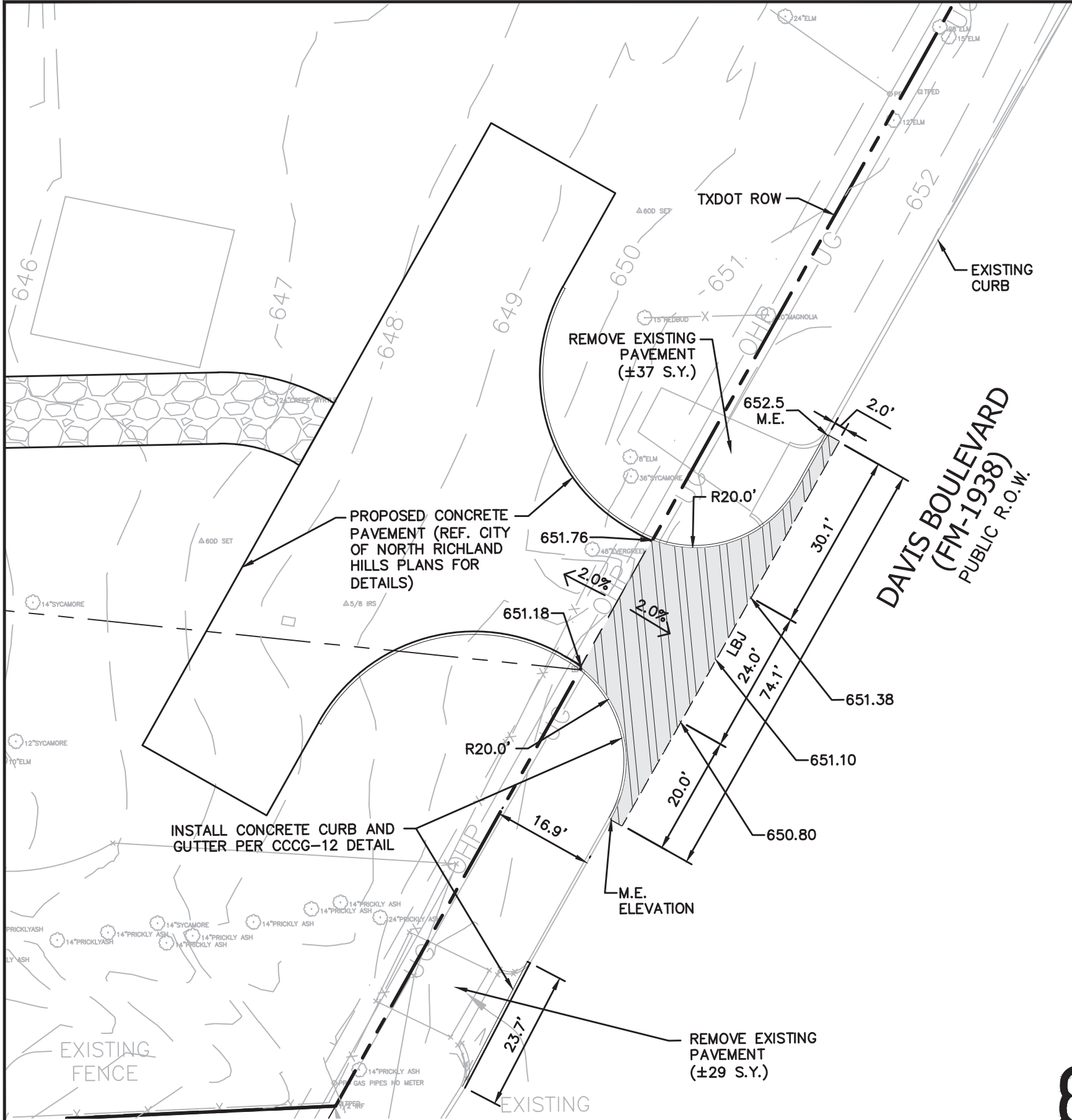
OVERALL SITE PLAN

No.	Date	Revision	Description

SHEET NO.

C-2.0

PROJECT NO.: 058-15-03



**LEGEND**

	CONCRETE PAVEMENT TO MATCH EXISTING SECTION
LBJ	LONGITUDINAL BUTT JOINT
649	EXISTING CONTOUR
651.38	PROPOSED SPOT ELEVATION

**NOTES**

1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. ALL WORK WITHIN THE FM 1938 RIGHT OF WAY TO BE PER TXDOT PERMIT.
3. ALL SPOT ELEVATIONS ARE TO TOP OF PAVEMENT (GUTTER LINE) UNLESS OTHERWISE NOTED. ADD 0.5' FOR TOP OF CURB.



Know what's below.  
Call before you dig.  
(@ least 48 hours prior to digging)

**PRELIMINARY**

FOR REVIEW ONLY

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Engineer: DAVID A. GREER

P.E. No. 109928 Date 02/26/16

**BANNISTER**  
ENGINEERING  
240 N. Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax  
REGISTRATION # F-10599 (TEXAS)

AMERICAN TOWER CORPORATION  
8321 DAVIS BLVD.  
NORTH RICHLAND HILLS, TEXAS

PAVING AND GRADING PLAN

No.	Date	Revision Description

SHEET NO.

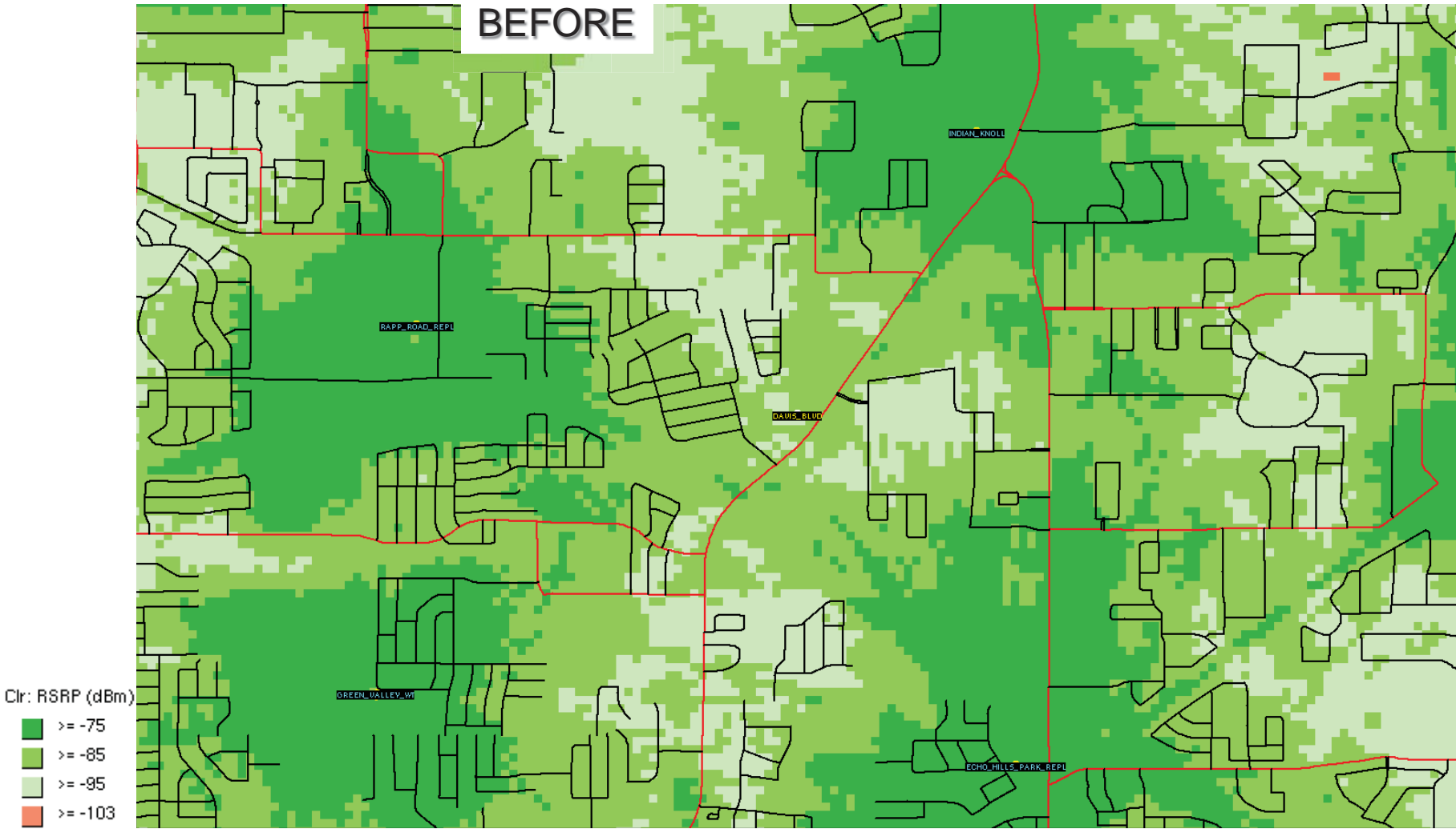
**C-2.1**

PROJECT NO.: 058-15-03



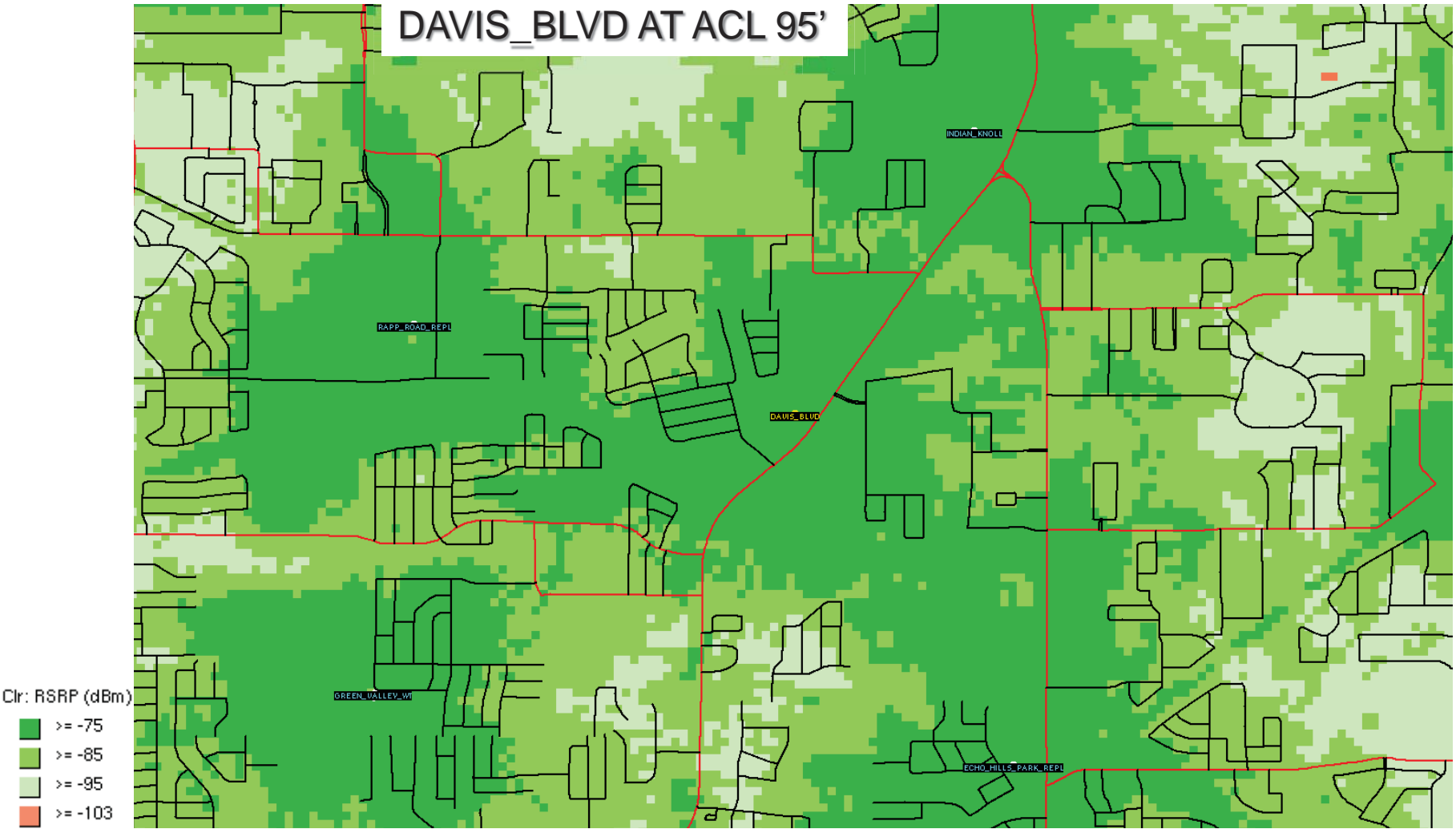


# DAVIS\_BLV





# DAVIS\_BLV





February 16, 2016

David Greer, P.E.  
Bannister Engineering, LLC  
240 N. Mitchell Road  
Mansfield, Texas 76063

(220) Review  
10-REV-22-16  
FM 1938 Control 1978 Section 1

REFERENCE: AMERICAN TOWER CORPORATION  
**2<sup>nd</sup> REVISED CONCEPT PLAN REVIEW COMMENTS**  
FM 1938 (West Right of Way) approximately  
2,000' South of North Tarrant Parkway  
North Richland Hills, Texas

Dear Mr. Greer:

The Texas Department of Transportation, North Tarrant County Area Office and the District Access Management Committee have reviewed the 2nd Revised Concept Plans for the project at the above-mentioned location in North Richland Hills, Texas. They offer the following comments.

This office has reviewed the Concept Permit plan at the above mentioned location and presented the variance request to the Access Management Committee on 2/10/16. The committee approved the variance request as submitted. Please submit the permit application as per the permit guidelines for further review and approval.

If you have any questions concerning this review, please contact our office at (817) 399-4306.

Please remit 4 hard copy sets of fully developed permit plan in 11 x 17 format, prepared in accordance with the attached Permit Plan Guidelines, to facilitate further review and consideration of the requested permit.