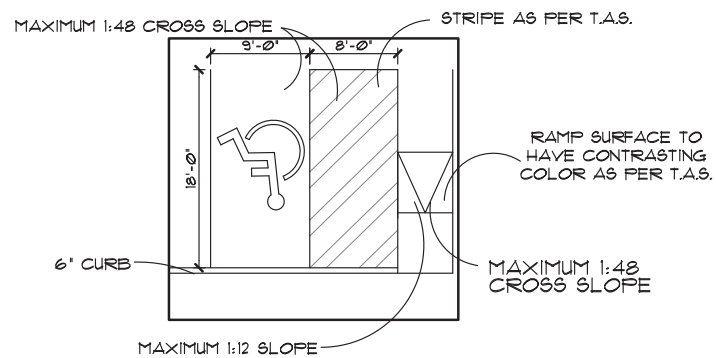


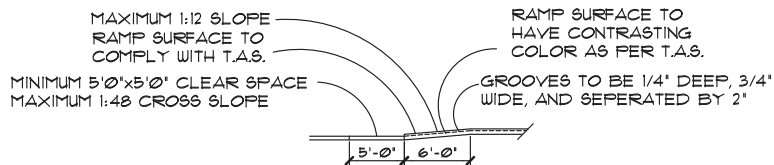
AREAS	SQ. FT.
FIRST FLOOR (A/C)	3350
SECOND FLOOR (A/C)	871
TOTAL (A/C)	4421
PORCHES	46
STORAGE	81
MECH ROOM	129
TOTAL COVERAGE	4667

SITE PLAN DATA SUMMARY CHART	
LOT AREA	23,626 SQ.FT.
TOTAL BLDG. SQ.FT. COVERAGE	4,671 SQ.FT.
TOTAL BLDG. (A/C) SQ.FT.	4,421 SQ.FT.
BUILDING DENSITY	19.79%
BUILDING HEIGHT	25'5"
LANDSCAPE REQUIRED	3,544 SQ.FT. (15%)
LANDSCAPE PROVIDED	8,226 SQ.FT. (35%)
PAVING PROVIDED	9,521 SQ.FT. (40%)
PARKING REQUIRED PROF. OFFICE (4,421 SF. @ 1/300)	15 SPACES
PARKING PROVIDED	15 SPACES

NOTE:
NO REFUSE CONTAINER PROVIDE ON SITE.
TENANTS TO COLLECT AND DISPOSE OF
ALL REFUSE WITH PRIVATE CLEANING SERVICE.



2 HANDICAP PARKING SPACE
1/8"=1'-0"



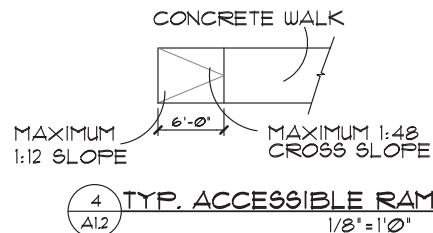
3 TYP. SECTION THRU INT. HANDICAP RAMP
1/8"=1'-0"

PARKING & PASSENGER LOADING ZONES

- NOTE:
- ACCESSIBLE PARKING SPACES SHALL BE AT LEAST 96" WIDE
 - PARKING ACCESS AISLES SHALL BE PART OF AN ACCESSIBLE ROUTE TO THE BUILDING OR FACILITY ENTRANCE AND SHALL COMPLY WITH 2012 T.A.S.
 - TWO ACCESSIBLE PARKING SPACES MAY SHARE A COMMON ACCESS AISLE. COMPLY WITH 2012 T.A.S.
 - PARKED VEHICLE OVERHANGS SHALL NOT REDUCE THE CLEAR WIDTH OF AN ACCESSIBLE ROUTE.
 - PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACES SLOPES NOT EXCEEDING 1:48 (2%) IN ALL DIRECTIONS

ACCESSIBLE ROUTES SLOPES

- NOTE:
- AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 1:20 IS A RAMP AND SHALL COMPLY WITH 2012 T.A.S.
 - NOWHERE SHALL ANY SLOPE EXCEED 1:48 AND SHALL COMPLY WITH 2012 T.A.S.



4 TYP. ACCESSIBLE RAMP
1/8"=1'-0"

REVISION OF
D TRACT A, BLOCK 4,
S AND TR. A, BLOCK 2
TWOOD ESTATES
388-108, PG. 81,
P.R.T.C.T.

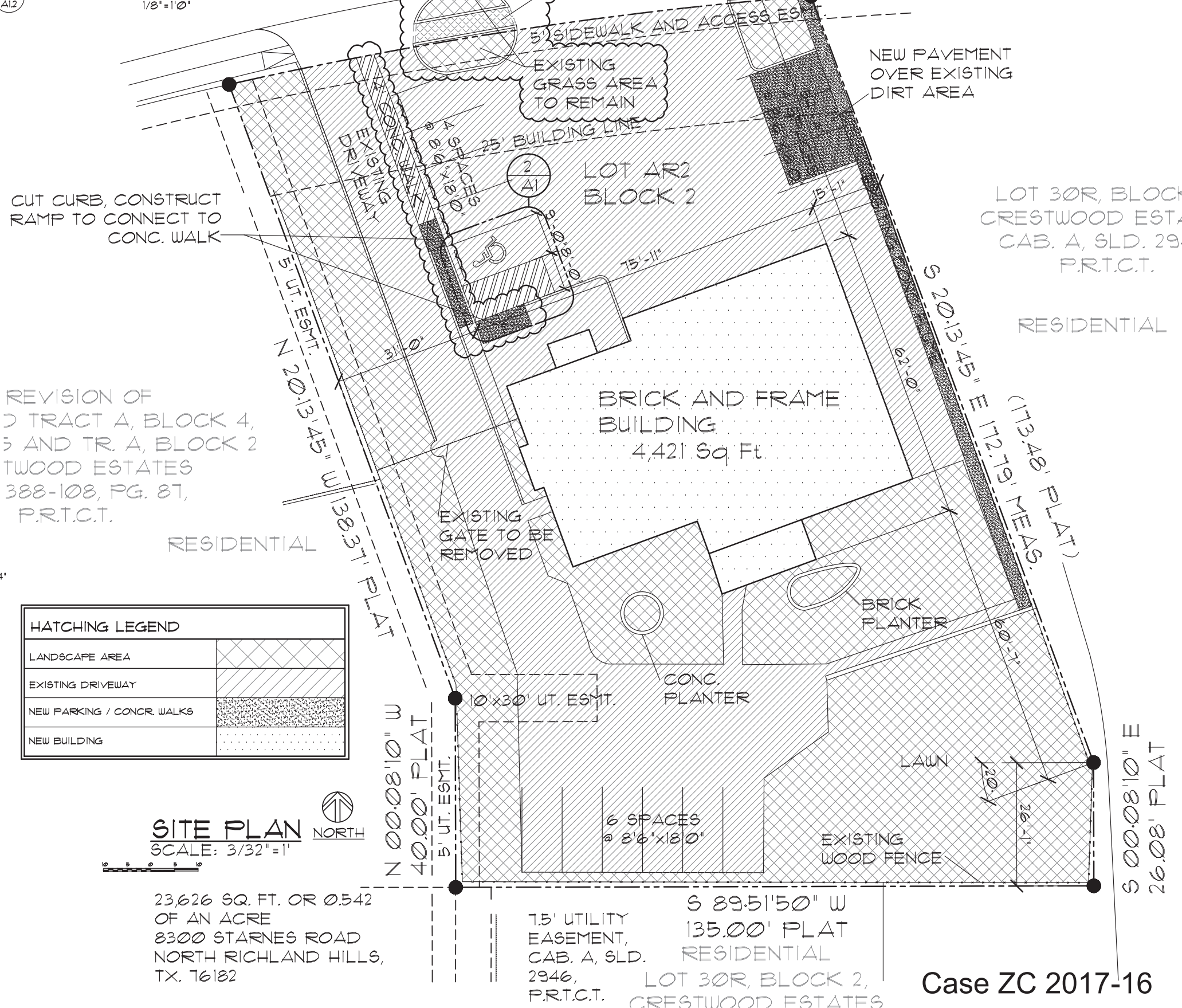
HATCHING LEGEND	
LANDSCAPE AREA	[Hatched pattern]
EXISTING DRIVEWAY	[Hatched pattern]
NEW PARKING / CONCR. WALKS	[Hatched pattern]
NEW BUILDING	[Hatched pattern]

SITE PLAN NORTH
SCALE: 3/32"=1'

23,626 SQ. FT. OR 0.542
OF AN ACRE
8300 STARNES ROAD
NORTH RICHLAND HILLS,
TX. 76182

(VARIABLE WIDTH RIGHT-OF-WAY)
STARNES ROAD
Δ=8.1137" R=871.65' L=124.65'
CB=N81°21'59"E CD=124.54'

EXISTING CURB TO BE CUT, STONE
PAVERS TO BE REMOVED AND
REPLACED WITH CONCRETE TO BE
LEVEL WITH ADJACENT PAVEMENT.



LOT 30R, BLOCK
CRESTWOOD EST,
CAB. A, SLD. 29
P.R.T.C.T.

RESIDENTIAL

Date 01/28/18
Drawn By M.J.W.
Checked By M.J.W.
Revisions

THIS ELECTRONIC DRAWING FILE IS RELEASED UNDER THE AUTHORITY OF THE ARCHITECT'S SEAL AND SIGNATURE. THE ORIGINAL FILE, THIS ELECTRONIC DRAWING FILE MAY BE USED AS A BACKGROUND DRAWING. PERMIT TO REUSE (1) OF THE SEAL AND REGULATIONS OF THE ARCHITECTURE BOARD OF TEXAS. THE ARCHITECT ASSUMES ALL RESPONSIBILITY FOR ANY MODIFICATIONS TO OR USE OF THIS DRAWING FILE THAT IS IN ACCORDANCE WITH THE REQUIREMENTS OF THE ARCHITECTURE BOARD OF TEXAS. NO PERSON MAY MAKE ANY MODIFICATION TO THIS ELECTRONIC DRAWING FILE WITHOUT THE ARCHITECT'S EXPRESS WRITTEN PERMISSION.

URBANLOGY OFFICES
8300 STARNES RD
NORTH RICHLAND HILLS, TX



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OFFICE: 817/268-5555 M.J.W@MWRIGHT.COM
FAX: 817/268-5558 WWW.MJWRIGHT.COM



Sheet No.

A1

Project No.
17065URB

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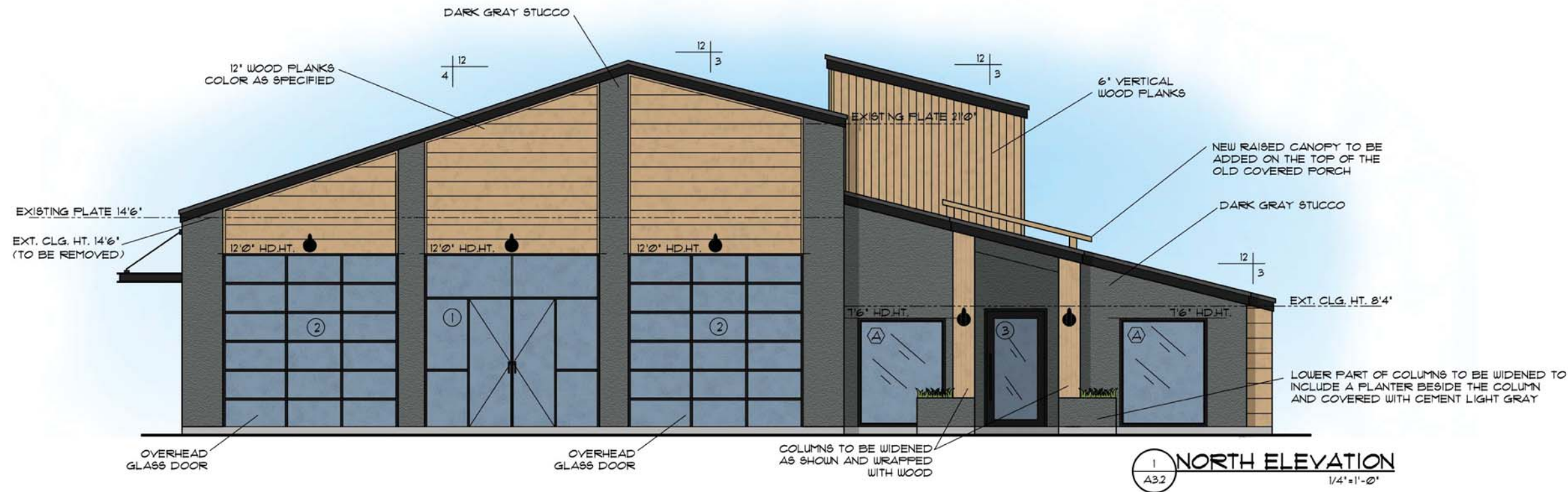
Case ZC 2017-16

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 8300 STARNES RD
 NORTH RICHLAND HILLS, TX



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 817/268-5558 WWW.MJWTWRIGHT.COM
 FAX: 817/268-5558



MASONRY CALCULATIONS - FRONT ELEVATION

WALL AREA	OPENING AREA	WALL WITHOUT OPENINGS	10% MASONRY REQUIRED	MASONRY PROVIDED	%	30% STUCCO ALLOWED	STUCCO PROVIDED	%	15% ACCENT ALLOWED	ACCENT PROVIDED	%
1382#	546#	836#	585#	0#	0%	251#	407#	49%	207#	429#	51%

- LIST OF VARIANCES:
1. THE BRICK IN THE FRONT ELEVATION WILL BE COVERED WITH DARK GRAY STUCCO.
 2. THE EXISTING WOOD IN THE FRONT AND RIGHT ELEVATION WILL BE REPLACED WITH 12" WOOD FLANKS. ADDITIONALLY, THE EXISTING WOOD ON MASS AT THE RIGHT SIDE OF THE BUILDING WILL BE REPLACED WITH 6" FLANKS.
 3. BRICK ON THE REMAINING ELEVATIONS WILL BE PAINTED BLACK.
 4. THE MASONRY PERCENTAGES WILL BE AS DEPICTED IN THE MASONRY CALCULATION CHART BELOW EACH ELEVATION.

NOTE: ALL EXISTING EXTERIOR LIGHT FIXTURES TO BE REPLACED. ALL NEW LIGHT FIXTURES INSTALLED ARE TO MEET CODE BY CITY OF NORTH RICHLAND HILLS.



MASONRY CALCULATIONS - RIGHT ELEVATION

WALL AREA	OPENING AREA	WALL WITHOUT OPENINGS	10% MASONRY REQUIRED	MASONRY PROVIDED	%	30% STUCCO ALLOWED	STUCCO PROVIDED	%	15% ACCENT ALLOWED	ACCENT PROVIDED	%
848#	84#	764#	535#	334#	44%	229#	66#	9%	115#	347#	45%

Date 11/28/17
 Drawn By MJW
 Checked By MJW
 Revisions

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MASONRY CALCULATIONS - LEFT ELEVATION

WALL AREA	OPENING AREA	WALL WITHOUT OPENINGS	70% MASONRY REQUIRED	MASONRY PROVIDED	%	30% STUCCO ALLOWED	STUCCO PROVIDED	%	15% ACCENT ALLOWED	ACCENT PROVIDED	%
807#	119#	688#	482#	524#	76%	206#	0#	0%	103#	164#	24%

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 3. BRICK ON THE REMAINING ELEVATIONS WILL BE PAINTED BLACK.
 4. THE MASONRY PERCENTAGES WILL BE AS DEPICTED IN THE MASONRY CALCULATION CHART BELOW EACH ELEVATION.



MASONRY CALCULATIONS - REAR ELEVATION

WALL AREA	OPENING AREA	WALL WITHOUT OPENINGS	70% MASONRY REQUIRED	MASONRY PROVIDED	%	30% STUCCO ALLOWED	STUCCO PROVIDED	%	15% ACCENT ALLOWED	ACCENT PROVIDED	%
1334#	198#	1136#	795#	944#	83%	341#	0#	0%	170#	192#	17%

Case SP 2017-06

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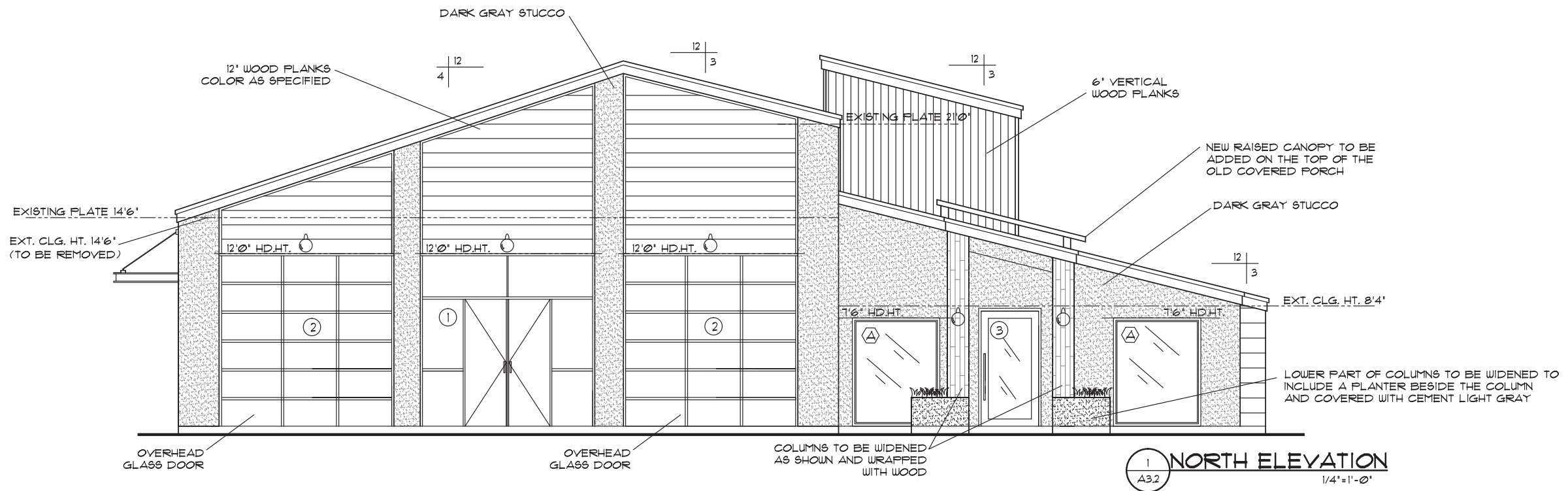
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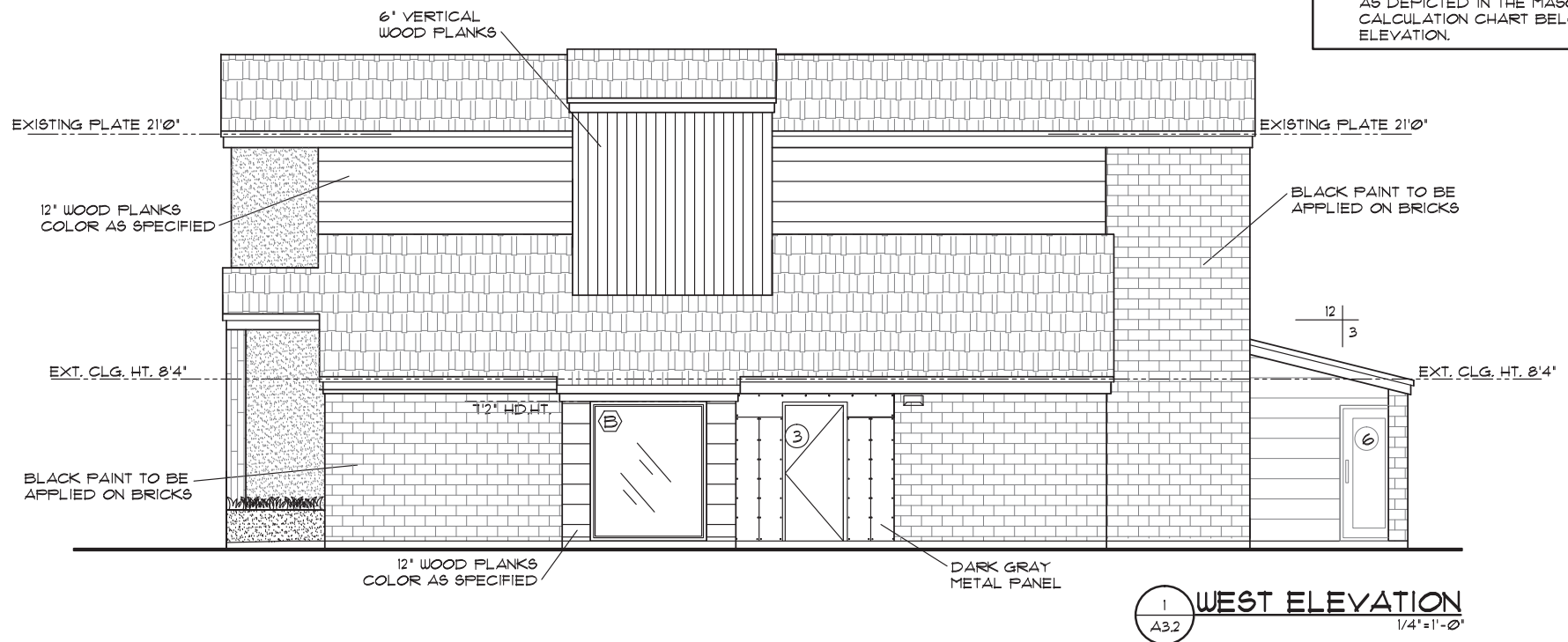


MASONRY CALCULATIONS - FRONT ELEVATION

WALL AREA	OPENING AREA	WALL WITHOUT OPENINGS	10% MASONRY REQUIRED	MASONRY PROVIDED	%	30% STUCCO ALLOWED	STUCCO PROVIDED	%	15% ACCENT ALLOWED	ACCENT PROVIDED	%
1382#	546#	836#	585#	0#	0%	251#	407#	49%	207#	429#	51%

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MASONRY CALCULATIONS - RIGHT ELEVATION

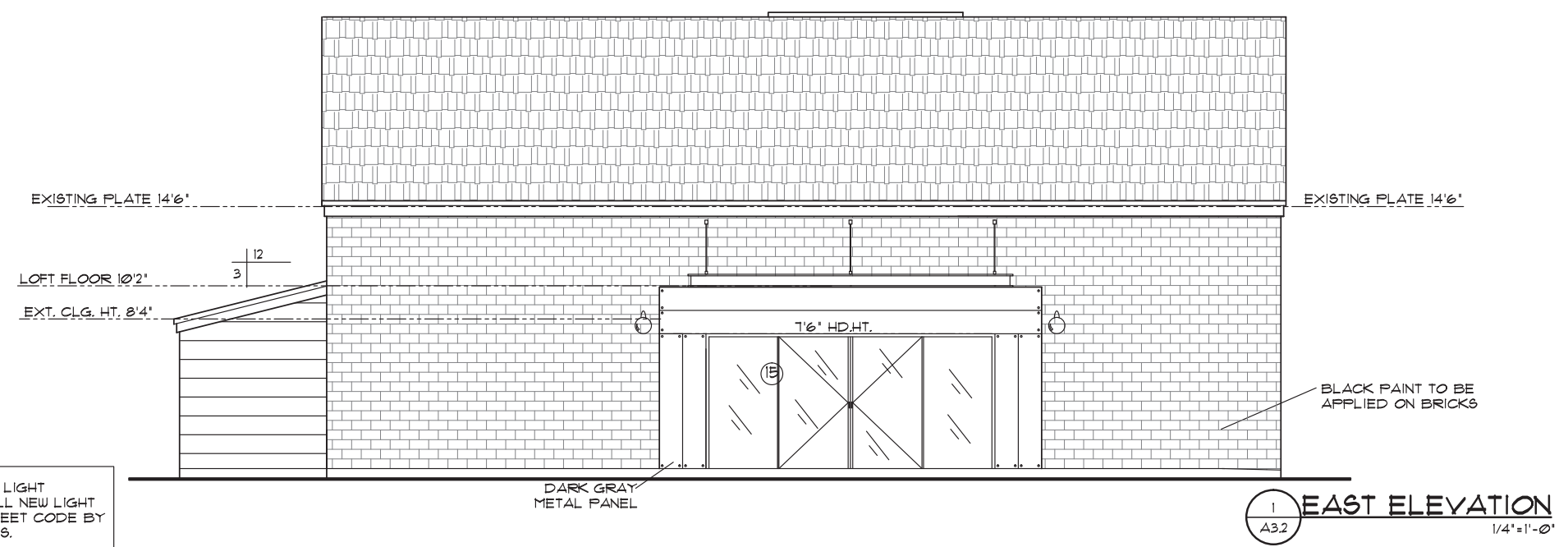
WALL AREA	OPENING AREA	WALL WITHOUT OPENINGS	10% MASONRY REQUIRED	MASONRY PROVIDED	%	30% STUCCO ALLOWED	STUCCO PROVIDED	%	15% ACCENT ALLOWED	ACCENT PROVIDED	%
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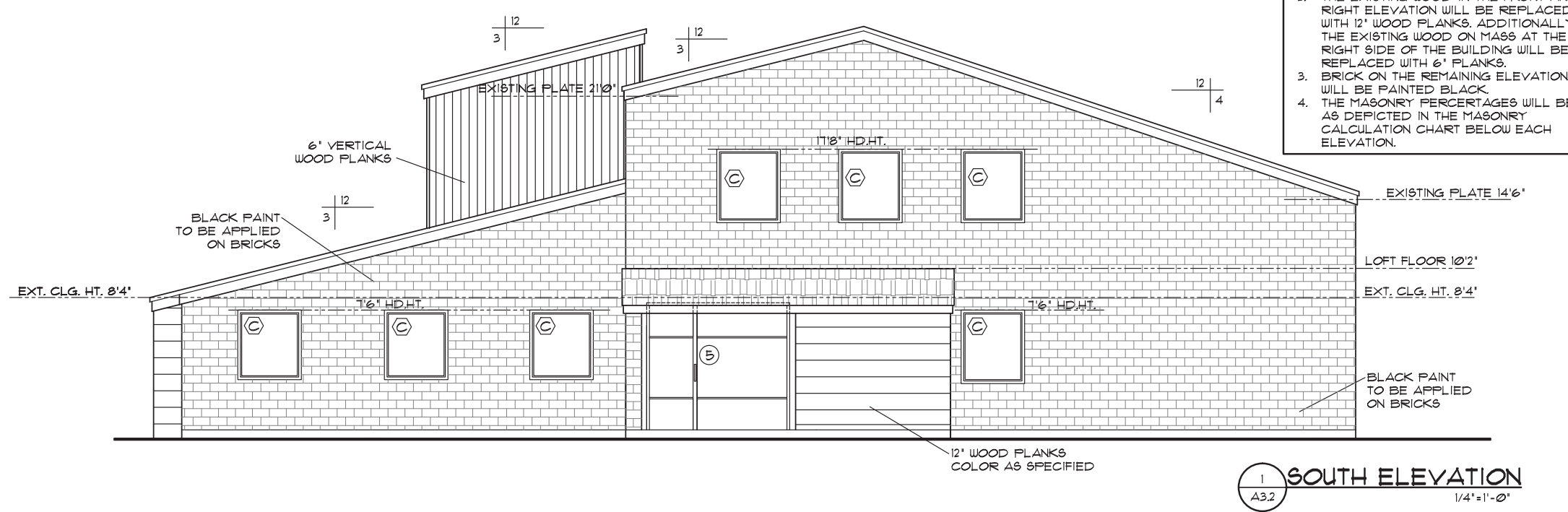
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MASONRY CALCULATIONS - LEFT ELEVATION

WALL AREA	OPENING AREA	WALL WITHOUT OPENINGS	10% MASONRY REQUIRED	MASONRY PROVIDED	%	30% STUCCO ALLOWED	STUCCO PROVIDED	%	15% ACCENT ALLOWED	ACCENT PROVIDED	%
807#	119#	688#	482#	524#	76%	206#	0#	0%	103#	164#	24%

1 EAST ELEVATION
 A3.2
 1/4"=1'-0"

- LIST OF VARIANCES:
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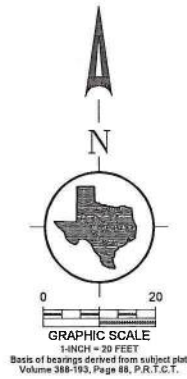


MASONRY CALCULATIONS - REAR ELEVATION

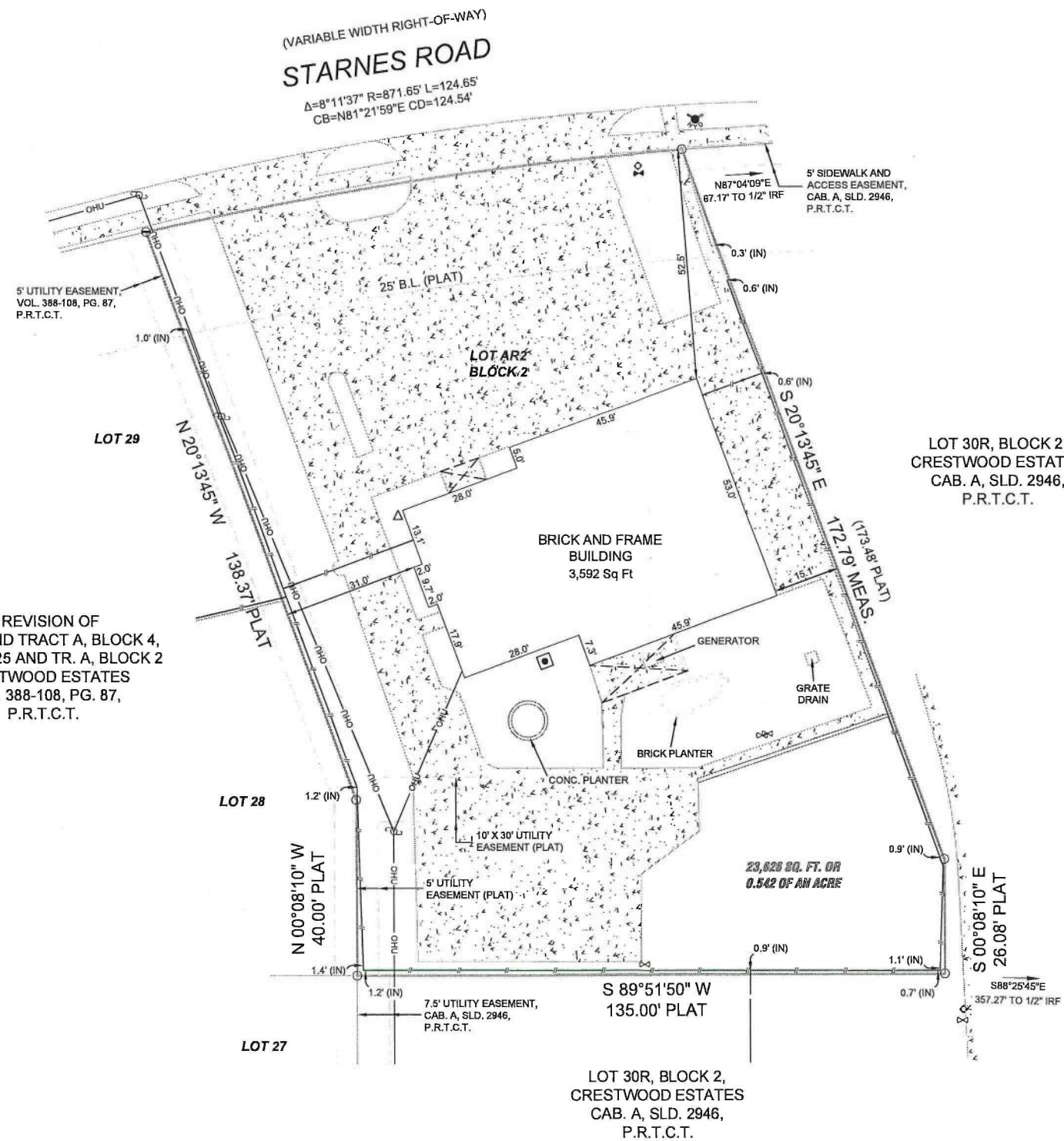
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1334#	198#	1136#	795#	944#	83%	341#	0#	0%	170#	192#	17%

1 SOUTH ELEVATION
 A3.2
 1/4"=1'-0"

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A REVISION OF
LOT 44 AND TRACT A, BLOCK 4,
AND LOT 25 AND TR. A, BLOCK 2
CRESTWOOD ESTATES
VOL. 388-108, PG. 87,
P.R.T.C.T.



LEGAL DESCRIPTION

Being Tract AR2, Block 2, of CRESTWOOD ESTATES, an Addition to the City of North Richland Hills, Tarrant County, Texas, according to the map or plat thereof recorded in Volume 388-193, Page 88, of the Plat Records of Tarrant County, Texas.

SURVEYOR'S CERTIFICATION

I, John S. Turner, Registered Professional Land Surveyor No. 5310, do hereby certify to Urbanology Designs and/or its assigns, Seacoast Commerce Bank, City of North Richland Hills, Texas, Morgan Realty, and Fidelity National Title Insurance Company, in connection with G. F. NO. 17-08482-051, that the plat shown hereon was prepared from and represents accurately a survey made, on the ground, under my direction and supervision. Significant improvements to the property are as shown hereon. Visible evidence of use of the subject property found on the ground is shown hereon. EXCEPT AS SHOWN, there were no visible and apparent easements, encroachments or protrusions of significant improvements across subject property lines found on the ground. Visible and apparent conflicts with boundaries of adjacent properties found on the ground (if any) are as shown hereon. The area of the property as shown hereon is correct. The property has contiguous or common lines with streets and alleys where shown hereon. This survey was compiled from recorded plats and/or deeds and other records, in conjunction with field measurements and significant and visible monumentation and evidence of boundaries found on the ground. According to the Community Panel No. 48439C 0090K of the Federal Emergency Management Agency flood insurance rate map or flood hazard boundary map dated 09-25-2009. The property shown hereon is located in Zone "X". (This information is protracted from F.I.R.M.)

This survey was performed exclusively for the parties in connection with the G. F. number shown hereon and is licensed for a single use. This survey remains the property of the Surveyor. Unauthorized reuse is not permitted without the expressed written permission of the Surveyor. This survey is an original work protected by United States Copyright law and international treaties. All rights reserved. Do not make illegal copies.

Please note that the use of the word "CERTIFY" or "CERTIFICATE" used hereon constitutes an expression of professional opinion regarding those facts or findings which are the subject of the certification, and does not constitute a warranty or guarantee, either expressed or implied.



NOTE: All 1/2" IRS are 1/2-inch iron rods with yellow plastic caps stamped "RPLS 5310".

LEGEND									
● 1/2" IR FOUND	⊙ X-SET	☒ TELE BOX	⊙ BOLLARD POST	⊙ UTILITY POLE	— OHU — OVERHEAD UTILITY LINE	○ PLASTIC FENCE	▒ CONCRETE	— BUILDING LINE	
○ 1/2" IR SET	⊙ X-SET	☒ CABLE BOX	⊙ LIGHT POLE	⊙ WATER METER	— GUY WIRE ANCHOR	— ASPHALT	▒ GRAVEL	— EASEMENT	
○ 5/8" IR FOUND	⊙ 1" IR FOUND	⊙ ELECTRIC BOX	⊙ SAN SEW MH	⊙ GAS METER	— BARBED WIRE FENCE	— FIRE LANE STRIPE	▒ BRICK	— BOUNDARY	
○ 3/8" IR FOUND	⊙ 1" IP FOUND	☒ BRICK COLUMN	⊙ IRRIGATION VALVE	⊙ A.C. PAD	— IRON FENCE	— BRICK RET. WALL	▒ STONE	— HIGHWAY LINE	
● 60 D NAIL FOUND	— POINT FOR CORNER	☒ STONE COLUMN	⊙ WATER VALVE	☒ TRANS BOX	— CHARLIEK FENCE	— STONE RET. WALL	▒ WOOD DECK	— PARKING STRIPE	
⊙ PK NAIL SET	☒ CON. MONUMENT	⊙ STORM DRAIN MH	⊙ FIRE HYDRANT	☒ POOL EQUIP	— WOOD FENCE	— CON. RET. WALL	▒ BUILDING WALL	— HANDICAP SPACE	
⊙ 1/2" IP FOUND	⊙ 3/4" IP FOUND	⊙ SAN SEW CO.	⊙ IR VALVE		— PIPE RAIL FENCE	▒ NO PARKING	▒ TILE		

8300 STARNES ROAD
NORTH RICHLAND HILLS, TEXAS

A&W SURVEYORS, INC.
Professional Land Surveyors
TEXAS REGISTRATION NO. 100174-60
P.O. BOX 870029, MESQUITE, TX. 75187
PHONE: (972) 681-4975 FAX: (972) 681-4954
WWW.AWSURVEY.COM



Gateway
CHURCH

To Whom It May Concern:

This letter is to state Gateway Church, North Richland Hills, gives permission to Ginger Curtis to use the campus parking lot as overflow parking. This is a case by case agreement contingent upon Gateway's event calendar and approval from the Campus Pastor of Gateway Church, North Richland Hills.

Thank you,

Josh Hall
Associate Campus Pastor
Gateway Church | North Richland Hills

MINISTRY HEADQUARTERS

500 S Nolen, Suite 300 | Southlake, TX 76092
817.328.1000 | gatewaypeople.com