







(A) LOT AREA (ENTIRE SITE)	170,989 S.F. / 3,925 AC.
(B) SETBACK REQUIRED BY ZONING	
FRONT BUILDING LINE	25' FRONT B.L.
SIDE BUILDING LINE	35' SIDE B.L.
REAR BUILDING LINE	35' REAR B.L.
(C) ZONING	
CURRENT	O-1
PROPOSED	O-1
(D) PARKING SUMMARY	
OFFICE SPACE (1 SPACE / 250 SF : 0.000 SF)	X SPACES
MEDICAL SPACE (1 SPACE / 200 SF : 0.000 SF)	X SPACES
(E) OPEN SPACE (DEVELOPED AREA)	
LANDSCAPE AREA REQUIRED	25,648 S.F. (15%)
LANDSCAPE AREA PROVIDED	70,613 S.F. (41%)
IMPERVIOUS COV. EX. BLDG.	65,132 S.F. (39%)
IMPERVIOUS COV. INC. BLDG.	100,376 S.F. (59%)
BUILDING TOTAL COVERAGE	35,244 S.F. (20%)
(F) BUILDING HEIGHT - BLDG 1	23'-11"
(G) PROPOSED USE	
BUILDING 1	TBD
BUILDING 2	TBD
BUILDING 3	TBD
BUILDING 4	TBD
BUILDING 5	TBD
BUILDING 6	TBD

HATCH LEGEND

PROPOSED CONCRETE	
PROPOSED 24" CON. FIRELANE	
PROPOSED LANDSCAPE	
PROPOSED BUILDING AREA	

SITE PLAN NOTES

1. ALL DEBRIS AND MATERIALS TO BE REMOVED ON A REGULAR BASIS
2. PROTECT EXISTING LANDSCAPING AND ITEMS TO REMAIN AND REQUIRED DURING CONSTRUCTION
3. REFER TO GENERAL NOTES AND BALANCE OF DRAWINGS FOR ADDITIONAL INFORMATION.
4. REFER TO CIVIL DRAWINGS FOR CONCRETE SIDEWALK.
5. REFER TO ELECTRICAL DRAWINGS FOR SITE LIGHTING LOCATIONS.
6. REFER TO CIVIL DRAWINGS FOR NEW CURB CUTS FOR NEW DRIVEWAY.
7. THE EXTERIOR LIGHTING DEPICTED ON THE SITE PLAN MUST COMPLY WITH THE REQUIREMENTS OF THE CITY OF NORTH RICHLAND HILLS ZONING ORDINANCE.

PARKING & PASSENGER LOADING ZONES

1. ACCESSIBLE PARKING SPACE SHALL BE AT LEAST 96" WIDE
2. PARKING ACCESS AISLES SHALL BE PART OF AN ACCESSIBLE ROUTE TO THE BUILDING OR FACILITY ENTRANCE AND SHALL COMPLY WITH T.A.S.
3. TWO ACCESSIBLE PARKING SPACE MAY SHARE A COMMON ACCESS AISLE TO COMPLY WITH T.A.S.
4. PARKED VEHICLE OVERHANGS SHALL NOT REDUCE THE CLEAR WIDTH OF AN ACCESSIBLE ROUTE.
5. PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACES SLOPES NOT EXCEEDING 1:48.

ACCESSIBLE ROUTES SLOPES

1. AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 1:20
2. NOWHERE SHALL ANY SLOPE EXCEED 1:48 AND SHALL COMPLY WITH T.A.S.

ACCESSIBLE ROUTE LOCATION

1. AT LEAST ONE ACCESSIBLE ROUTE WITHIN THE BOUNDARY OF THE SITE SHALL BE PROVIDED FROM PUBLIC TRANSPORTATION STOPS, ACCESSIBLE PARKING AND ACCESSIBLE PASSENGER LOADING ZONES, AND PUBLIC STREETS OR SIDEWALKS TO THE ACCESSIBLE BUILDING ENTRANCE THEY SERVE. THE ACCESSIBLE ROUTE SHALL, TO THE MAXIMUM EXTENT FEASIBLE, COINCIDE WITH THE ROUTE FOR THE GENERAL PUBLIC.
2. ALL LOCATIONS OF ACCESSIBLE ROUTES SHALL COMPLY WITH T.A.S.

THIS ELECTRONIC DRAWING FILE IS RELEASED UNDER THE AUTHORITY OF THE ARCHITECTS' BOARD. THIS ELECTRONIC DRAWING FILE MAY BE MAINTAINED AS THE ORIGINAL FILE. THIS ELECTRONIC DRAWING FILE MAY BE USED AS A BACKGROUND DRAWING. PURSUANT TO RULE 1.103 (I) OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS, THE USER OF THIS ELECTRONIC DRAWING FILE AGREES TO ASSUME ALL RESPONSIBILITY FOR ANY MODIFICATION TO OR USE OF THIS DRAWING FILE IN ACCORDANCE WITH THE REQUIREMENTS OF THE RULES AND REGULATIONS OF THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS. NO PERSON MAY MAKE ANY MODIFICATION TO THIS ELECTRONIC DRAWING FILE WITHOUT THE ARCHITECT'S EXPRESS WRITTEN PERMISSION.

THE HILLS AT DAVIS PARK
SHELL BUILDING 1
8310 & 8320 DAVIS BLVD.
N. RICHLAND HILLS, TX 76111

LEGACY
A-D-P-R

FOR INTERIM
NOT FOR REGULATORY
PERMIT OR CONSTRUCTION

ARCHITECT FER
TX. REGISTRATION #26463
DATE 02/14/25

DRAWN: W.V.
CHECKED BY: F.E.R.

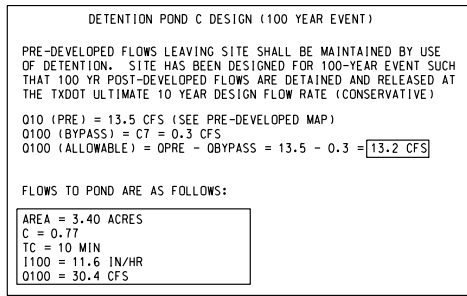
DATE	ISSUED FOR
02/14/25	REVIEW

© COPYRIGHT 2025

SHEET

A1.0
24053PLT

24053PLT



DETENTION POND ELEVATION VS. VOLUME	
ELEVATION ABOVE DATUM (FT.)	VOLUME CU FT
644.50 (POND BOTTOM)	0
645	55.3
646	3299
647	7253
648	12620
649	19545
$\frac{649-648}{19545-12620} = \frac{x-648}{14839-12620}$ $x = 648.32$	
HEAD IN POND 648.32 - 644.50 = 3.82'	

MAX RELEASE RATE = 13.2 CFS
STORAGE REQUIRED = 14839 CF

OUTFALL STRUCTURE IS A 16" DIA. ORIFICE BUILT INTO
A 4' Y-INLET (WEIR OPENING) (SEE CALCS):

Q = CA $\sqrt{2GH}$
C = 0.60
A = 1.39 SQ. FT.
G = 32.2
H = (3.82') - 0.5(1.33') = 3.16'

Q = 11.9 CFS

$$Q_{100} = 11.9 + 0 = 11.9 \text{ CFS} < 13.2 \text{ CFS (OK)}$$

STORMWATER DETENTION WORKSHEET

HAMILTON HILLS, PC

PROJECT NAME: THE HILLS AT DAVIS PARK - NRH

SUB AREAS TOTAL AREA COMBINED FLOW

TOTAL VOLUME CALCULATIONS

EXISTING CONDITIONS: (100 YR)

RUNOFF COEFFICIENT (c)

TIME OF CONCENTRATION (hrs)

RAINFALL INTENSITY (i)

AREA (A acres)

DISCHARGE (Q)

0.5

10 mins

7.9 n/hr

3.41 acres

13.5 cfs

PROPOSED CONDITIONS: (100 YR)

RUNOFF COEFFICIENT (c)

TIME OF CONCENTRATION (hrs)

RAINFALL INTENSITY (i)

AREA (A acres)

DISCHARGE (Q)

0.77

10 mins

11.6 n/hr

3.4 acres

30.4 cfs

MAXIMUM PERMISSIBLE RELEASE RATE: (Qip = Q existing - MAX RUNOFF RATE LESS FREE RELEASE (IF APPLICABLE))

FREE RELEASE CALCULATION = 0.3 cfs

13.5

-

0.3

=

13.5 cfs

13.2 cfs

REQUIRED STORMWATER VOLUME

Rainfall Duration T	Rainfall Intensity I	Peak Runoff Rate Q _{ip}	Storm Runoff Volume V _s	Release Rate Q _r	Storage Volume V _s
5	14.70	38.5	11445	5926	5619
10	11.60	30.4	1821	7902	10320
15	9.60	25.1	22620	9877	12742
20	8.20	21.5	25361	11853	13809
25	7.30	19.1	28907	13828	14839
30	6.50	17.0	32571	15803	14827
40	5.40	14.1	33529	19754	14175
50	4.70	12.4	34710	23705	13209
60	4.20	11.0	35854	27656	11928
120	2.60	6.8	48009	51061	-2352
180	1.90	5.0	53121	75369	-21345
240	1.60	3.9	55940	90771	-42626
300	1.30	3.4	61121	122476	-61215
360	1.10	2.9	62204	146181	-83978

REQUIRED STORAGE VOLUME (MAX. SV: Rav =

14839 Cu. Ft.

HEAD AT POND ELEV. = 649.32 = 1' ABOVE 100 YEAR
POND SURFACE (STILL BELOW BERM)

$$0 - 3.0 \quad (1) \quad 1.5 \quad (16)$$

Q = 48 CFS (PASSES 100 YEAR UN-DETAINED EVENT)



**NOT FOR PERMITTING.
SUBJECT TO APPROVAL
BY CITY ENGINEER.**

SHEET		C1.12	
NO.	REVISION	BY	DATE
JOB		999-515	
	DATE		
	DESIGNED		
	DRAWN		
	CHECKED		
PRELIMINARY FOR REVIEW ONLY		THESE DOCUMENTS ARE FOR DESIGN REVIEW ONLY. THEY ARE NOT TO BE USED FOR BIDDING OR PERMIT PURPOSES. THEY WERE PREPARED BY, OR UNDER SUPERVISION OF, KEITH M. HAMILTON 87384	
DATE		DATE	
PE NO.		DATE	
TEXAS REGISTERED LAND SURVEYOR NUMBER 4-5260			
SITE CONSTRUCTION PLANS		THE HILLS AT DAVIS PARK CITY OF NORTH RICHLAND HILLS, TEXAS	
DETENTION POND PLAN AND PROFILE			