

5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:
Mark Date By

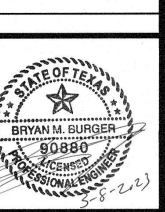
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6645 NORTHEAST LOOP 820
REMAINDER OF LOT 7, BLOCK 4
TAPP ADDITION
NORTH RICHLAND HILLS, TEXAS

STORE
SERIES
P13 LS LARGE

SHEET TITLE

SITE PLAN

For Permit
For Bid
For Construction

Job No. : 013-367

Store : 05230

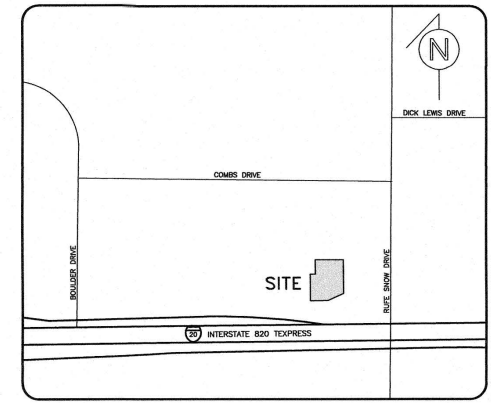
Date : 5/25/22

Drawn By : BMB

Checked By : BMB

Sheet

C-3



VICINITY MAP
N.T.S.

ZONING:	SITE DATA
LOT AREA:	C-2 (GENERAL COMMERCIAL)
	1,063.8 ACRES (46,337 S.F.)
PROPOSED USE:	ONE IN & DRIVE THRU RESTAURANT
BUILDING AREA:	5,170 S.F.
	0.11:1
PARKING REQUIRED:	1 SPACES FOR EVERY 150 S.F.
	5,170/150 = 35 SPACES
PARKING PROVIDED:	49 SPACES
	1 STORY
BUILDING HEIGHT:	6,178 S.F. (13.33%)
IMPERVIOUS AREA PROVIDED:	40,159 S.F. (86.67%)
EX. LANDSCAPE AREA:	5,269 S.F. (11.37%)

NOTES

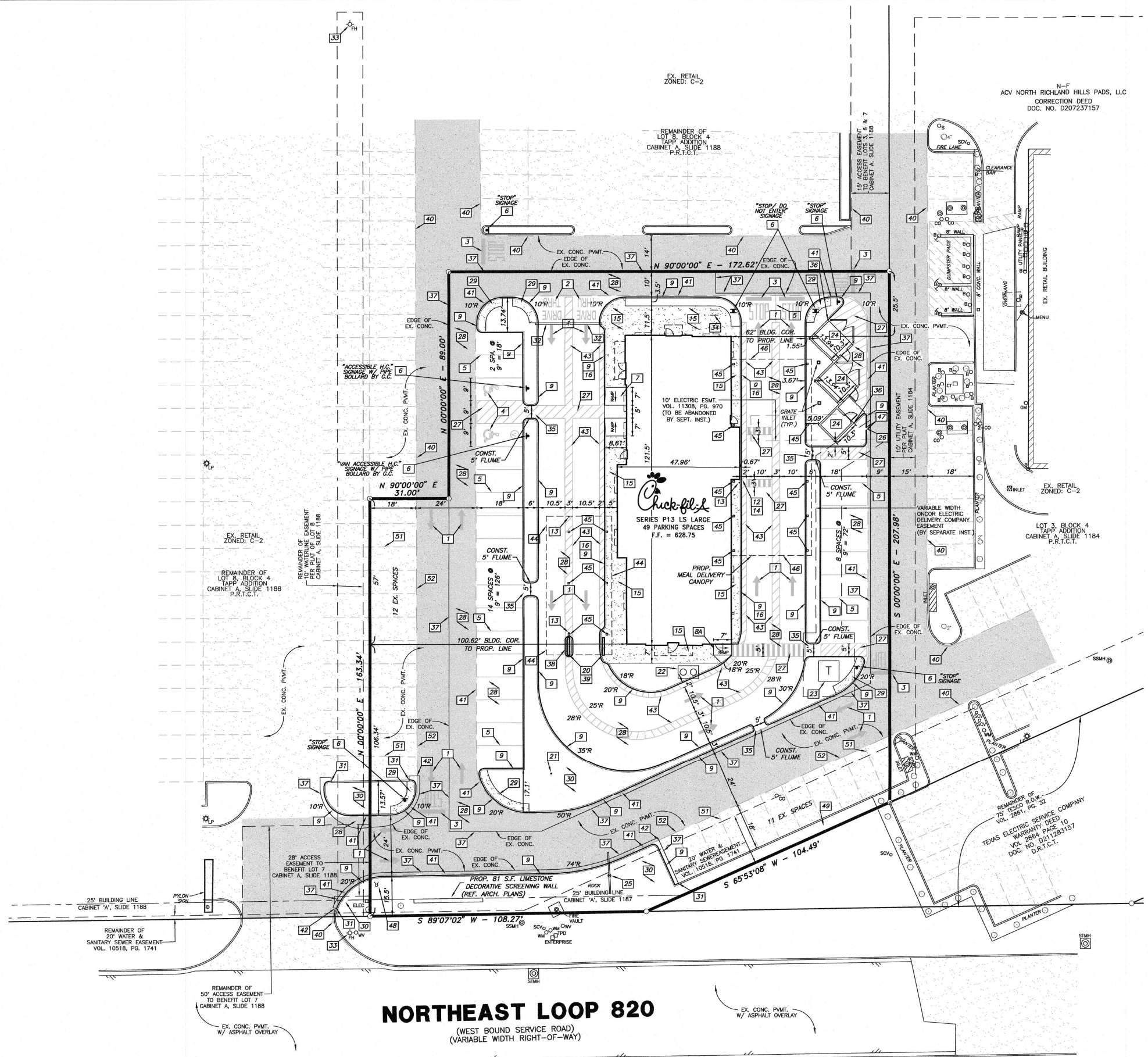
- ALL ON-SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CHICK-FIL-A SPECIFICATIONS AND/OR CITY STANDARD SPECIFICATIONS, WHICHEVER IS MORE RESTRICTIVE.
- ALL CONSTRUCTION IN CITY RIGHT-OF-WAYS AND/OR EASEMENT SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARD SPECIFICATIONS.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS AS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING THE CONSTRUCTION OF THIS PROJECT.
- IF CONTRACTOR FINDS A DISCREPANCY WITH THE TOPOGRAPHIC INFORMATION ON THESE PLANS, HE/SHE SHALL CONTACT THE CONSTRUCTION MANAGER/SUPERVISOR IMMEDIATELY.
- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, BRICK, OR AS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- ALL RADI ARE 2' UNLESS OTHERWISE NOTED.
- ALL PARKING STALLS SHALL BE STRIPED IN ACCORDANCE W/APPLICABLE GOVERNING AUTHORITIES.
- BUILDING IS PARRALLEL & PERPENDICULAR TO THE NORTH, EAST & WEST PROPERTY LINE.

LAYOUT NOTES

- | | |
|---|--|
| 1 PAINTED TRAFFIC ARROW | 27 STRIPING (SEE SHEET C-7 DETAIL 5) |
| 2 DRIVE THRU STRIPING | 28 CONCRETE PAVEMENT |
| 3 STOP BAR | 29 CONCRETE RADIUS PROTECTION |
| 4 PAINTED HANDICAP PARKING SYMBOL | 30 ADJUST EX. LANDSCAPING & IRRIGATION |
| 5 PARKING STALLS / 4" PAINTED STRIPE (WHITE - 2 COATS) | 31 MATCH LOCATION & ELEVATION OF EX. CONC. CURB |
| 6 DIRECTIONAL SIGNAGE (OTHER THAN CHICK-FIL-A SIGNS) | 32 CLEARANCE BAR (REF. SIGN PLAN) W/ MASONRY BASE BY G.C. |
| 7 CHICK-FIL-A MAIN ENTRY RAMP | 33 EXISTING FIRE HYDRANT LOCATION |
| 8 CURBED RAMP "X" - FLARED SIDES | 34 BIKE RACK (REF. ARCH. PLANS FOR DETAILS) |
| "B" - SHORT FLARED SIDES | 35 CONSTRUCT 5' FLUME |
| 9 INTEGRAL CONCRETE CURB (SEE SHEET C-7) | 36 END CURB AT DUMPSTER |
| 10 SOLID PLASTIC WHEEL STOP (NOT USED) | 37 MATCH EX. CONCRETE PAVEMENT |
| 11 TYPICAL POLE BASE (SEE SHEET ES) | 38 MULTI ORDER POINT ISLAND |
| 12 DRIVE THRU PLAN VIEW | 39 MENU BOARD LAYOUT DETAIL |
| 13 STEEL PIPE BOLLARD | 40 EX. FIRE LANE STRIPING |
| 14 DRIVE THRU ISOMETRIC VIEW | 41 PROP. FIRE LANE STRIPING |
| 15 TYPICAL SIDEWALK DETAIL | 42 MATCH EX. FIRE LANE STRIPING |
| 16 SIDEWALK ADJACENT TO CURB | 43 ORDER TAKING STRIPING DETAIL |
| 17 CONTRACTION JOINT (SEE SHEET C-7) | 44 DRIVE THRU ORDER CANOPY (REF. PLANS BY LANE SUPPLY, INC. FOR DETAILS) |
| 18 CONSTRUCTION JOINT (SEE SHEET C-7) | 45 CANOPY COLUMN CANOPY (REF. PLANS BY LANE SUPPLY, INC. FOR DETAILS) |
| 19 SEWER CLEANOUT (SEE SHEET PS-1) | 46 DRIVE THRU MEAL DELIVERY CANOPY (REF. PLANS BY LANE SUPPLY, INC. FOR DETAILS) |
| 20 MENU BOARD ORDERING STATION W/ MASONRY BASE BY G.C. | 47 TURN DOWN CURB |
| 21 FLAGPOLE - EXC. SERIES 50' POLE POG BY APPROVED VENDORS - THE FLAG CO. OR ATLAS FLAG (REFER SIGN PLAN) | 48 REMOVE F.D.C. LOCATION |
| 22 GREASE TRAP | 49 EX. LIGHT POLE |
| 23 PAD MOUNTED TRANSFORMER | 50 EX. TREE/CRAPE MYRTLE/BUSH TO REMAIN |
| 24 DUMPSTER/STORAGE AREA W/SCREEDING | 51 EX. PAINTED STRIPE TO BE REPAINTED |
| 25 CHICK-FIL-A PRIME SIGN (REF. SIGNAGE PLAN) | 52 EX. FIRE LANE STRIPING TO BE REPAINTED |
| 26 1" CURB BORDING | |



BENCHMARK - BM 1		BENCHMARK - BM 2	
ELEVATION	626.12	ELEVATION	627.96
MONUMENT	CUT "X"	MONUMENT	CUT "X"
LOCATION	ON ISLAND CURB AT THE SOUTHWEST CORNER OF PROPERTY	LOCATION	ON NOSE OF A CONC. ISLAND NEAR THE NORTHWEST CORNER OF PROPERTY
BENCHMARK - BM 3		BENCHMARK - BM 4	
ELEVATION	626.46	ELEVATION	626.07
MONUMENT	CUT "X"	MONUMENT	CUT "X"
LOCATION	ON CURB ON THE EAST SIDE OF PROPERTY	LOCATION	ON CURB NEAR THE SOUTH EAST CORNER OF PROPERTY, 2.8' NORTH OF LIGHTPOLE



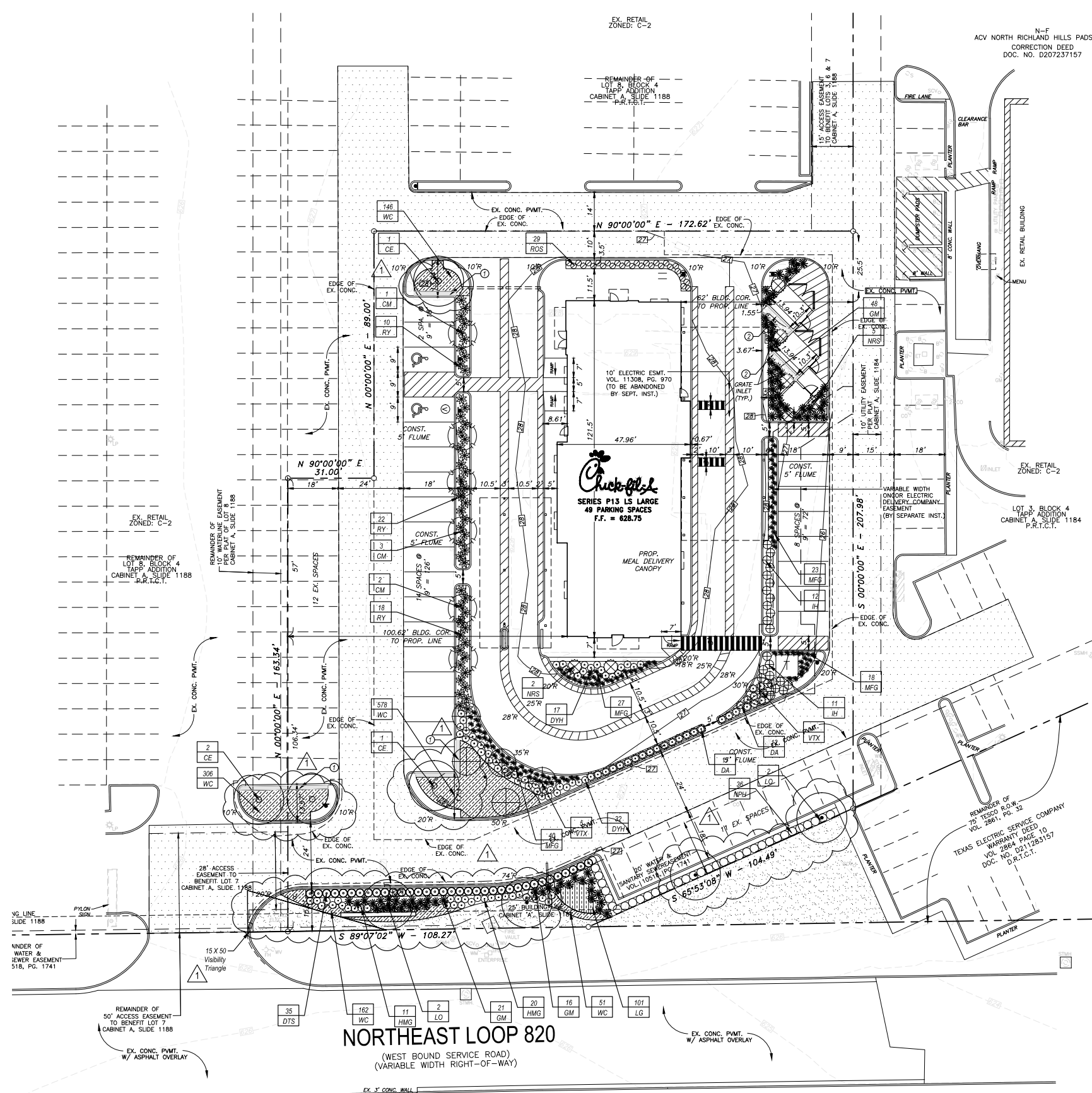
NORTHEAST LOOP 820
(WEST BOUND SERVICE ROAD)
(VARIABLE WIDTH RIGHT-OF-WAY)

APPLICANT:
CHICK-FIL-A, INC.
5200 BUFFINGTON ROAD
ATLANTA, GEORGIA 30349
PHONE: (404) 765-8000
CONTACT: GETRA THOMASON-SANDERS

ENGINEER:
BURGER ENGINEERING, LLC
TEXAS REGISTERED ENGINEERING FIRM F-12997
17103 PRESTON ROAD, SUITE 180N
DALLAS, TEXAS 75248
PHONE: (972) 630-3360
CONTACT: BRYAN M. BURGER, P.E.

BURGER ENGINEERING
Civil Consultants

17103 Preston Road, Suite 180N
Dallas, Texas 75248
Office: 972.630.3360 Fax: 972.630.3380
TBPE F-12997



LANDSCAPE NOTES

- Contractor shall verify all existing and proposed site elements and notify Architect of any discrepancies. Survey data of existing conditions was supplied by others.
- Contractor shall locate all existing underground utilities and notify Architect of any conflicts. Contractor shall exercise caution when working in the vicinity of underground utilities.
- Contractor is responsible for obtaining all required landscape and irrigation permits.
- Contractor to provide a minimum 2% slope away from all structures.
- All planting beds and lawn areas to be separated by steel edging. No steel to be installed adjacent to sidewalks or curbs.
- All landscape areas to be 100% irrigated with an underground automatic irrigation system and shall include rain and freeze sensors.
- All lawn areas to be Solid Sod Bermudagrass, unless otherwise noted on the drawings.

MAINTENANCE NOTES

- The Owner, tenant and their agent, if any, shall be jointly and severally responsible for the maintenance of all landscape.
- All landscape shall be maintained in a neat and orderly manner at all times. This shall include mowing, edging, pruning, fertilizing, watering, weeding and other such activities common to landscape maintenance.
- All landscape areas shall be kept free of trash, litter, weeds and other such material or plants not part of this plan.
- All plant material shall be maintained in a healthy and growing condition as is appropriate for the season of the year.
- All plant material which dies shall be replaced with plant material of equal or better value.
- Contractor shall provide separate bid proposal for one year's maintenance to begin after final acceptance.

LANDSCAPE TABULATIONS

SITE LANDSCAPE
Requirements: At least 15% of the total lot area shall be landscaped (Total Lot Area: 46,337 s.f.)

Required	6,950.55 s.f. (15%)	Provided	11,447 s.f.
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STREET FRONTAGE
Requirements: There shall be a 15'-0" wide landscape setback adjacent to all public street right-of-ways. The landscape setback shall contain a minimum of one (1) tree, 3" cal., per 50 Lf. of street frontage and ten (10) shrubs, 24" ht., per 50 Lf. of street frontage.

NORTHEAST LOOP 820 (212.76)

Required	(4) trees, 3" cal.	Provided	(4) trees, 3" cal.
	(43) shrubs, 24" ht.		(69) shrubs, 24" ht.

PARKING LOT SCREEN
Requirements: There shall be a minimum 30" ht. screen adjacent to the parking lot. Shrubs shall be 24" off the back of curb, a minimum 24" ht. and 36" o.c.

Required	24" ht. screen	Provided	(71) shrubs, 24" ht.
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PARKING LOT LANDSCAPE
Requirements: One (1) tree, 3" cal., per 20 parking spaces. No parking spaces shall be more than 100' from a large tree. All landscaped islands shall contain at least one (1) tree, 3" cal., and groundcover. All parking lots shall be at least 5% landscape. (Parking Lot Area: 49 spaces; 8,578 s.f.)

Required	(3) trees, 3" cal.	Provided	(3) trees, 3" cal.
	429 s.f. (5%)		670 s.f. (7.8%)

PLANT LIST

TREES	QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
1	4	LO	Live Oak	Quercus virginiana	3" cal.	container grown, 12-13" ht. min., 4-5' spread min.
	4	CE	Cedar Elm	Ulmus crassifolia	3" cal.	container grown, 12-13" ht. min., 4-5' spread min.
	6	CM	Crape Myrtle 'Watermelon Red'	Lagerstroemia sp. 'Watermelon Red'	8" ht.	container grown, 3-5 cane, no cross caning
	6	VTX	Vitex	Vitex agnes-castes	8" ht.	container grown, 3 cane, no cross caning, tree form
SHRUBS	QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
	29	DA	Dwarf Abelia 'Rose Creek'	Abelia sp. 'Rose Creek'	5 gal.	container grown, full plant specimen, 36" o.c.
	35	DTS	Dwf. Texas Sage 'Lynn's Lowery'	Leucophyllum sp. 'Lynn's Lowery'	24" ht.	container grown, full plant specimen, 36" o.c.
	49	DYH	Dwarf Yaupon Holly	Ilex vomitoria nana	5 gal.	container grown, full plant specimen, 30" o.c.
	85	GM	Gulf Muhly	Muhlenbergia capillaris	3 gal.	container grown, full plant specimen, 36" o.c.
	31	HMG	Dwarf Hamden Grass	Pennisetum sp. 'Dwarf Hamden'	3 gal.	container grown, full plant specimen, 30" o.c.
	23	IH	Indian Hawthorne 'Clara'	Raphiolepis indica 'Clara'	5 gal.	container grown, full plant specimen, 36" o.c.
	108	MFG	Mexican Feathergrass	Nassella tenuissima	3 gal.	container grown, full plant specimen, 24" o.c.
	36	NPH	Needlepoint Holly	Ilex cornuta 'Needlepoint'	24" ht.	container grown, full plant specimen, 36" o.c.
	7	NRS	Nellie R. Stevens Holly	Ilex sp. 'Nellie R. Stevens'	6" ht.	container grown, full plant specimen, full to base
	29	ROS	Rosemary 'Tuscan Blue'	Rosemaria affinis 'Tuscan Blue'	3 gal.	container grown, full plant specimen, 24" o.c.
	50	RY	Red Yucca 'Brakelights'	Hesperaloe parvifolia 'Brakelights'	3 gal.	container grown, full plant specimen, 36" o.c.
GROUNDCOVERS	QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
	101	LG	Giant Liriope	Liriope gigartea	6" pots	container, full top of container, 12" o.c.
	1244	WC	Wintercreeper Bermudagrass 'Tiffway 419'	Euonymus fortunei coloratus Cynodon dactylon 'Tiffway 419'	4" pots roll sod	container, (3) 12" runners min, 12" o.c. solid sod, refer to notes

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.

SITE DATA

ZONING:	C-2 (GENERAL COMMERCIAL)
LOT AREA:	1,0638 ACRES (46,337 S.F.)
PROPOSED USE:	DINE IN & DRIVE THRU RESTAURANT
BUILDING AREA:	5,170 S.F.
F.A.R.:	0.11:1
PARKING REQUIRED:	1 SPACES FOR EVERY 150 S.F. 5,170/150 = 35 SPACES
PARKING PROVIDED:	49 SPACES
BUILDING HEIGHT:	1 STORY
LANDSCAPE AREA PROVIDED:	6,178 S.F. (13.33%)
IMPERVIOUS AREA PROVIDED:	40,159 S.F. (86.67%)
EX. LANDSCAPE AREA:	5,269 S.F. (11.37%)

GENERAL LAWN NOTES

- Fine grade areas to achieve final contours indicated on civil plans.
- Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
- Imported topsoil shall be natural, friable soil from the region, known as bottom and soil, free from lumps, clay, toxic substances, roots, debris, vegetation, stones, containing no salt and black to brown in color.
- All lawn areas to be fine graded, irrigation trenches completely settled, and finish grade approved by the Owner's Construction Manager or Architect prior to installation.
- All rocks 3/4" diameter and larger, dirt clods, sticks, concrete spoils, etc. shall be removed prior to placing topsoil and any lawn installation.
- Contractor shall provide (1") one inch of imported topsoil on all areas to receive lawn.

SOLID SOD NOTES

- Fine grade areas to achieve final contours indicated. Leave areas to receive topsoil 3" below final desired grade in planting areas and 1" below final grade in turf areas.
- Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
- Contractor to coordinate with on-site Construction Manager for availability of existing topsoil.
- Plant sod by hand to cover indicated area completely. Insure edges of sod are touching. Top dress joints by hand with topsoil to fill voids.
- Roll grass areas to achieve a smooth, even surface, free from unnatural undulations.
- Water sod thoroughly as sod operation progresses.
- Contractor shall maintain all lawn areas until final acceptance. This shall include, but not limited to: mowing, watering, weeding, cultivating, cleaning and replacing dead or bare areas to keep plants in a vigorous, healthy condition.
- Contractor shall guarantee establishment of an acceptable turf area and shall provide replacement from local supply if necessary.
- If installation occurs between September 1 and March 1, all sod areas to be over-seeded with Winter Ryegrass, at a rate of (4) pounds per one thousand (1000) square feet.

ADDITIONAL INDICATIONS

- Decomposed Granite, 18" width, 3" depth with steel edging border and weed barrier fabric
- Native Bullock, Medium Sized, 24" width min., 3" depth with steel edging border and weed barrier fabric



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3/10/23 BCC

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L-1

APPLICANT:
CHICK-FIL-E, INC.
5200 BUFFINGTON ROAD
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01 LANDSCAPE PLAN
SCALE: 1" = 20'-0"



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SECTION 02800 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

Refer to bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

- Planting (trees, shrubs, and grass)
- Bed preparation and fertilization
- Notification of sources
- Water and Maintenance until final acceptance
- Guarantee

1.3 REFERENCE STANDARDS

- American Standard for Nursery Stock published by American Association of Nurserymen; 27 October 1990, Edition; by American National Standards Institute, Inc. (Z60.1) - plant material.
- American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
- Texas Association of Nurserymen, Grades and Standards.
- Hortis Third, 1975 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- The Contractor shall, within ten (10) days following acceptance of bid, notify the Architect/Owner of the sources of plant materials and bed preparation required for the project.
- Submit: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, and crushed rock. Samples shall be approved by Architect before use on project.
- Product Data: Submit complete product data and specifications on all other specified materials.
- Submit three representative samples of each variety of ornamental trees, shrubs, and groundcover plants for Architect's approval. When approved, tag, install, and maintain as representative samples for final installed plant materials.
- File Certificates of inspection of plant material by state, county, and federal authorities with Architect, if required.
- Soil Analysis: Provide sandy loam soil analysis if requested by the Architect.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

- Landscaping Contractor to inspect all existing conditions and report any deficiencies to the Owner.
- All planting areas shall be conditioned as follows:
 - Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per manufacturers recommendations. Add six (6") inches of compost and fill into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
 - All planting areas shall receive a two (2") inch layer of specified mulch.
 - Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.
- Grass Areas:
 - Areas to be Solid Sod Bermudagrass: Blocks of sod should be laid joint to joint, (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are convexly exposed, then watered thoroughly.
 - Areas to be Hydromulch Common Bermudagrass: Hydromulch with bermudagrass seed at a rate of two (2) pounds per one thousand (1,000) square feet. Use a 4' x 8' border board against the bed areas.

3.2 INSTALLATION

- Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
- Plant materials shall be delivered to the site only after the beds are prepared and area ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and sun. Balls of earth of 8" & 6" plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
- Position the trees and shrubs in their intended location as per plan.
- Notify the Landscape Architect for inspection and approval of all positioning of plant materials.
- Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.

JOB CONDITIONS

- General Contractor to complete the following punch list: Prior to Landscape Contractor installing any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the finish grade of sidewalks, drives and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- General Contractor shall provide topsoil as described in Section 02200 - Earthwork.
- Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

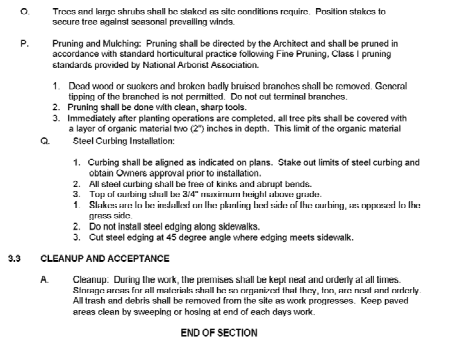
1.6 MAINTENANCE AND GUARANTEE

- Maintenance:
 - The Landscape Contractor will be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show a healthy growth and satisfactory foliage conditions.
 - Maintenance shall include watering of trees and plants, cultivation, weeding, spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
 - A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by Owner and Landscape Contractor will be completed prior to written acceptance.
 - After final acceptance of installation, the Landscape Contractor will not be required to do any of the above listed work.
- Guarantee:
 - Trees shall be guaranteed for a twelve (12) month period after acceptance. Shrubs and groundcover shall be guaranteed for twelve (12) months. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died to root shape, size, or symmetry has been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
 - Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including cuts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.
 - All the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
 - When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified or as otherwise approved in writing by the Contractor requirements. All replacements are to be included under "Work" of this section.

- Shrub and tree pits shall be no less than two (2') feet, twenty-four (24") inches, wider than the lateral dimension of earth ball and six (6") inches deeper than it's vertical dimension. Remove and haul from site all rocks and stones over one (1") inch in diameter. Plants should be thoroughly moist before removing containers.
- Dig a wide, rough sided hole exactly the same depth as the height of the ball, especially at the surface of the ground. The sides of the hole should be rough and jagged, never slick or smooth.
- Percolation Test: Fill the hole with water. If the water level does not percolate within 24 hours, the tree needs to move to another location or have drainage added. Install a PVC stand pipe per tree planting detail as approved by the Landscape Architect.
- Backfill only with 6 parts existing soil or sandy loam and 1 part bed preparation. When the hole is dug in solid rock, topsoil from the same area should not be used. Carefully settle by watering to prevent air pockets. Remove the bottom from the top 1/3 of the ball, as well as all nylon, plastic string and wire mesh. Container trees will usually be pot bound, so follow standard nursery practice of "root scoring".
- Do not wrap trees.
- Do not over prune.
- Mulch the top of the ball. Do not plant grass all the way to the trunk of the tree. Leave the area above the top of the ball and mulch with at least two (2") inches of specified mulch.
- All plant beds and trees to be mulched with a minimum settled thickness of two (2") inches over the entire bed or pit.
- Obstruction below ground: In the event that rock, or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Owner. Where locations cannot be changed, the obstructions shall be removed to a depth of not less than three (3) feet below grade and no less than six (6") inches below the bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.

- Trunks and large shrubs shall be staked or silo conditions require. Position stakes to secure tree against seasonal prevailing winds.
- Pruning and Mulching: Pruning shall be directed by the Architect and shall be pruned in accordance with standard horticultural practice following Fine Pruning, Class I pruning standards provided by National Arboreal Association.
 - Dead wood or rusted and broken badly branched branches shall be removed. General tipping of the branches is not permitted. Do not cut terminal branches.
 - Pruning shall be done with clean, sharp tools.
 - Immediately after pruning operations are completed, all tree pits shall be covered with a layer of organic material two (2") inches in depth. This limit of the organic material Steel Curbing Installation:
 - Curbing shall be aligned as indicated on plans. Stake out limits of steel curbing and obtain Owners approval prior to installation.
 - All steel cutting shall be free of burrs and sharp points.
 - Top of curbing shall be 2 1/4" maximum height above grade.
 - Stakes are to be installed on the planting bed side of the curbing, as opposed to the grass side.
 - Do not install steel edging along sidewalks.
 - Cut steel edging at 45 degree angle where edging meets sidewalk.

- Cleanup and Acceptance:
 - Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing at end of each days work.



- The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.
- The above guarantee shall not apply where plants die after acceptance because of injury from storms, hail, frosts, insects, diseases, injury by humans, machines or theft.
- Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a completed, undamaged condition, and there is a stand of grass in all lawn areas. At this time, the Owner will assume maintenance on the accepted work.
- Repairs: Any necessary repairs under the Guarantee must be made within ten (10) days after receiving notice, weather permitting, and in the event the Landscape Contractor does not make repairs accordingly, the Owner, without further notice to Contractor, may provide materials and men to make such repairs at the expense of the Landscape Contractor.

1.7 QUALITY ASSURANCE

- General: Comply with applicable Federal, State, County and Local regulations governing landscape materials and work.
- Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.
- Selection of Plant Material:
 - Make contact with suppliers immediately upon obtaining notice of contract acceptance to solicit and book materials. Develop a program of maintenance (pruning and fertilization) which will insure the purchased materials will meet and/or exceed project specifications.
 - Landscape Architect will provide a key identifying each tree location on plan. Written verification will be required to document material selection, source and delivery schedules to site.
 - Owner and/or Architect shall inspect all plant materials when reasonable at place of growth for compliance with requirements for genus, species, cultivar/variety, size and quality.
 - Owner and/or Architect retains the right to further inspect all plant material upon arrival at the site and during installation for size and condition of root balls, limbs, branching habit, insects, injuries, and latent defects.
 - Owner and/or Architect may reject unsatisfactory or defective material at any time during the process of work. Remove rejected materials from the site immediately. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

- Preparation:
 - Dilled and Burled (DB) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and future development.
 - Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.

2.2 SOIL PREPARATION MATERIALS

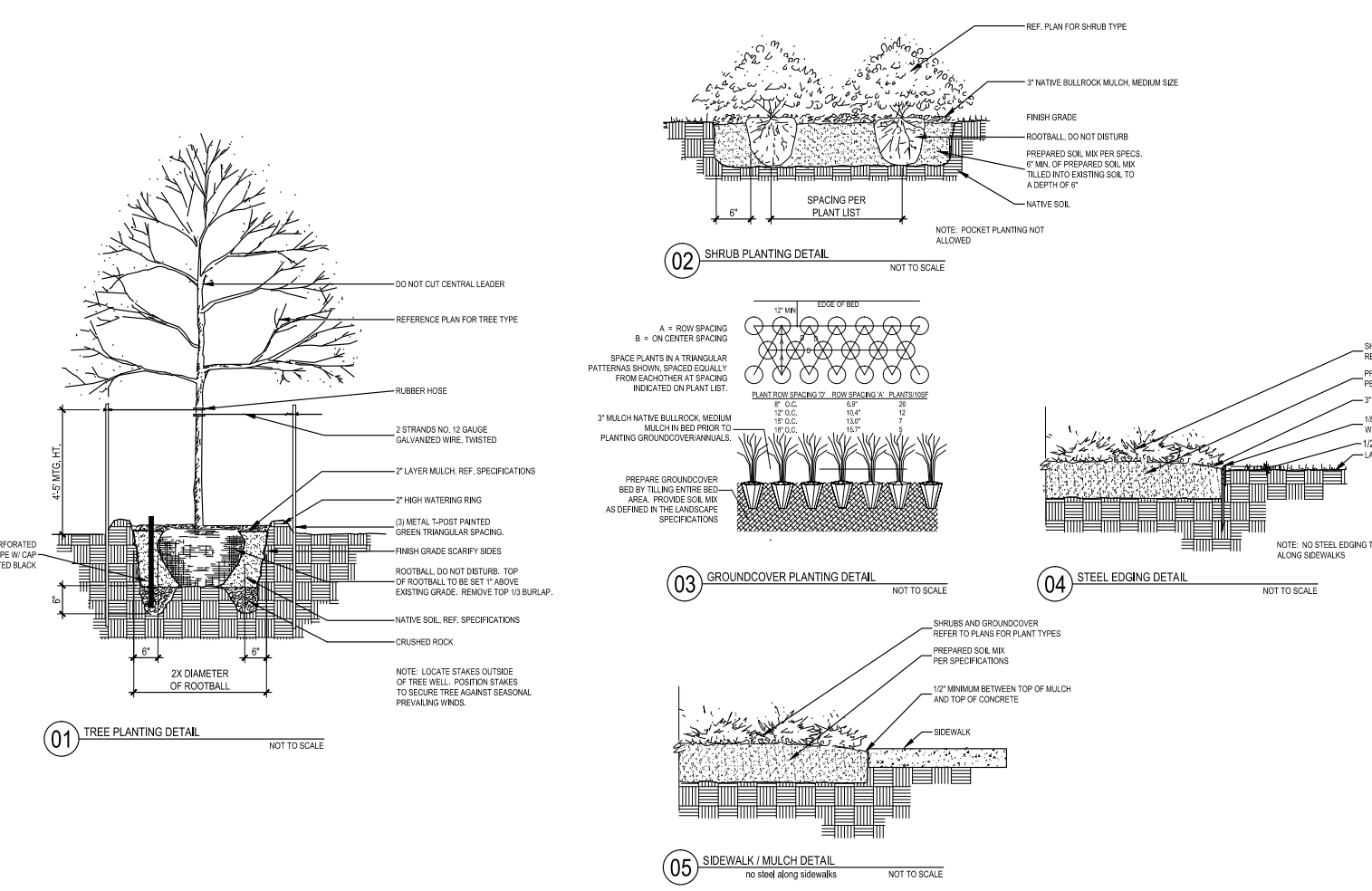
- Sandy Loam:
 - Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallisgrass or Nudgrass shall be rejected.
 - Physical properties as follows:
 - Clay - between 7-27 percent
 - Silt - between 15-25 percent
 - Sand - less than 52 percent
 - Organic matter shall be 3% - 10% of total dry weight.
 - If requested, provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
- Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of coarse and fine textured material.
- Premixed Bedding Soil as supplied by Veal Earth Resources, Gladwater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.
- Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.
- Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
- Organic Fertilizer: Fertilak, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.
- Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulphur and 4% iron, plus micronutrients.
- Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

2.1 PLANTS

- General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Architect and his decision as to their acceptability shall be final.
- Quantities: The drawings and specifications are complimentary. Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.
- Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, objectionable deficiencies, insect eggs and larvae and are to be of specimen quality.
- Approval: All plant materials shall be subject to the approval of the Owner. All plants which are found unsuitable in growth, or in any unhealthy, badly shaped, or undersized condition, will be rejected by the Landscape Architect, either before or after planting, and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plants as specified.
- Trees shall be healthy, full-branched, well-shaped and shall meet the trunk diameter and height requirements of the plant schedule. Balls shall be firm, neat, slightly tapered, and well wrapped in burlap. Any tree loose in the ball or with broken ball at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter. Measured six (6") inches above ball. Nomenclature conforms to the customary nursery usage; for clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.
- Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect, shall be executed by the Landscape Contractor at no additional cost to the Owner.

2.3 MISCELLANEOUS MATERIALS

- Steel Edging: Shall be Ryerson "Estate Curbing", 1/8" x 4" on center.
- Staking Material for Shade Trees:
 - Post: Studded T-Post, #1 Ancho with anchor plate, 6'-0" length, paint green.
 - Wire: 1/2 gauge, single strand, galvanized wire.
 - Rubber hose: 2 ply, fiber reinforced hose, minimum 1/2 inch inside diameter. Color: Black.
- Gravel: Washed native pea gravel, graded 1 in. to 1-1/2 in.
- Filter Fabric: Miran 140N by Calanese Fibers Marketing Company, available at L. H. H. Co., (214) 631-8250 or approved equal.



5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark Date By

△

Mark Date By

△

Mark Date By

△



6645 NORTHEAST LOOP 820
REMAINDER OF LOT 7, BLOCK 4
TAPP ADDITION
NORTH RICHLAND HILLS, TEXAS

STORE
SERIES
P13 LS LARGE

SHEET TITLE
LANDSCAPE
SPECS /
DETAILS

- For Permit
- For Bid
- For Construction

Job No. : 013-367

Store : 05230

Date : 10/17/22

Drawn By : BDA

Checked By: BDA

Sheet

L-2

APPLICANT:
CHICK-FIL-E, INC.
5200 BUFFINGTON ROAD
ATLANTA, GEORGIA 30349
PHONE: (404) 765-8000
CONTACT: GETRA THOMASON-SANDERS
EMAIL: GETRA.SANDERS@CFACORP.COM

ENGINEER:
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TEXAS REGISTERED ENGINEERING FIRM F-12997
17103 PRESTON ROAD, SUITE 180N
DALLAS, TEXAS 75248
PHONE: (972) 630-3360
CONTACT: BRYAN M. BURGER, P.E.
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B BURGER
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TBPE-F-12997



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CHICK-FIL-A
RUFÉ SNOW FSU
6645 NE Loop 820
North Richland Hills, TX 76180

FSR#05230

BUILDING TYPE / SIZE: P13 LS LRG
RELEASE: 22.05
PRINTED FOR: NFP

REVISION SCHEDULE
NO. DATE DESCRIPTION

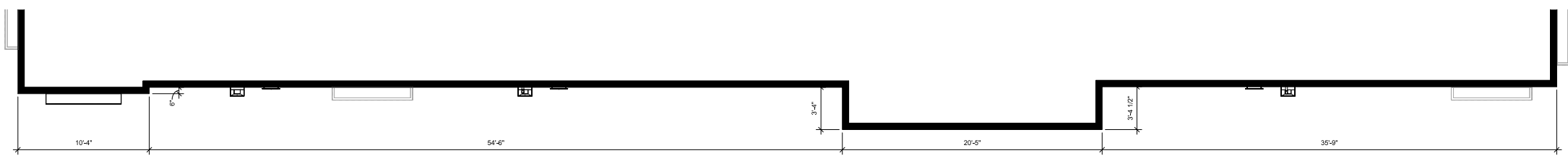
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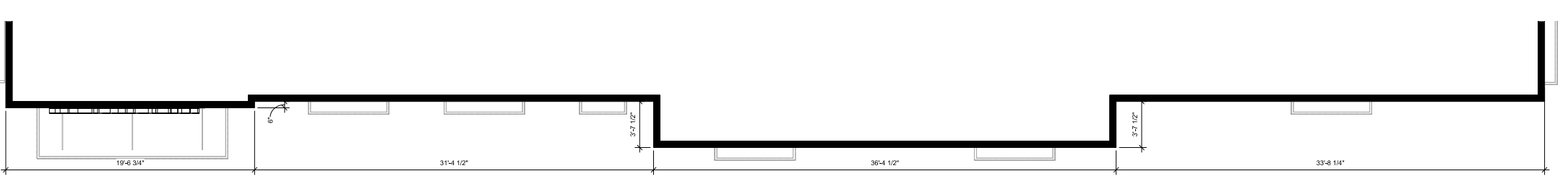
SHEET
COLORED ELEVATIONS
SHEET NUMBER
A-106



D4 EXTERIOR ELEVATION - EAST
1/4" = 1'-0"



B4 EXTERIOR ELEVATION - WEST
1/4" = 1'-0"



GENERAL NOTES
1. ALL SIGNAGE PROVIDED BY OTHERS
2. REF FLOOR PLAN AND WINDOW LEGEND FOR STOREFRONT INFORMATION

MATERIAL % - EAST ELEVATION

MATERIAL	SQUARE FEET	% COVERAGE
BRICK	1,407 SF	57.7%
STONE	827 SF	34%
STOREFRONT/DOORS	202 SF	8.3%
TOTAL	2,436 SF	100%

MATERIAL % - WEST ELEVATION

MATERIAL	SQUARE FEET	% COVERAGE
BRICK	1,407 SF	48.4%
STONE	1,239 SF	42.6%
STOREFRONT/DOORS	257 SF	9%
TOTAL	2,903 SF	100%

EXTERIOR FINISHES

- BR-A BRICK VENEER
MANUFACTURER: ACME
COLOR: PALOMA GRAY
SIZE: MODULAR
- BR-B BRICK VENEER
MANUFACTURER: ACME
COLOR: RUSTIC WHITE
SIZE: MODULAR
- SN-1 STONE SILL / TRIM
SALADO QUARRY
COLOR: CREAM
- SN-2 STONE SILL / TRIM
SALADO QUARRY
COLOR: CREAM
- EC-1 PREFINISHED METAL COPING
COLOR: DARK BRONZE
- EC-2 PREFINISHED METAL COPING
COLOR: DARK BRONZE
- EC-3 EXTERIOR PAINT
COLOR: DARK BRONZE
FINISH: SEMI-GLOSS

LEGEND

- EXPANSION JOINT, SEALANT COLOR TO MATCH MORTAR COLOR
- CARD READER BY SECURITY VENDOR - RE: ELEC
- SCUPPER - (C1-11) SEE A2/A-503
- DOWNSPOUT - (C1-11) SEE A3/A-503
- OIL EXTRACTION PORT ACCESS BOX
- CO2 FILL BOX - RE: KITCHEN
- LIGHT FIXTURE - RE: ELECTRICAL
- CT CABINET - (C1-11) RE: ELECTRICAL
- MDP - (C1-11) RE: ELECTRICAL

FINISH SCHEDULE - EXTERIOR

MARK	DESCRIPTION	MANUFACTURER	MODEL NAME	MODEL NUMBER	COLOR	NOTE
BR-A	BRICK VENEER (PRIMARY)	ACME BRICK	MODULAR		PALOMA GRAY	MORTAR: ARGOS SAN TAN
BR-B	BRICK VENEER (ACCENT)	ACME BRICK	MODULAR		RUSTIC WHITE	MORTAR: ARGOS SAN TAN
CP-1	CANOPY METAL FASCIA	ACME BRICK	DURA COAT		DARK BRONZE	OIL RUBBED BRONZE METALLIC TEXTURE PVD
CP-2	PARAPET WALL COPING	DUROLAST / EXCEPTIONAL METALS		DC19ST-2703	WHITE	SMOOTH WHITE, HIGH GLOSS
PT-100	EXTERIOR PAINT	SHERWIN WILLIAMS	SHER-CRYL HIGH PERFORMANCE ACRYLIC #B66-350	SW 2807	MIDNIGHT BRONZE	
PT-113	EXTERIOR PAINT	SHERWIN WILLIAMS	SHER-CRYL HIGH PERFORMANCE ACRYLIC #B66-350		DARK BRONZE	REFUSE ENCLOSURE FINISH: SEMI-GLOSS ON DOOR FRAMES, SATIN ON WALLS
SN-1	STONE VENEER	SALADO QUARRY			CREAM	SONOMA CUT, ARGOS SAN TAN MORTAR
SN-2	STONE SILL / TRIM	SALADO QUARRY			CREAM	ARGOS SAN TAN MORTAR
ST-1	STOREFRONT	YKK	YES 45		DARK BRONZE (MATTE)	

ATTACHED CANOPY SCHEDULE

Mark	Description	Count	Overall Width	Overall Depth	Tie Back Mounting (Offset From Top)	Integral Lighting
C1-A	Exterior Canopy	1	3'-8 1/2"	1'-2"	0"	No
C1-C	Exterior Canopy	11	4'-0"	1'-2"	0"	No
C3-B	Exterior Canopy	1	15'-0"	4'-2"	2'-4"	No
C3-C	Exterior Canopy	1	15'-0"	4'-2"	2'-4"	Yes
C4-G	Exterior Canopy	1	7'-0"	4'-2"	2'-4"	Yes
Grand total		15				

CANOPY NOTES:
BUILDING MOUNTED CANOPIES
- 6" THICK CANOPY
- FINISH OF STRUCTURE, FASCIA, & DECKING TO MATCH (CP-2)
COLUMN MOUNTED CANOPIES
- 10" THICK CANOPY
- FINISH OF STRUCTURE TO BE (CP-2)
- FINISH OF DECKING TO BE (CP-2)

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CHICK-FIL-A
RUFÉ SNOW FSU
6645 NE Loop 820
North Richland Hills, TX 76180

FSR#05230

BUILDING TYPE / SIZE: P13 LS LRG
RELEASE: 22.05
PRINTED FOR: NFP

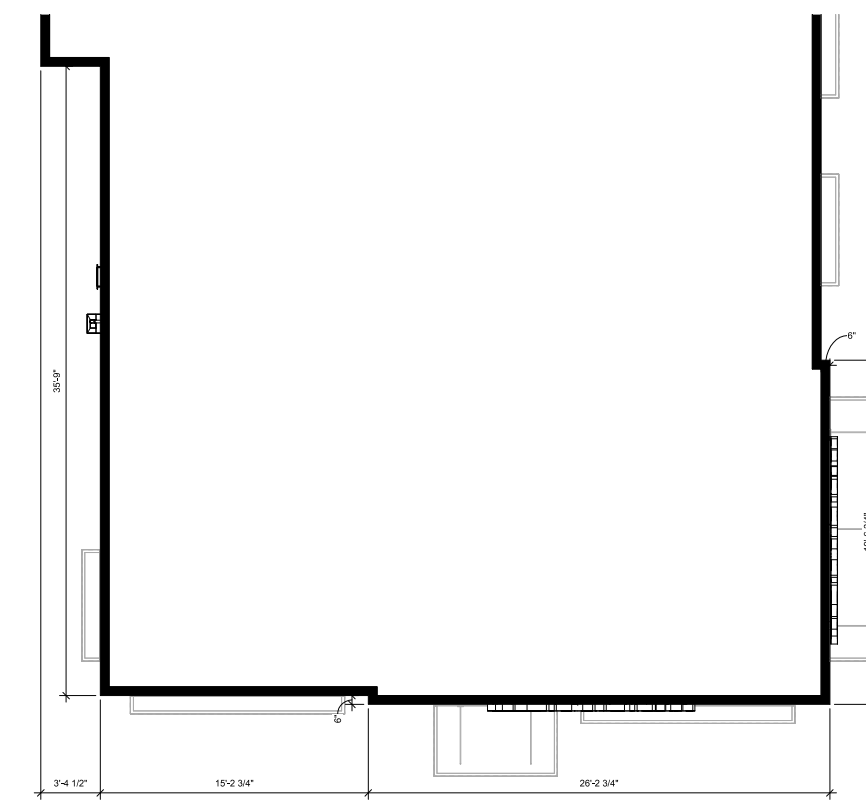
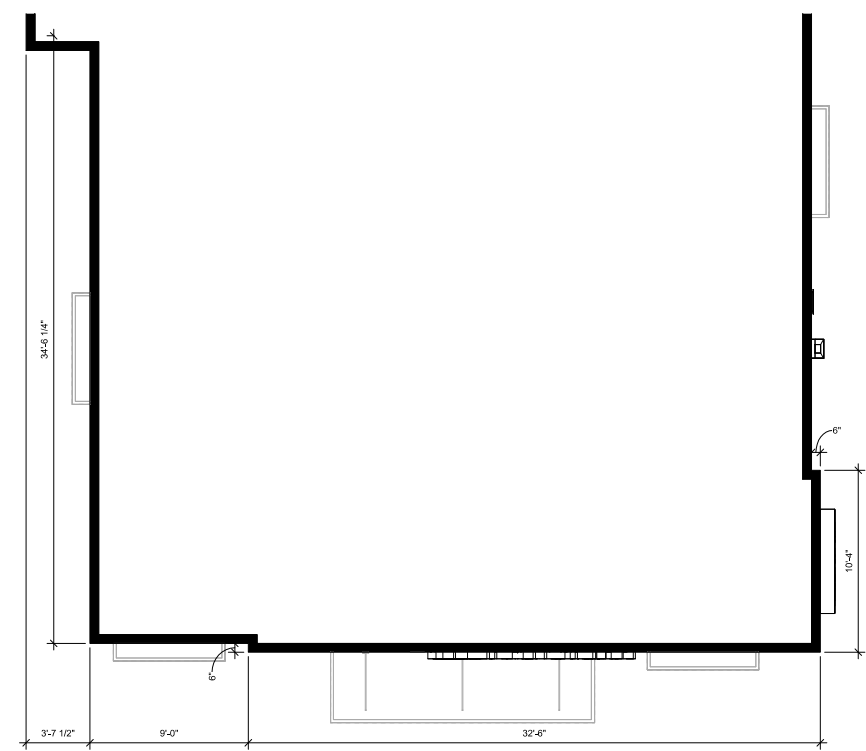
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SHEET
COLORED ELEVATIONS

SHEET NUMBER
A-107



D4 EXTERIOR ELEVATION - SOUTH
1/4" = 1'-0"



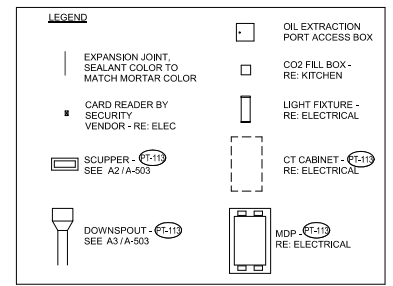
C4 EXTERIOR ELEVATION - NORTH
1/4" = 1'-0"

MATERIAL % - SOUTH ELEVATION

MATERIAL	SQUARE FEET	% COVERAGE
BRICK	132 SF	14.5%
STONE	580 SF	64.5%
STOREFRONT/DOORS	190 SF	21%
TOTAL	902 SF	100%

MATERIAL % - NORTH ELEVATION

MATERIAL	SQUARE FEET	% COVERAGE
BRICK	179 SF	20%
STONE	408 SF	45%
STOREFRONT/DOORS	304 SF	35%
TOTAL	891 SF	100%



GENERAL NOTES
1. ALL SIGNAGE PROVIDED BY OTHERS
2. REF FLOOR PLAN AND WINDOW LEGEND FOR STOREFRONT INFORMATION

FINISH SCHEDULE - EXTERIOR

MARK	DESCRIPTION	MANUFACTURER	MODEL NAME	MODEL NUMBER	COLOR	NOTE
BRCA	BRICK VENEER (PRIMARY)	ACME BRICK	MODULAR	-	PALOMA GRAY	MORTAR: ARGOS SAN TAN
BRB	BRICK VENEER (ACCENT)	ACME BRICK	MODULAR	-	RUSTIC WHITE	MORTAR: ARGOS SAN TAN
CP-1	CANOPY METAL FASCIA	DURA CDAT	-	-	DARK BRONZE	OIL RUBBED BRONZE METALLIC TEXTURE PVD
CP-2	CANOPY METAL DECK	-	-	-	WHITE	SMOOTH WHITE, HIGH GLOSS
EC-1	PARAPET WALL COPING	DURCLAST / EXCEPTIONAL METALS	-	-	MIDNIGHT BRONZE	-
PT-100	EXTERIOR PAINT	SHERWIN WILLIAMS	SHER-CRYL HIGH PERFORMANCE ACRYLIC #866-350	SW 2807	ROCKWOOD	REFUSE ENCLOSURE, FINISH: SEMI-GLOSS ON DOOR FRAMES, SATIN ON WALLS
PT-113	EXTERIOR PAINT	SHERWIN WILLIAMS	SHER-CRYL HIGH PERFORMANCE ACRYLIC #866-350	-	DARK BRONZE	FINISH: SEMI-GLOSS
SN-1	STONE VENEER	SALADO QUARRY	-	-	CREAM	SONOMA CUT, ARGOS SAN TAN MORTAR
SN-2	STONE SILL / TRIM	SALADO QUARRY	-	-	CREAM	ARGOS SAN TAN MORTAR
ST-1	STOREFRONT	YKK	YES 45	-	DARK BRONZE (MATTE)	-

CANOPY NOTES:
BUILDING MOUNTED CANOPIES
- 8" THICK CANOPY
- KYNAR FINISH OF STRUCTURE, FASCIA, & DECKING TO MATCH (CP-1)
COLUMN MOUNTED CANOPIES
- 10" THICK CANOPY
- FINISH OF STRUCTURE TO BE (CP-1)
- FINISH OF DECKING TO BE (CP-2)

ATTACHED CANOPY SCHEDULE

Mark	Description	Count	Overall Width	Overall Depth	Tie Back Mounting (Offset From Top)	Integral Lighting
C1-A	Exterior Canopy	1	3'-8 1/2"	1'-0"	0"	No
C1-C	Exterior Canopy	11	<varies>	1'-0"	0"	No
C3-B	Exterior Canopy	1	15'-0"	4'-0"	2'-4"	No
C3-C	Exterior Canopy	1	15'-0"	4'-0"	2'-4"	Yes
C4-G	Exterior Canopy	1	7'-0"	4'-0"	2'-4"	Yes
Grand total		15				

EXTERIOR FINISHES

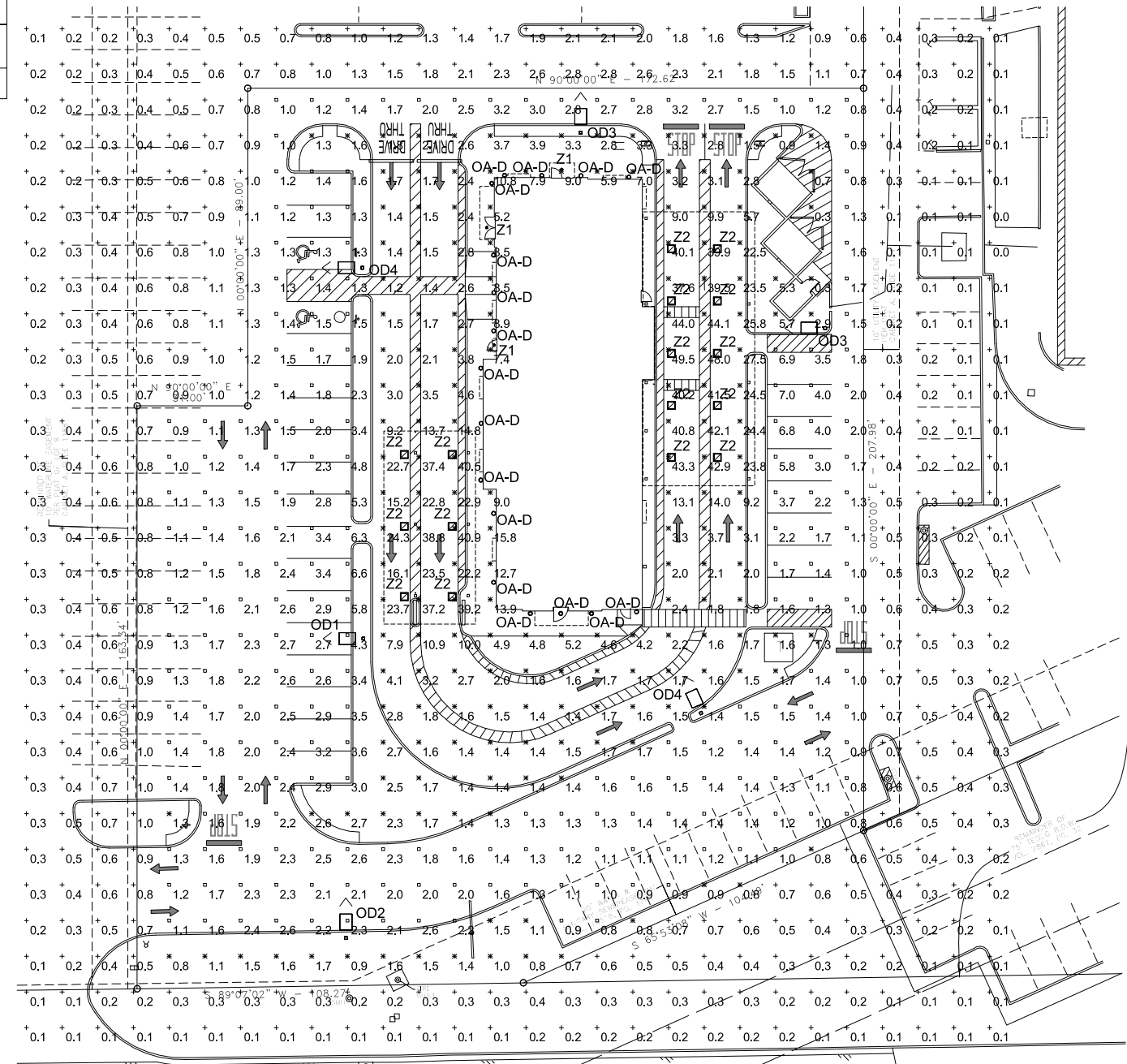
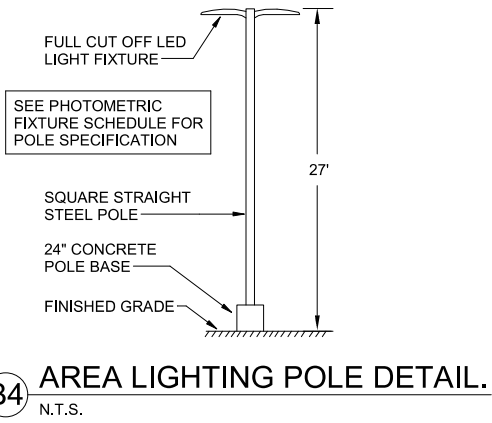
- BR-A BRICK VENEER
MANUFACTURER: ACME
COLOR: PALOMA GRAY
SIZE: MODULAR
- BR-B BRICK VENEER
MANUFACTURER: ACME
COLOR: RUSTIC WHITE
SIZE: MODULAR
- SN-1 STONE VENEER
SALADO QUARRY
COLOR: CREAM
CUT: SONOMA
- SN-2 STONE VENEER
SALADO QUARRY
COLOR: CREAM
CUT: SONOMA
- EC-1 PREFINISHED METAL COPING
COLOR: DARK BRONZE
- EC-2 PREFINISHED METAL COPING
COLOR: DARK BRONZE
- PT-113 EXTERIOR PAINT
COLOR: DARK BRONZE
FINISH: SEMI-GLOSS
- ST-1 STOREFRONT
MANUFACTURER: YKK
SYSTEM: YES 45 TU
COLOR: DARK BRONZE

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Schedule								
Symbol	Label	Quantity	Manufacturer	Catalog Number	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
⬆	OD1	1	EATON - LUMARK (FORMER COOPER LIGHTING)	PRV-C60-D-UNV-T4-BZ	2	9993	0.9	153
⬆	OD2	1	EATON - LUMARK (FORMER COOPER LIGHTING)	PRV-C40-D-UNV-T4-BZ-HSS	2	7769	0.9	131
⬆	OD3	2	EATON - LUMARK (FORMER COOPER LIGHTING)	PRV-C40-D-UNV-T3-BZ-HSS	2	7789	0.9	131
⬆	OD4	2	EATON - LUMARK (FORMER COOPER LIGHTING)	PRV-C60-D-UNV-T5-BZ	2	10678	0.9	153
○	OA-D	17	PROGRESS	P5641-3130K	1	865	0.95	29.6
⊙	Z1	3	EATON - HALO (FORMER COOPER LIGHTING)	SLD405930WH	1	750	0.95	12.2
⊠	Z2	16	LSI INDUSTRIES, INC	CRUS-SC-LED-LW-30	1	9966	0.95	73.5

OD POLES SHALL BE 25' SQUARE STRAIGHT STEEL POLES BY KW INDUSTRIES: SSP25-4.0-7-BRZ-DM10-BC. MOUNT POLES ON A 2' CONCRETE POLE BASE. POLES AND LIGHTING FIXTURES TO HAVE A DARK BRONZE FINISH.

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone	+	3.0 fc	49.5 fc	0.0 fc	N/A	N/A
CFA Lot Summary	X	5.3 fc	49.5 fc	0.3 fc	165.0:1	17.7:1
Parking Lot Summary	□	2.0 fc	7.0 fc	0.8 fc	8.8:1	2.5:1



NORTHEAST LOOP 820

A1 ELECTRICAL SITE PLAN
1" = 20'-0"



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& Associates
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TEXAS BOARD OF PROFESSIONAL ENGINEERS FIRM NUMBER 10225



CHICK-FIL-A
RUFÉ SNOW FSU
6645 NE Loop 820
North Richland Hills, TX 76180

FSR# 05230

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT #	22165.MA.S
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SHEET
PHOTOMETRIC PLAN

SHEET NUMBER
E-102.

PERMIT

HALO

DESCRIPTION

The Halo Surface LED Downlight (SLD) incorporates WaveStream™ technology to create an ultra-low profile surface mounting luminaire with the performance and look of a traditional downlight. SLD is designed for installation in many 3-1/2" and 4" round or octagon junction boxes. May also retrofit in 4" aperture IC and Non-IC recessed housings. Dedicated LED wiring connector meets high efficacy code requirement in recessed downlighting. Suitable for residential or commercial installations. Ideal for closets, storage areas, attics and basements. Compliant with NFPA 70, NEC Section 410.16 (A)(3) and 410.16 (C)(5).

SPECIFICATION FEATURES

CONSTRUCTION

- Die cast aluminum trim ring and die formed aluminum frame

OPTICS

- WaveStream™ technology provides uniform luminance from a low profile flat lens
- AccuBeam™ optics provide directional control for the "cone-of-light" beam distribution of a traditional downlight
- Precision molded lens features high transmission polymer with UV stabilized protecting film

DESIGNER TRIMS

Accessories (sold separately) SLD designer trims are accessory rings that attach to the SLD for a permanent finish. Refer to SLD accessories specification sheet for details.

- White (Paintable)
- Satin Nickel
- Tuscan Bronze

ELECTRICAL JUNCTION BOX MOUNTING

- SLD may be used in compatible electrical junction boxes in direct contact with insulation including spray foam insulation
- Suitable for installation in many 3-1/2" and 4" octagon and round electrical junction boxes

Note: Driver consumes 3 cubic inches of junction box.

Installer must ensure compatibility of fit, wiring and proper mounting in the electrical junction box. This includes all applicable national and local electrical and building codes.

Proprietary Slot-N-Lock quick installation system for junction box installation

Category #	Type
Project	Date
Comments	
Prepared by	

SLD4058xxWH
80CRI
2700K, 3000K, 3500K, and 4000K

SLD4059xxWH
90CRI
2700K, 3000K, 3500K, and 4000K

4" Surface LED Downlight
Suitable for ceiling or wall electrical junction boxes

Suitable for 4" recessed housing retrofit (IC, Non-IC & AIR-TITE™)

ENERGY DATA

Model	Color	Beam Angle	CR	ICRI
SLD4058-4"	80 CRI	27-2700K	WH-White	Designer Trim
SLD4059-4"	90 CRI	27-2700K	WH-White	Fit over the SLD for a designer finish
SLD4058-4"	80 CRI	30-3000K	WH-White	SLD4058-4" SLD Satin Nickel
SLD4059-4"	90 CRI	30-3000K	WH-White	SLD4059-4" SLD Satin Nickel
SLD4058-4"	80 CRI	35-3500K	WH-White	SLD4058-4" SLD Tuscan Bronze
SLD4059-4"	90 CRI	35-3500K	WH-White	SLD4059-4" SLD Tuscan Bronze

NOMENCLATURE

SLD 4058 8 30 WH
405 = 4" SLD
8 = 80 CRI
30 = 3000K
WH = Matte White

C1 FIXTURE - Z1
12" = 1'-0"

SLD4058xxWH
SLD4059xxWH

DIMMING

- Designed for continuous dimming capability to nominally 5% with many 120V Leading Edge (LE) and Trailing Edge (TE) phase control dimmers. Dimming to 5% is best assured using dimmers with low end trim adjustment. Consult dimmer manufacturer for compatibility and conditions of use. (Note some dimmers require a neutral in the wallbox.)
- UL Classified when used in retrofit with listed housings (See Housing Compatibility)
- EMRPL meets FCC 47CFR Part 15 Class B limits, and is suitable for use in residential and commercial installations
- Airtight certified per ASTM E283 (not exceeding 2.0 CFM under 57 Pascals pressure difference)
- 80 CRI: Can be used to comply with California Title 24 High Efficacy requirements.

COMPLIANCE

- cULus Listed ceiling and wall
- cULus Damp Location listed ceiling and wall
- cULus Wet Location Listed, ceiling only (shower rated)
- Suitable for use in closets, attics and basements (Meet for use in recessed housings compliant with NFPA 70, NEC Section 410.16 (A)(3) and 410.16 (C)(5))

80 CRI: Can be used to comply with California Title 24 Non-Residential Lighting Controls requirements as a LED luminaire.

ENERGY STAR: Certified luminaire - consult ENERGY STAR® Certified Product List

- Contains no mercury or lead and RoHS compliant.
- Photometric testing in accordance with IES LM-79
- Lumen maintenance projections in accordance with IES LM-80 and TM-21

4" Surface LED Downlight
Suitable for ceiling or wall electrical junction boxes

Suitable for 4" recessed housing retrofit (IC, Non-IC & AIR-TITE™)

DIMENSIONS

ORDERING INFORMATION

SAMPLE NUMBER: SLD405802WH SLD405902WH
Junction Box Installation: Order junction box separately, as supplied by others, to complete installation.
Recessed Installation: Order into recessed housing separately to complete installation.

Models	Color	Beam Angle	Color Temperature (CCT)	Finish	Accessories
SLD4058-4" Surface LED Downlight, 120V	80 CRI	27-2700K	WH-White	Designer Trim	Fit over the SLD for a designer finish
California non-IC Model	80 CRI	27-2700K	WH-White	SLD4058-4" SLD Satin Nickel	SLD4058-4" SLD Satin Nickel
SLD4058-4" SLD Satin Nickel	80 CRI	27-2700K	WH-White	SLD4058-4" SLD Satin Nickel	SLD4058-4" SLD Satin Nickel
SLD4059-4" SLD Satin Nickel	90 CRI	27-2700K	WH-White	SLD4059-4" SLD Satin Nickel	SLD4059-4" SLD Satin Nickel
SLD4058-4" SLD Tuscan Bronze	80 CRI	27-2700K	WH-White	SLD4058-4" SLD Tuscan Bronze	SLD4058-4" SLD Tuscan Bronze
SLD4059-4" SLD Tuscan Bronze	90 CRI	27-2700K	WH-White	SLD4059-4" SLD Tuscan Bronze	SLD4059-4" SLD Tuscan Bronze

ENERGY DATA

Model	Color	Beam Angle	CR	ICRI
SLD4058-4"	80 CRI	27-2700K	WH-White	Designer Trim
SLD4059-4"	90 CRI	27-2700K	WH-White	Fit over the SLD for a designer finish
SLD4058-4"	80 CRI	30-3000K	WH-White	SLD4058-4" SLD Satin Nickel
SLD4059-4"	90 CRI	30-3000K	WH-White	SLD4059-4" SLD Satin Nickel
SLD4058-4"	80 CRI	35-3500K	WH-White	SLD4058-4" SLD Tuscan Bronze
SLD4059-4"	90 CRI	35-3500K	WH-White	SLD4059-4" SLD Tuscan Bronze

NOMENCLATURE

SLD 4058 8 30 WH
405 = 4" SLD
8 = 80 CRI
30 = 3000K
WH = Matte White



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia
30349-2998



Kurzynske & Associates
2705 Lebanon Pike - Suite One
Nashville, Tennessee 37214
Telephone: (615) 255-5203

TEXAS BOARD OF PROFESSIONAL ENGINEERS FIRM NUMBER 10225



03/15/23

CHICK-FIL-A
RUFÉ SNOW FSU
6645 NE Loop 820
North Richland Hills, TX 76180

FSR# 05230

REVISION SCHEDULE		DESCRIPTION
NO.	DATE	

CONSULTANT PROJECT #	22165.MA.S
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SHEET
FIXTURE SPEC SHEETS

SHEET NUMBER
E-104.

PROGRESS LIGHTING

One-Light Outdoor Wall mounted - Wet location listed PROGRESS LED

Description:

6" downlight wall cylinders are ideal for a wide variety of interior and exterior applications including residential and commercial. The aluminum cylinders offers a contemporary design with its sleek optical form and elegant fade and chip resistant Black finish, perfect for today's inspired exteriors. With over 1,000 lumens the LED cylinders unite performance, energy savings and safety benefits.

Images:

P5641-31/30K

Specifications:

- Black (31) (powder coat paint)
- Die cast and extruded aluminum construction
- Black finish
- Interior finish matches exterior finish
- Die-cast aluminum construction with durable powder coated finish
- 1,000 lumens @ 120V/120W
- 3000K color temperature, 90+ CRI
- Dimmable to 10% brightness (See Dimming Notes)
- Black plate covers a standard 4" octagonal recessed outlet box
- Mounting strap for outlet box included
- 6" of wire supplied
- Meets California Title 24 high efficacy requirements for outdoor use only

Performance:

Number of Modules	1	Dimensions:	Width: 6"
Input Power	29.6w	Depth: 8-7/8"	Height: 12"
Input Voltage	120 V	H/CTR: 4-1/2"	
Input Frequency	60 Hz		
Lumens(LPW (Delivered)	1,000(29 (LM-79)		
CCT	3000 K		
CRI	90 CRI		
Life (hours)	60,000 (L70/TM-21)		
FCC	FCC Title 47, Part 15, Class B		
Min. Start Temp	-30 °C		
Max. Operating Temp	30 °C		
Warranty	5 year warranty		
Labels	cCSAus Wet location listed Meets California Title 24 high efficacy requirements for outdoor use only		

For more information visit our website: www.progresslighting.com

Progress Lighting • 701 Millennium Boulevard • Greenville, SC 29607

A1 FIXTURE - OA_LED DOWNLIGHT
12" = 1'-0"