

- GENERAL NOTES**
1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF NORTH RICHLAND HILLS' STANDARDS AND SPECIFICATIONS.
 2. UTILITY CONTRACTOR AND STREET CONTRACTOR ARE TO NOTIFY A CITY TECHNICAL CONSTRUCTION INSPECTOR AT (817) 427-6440, AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
 3. ALL CONSTRUCTION BARRICADING TO BE IN ACCORDANCE WITH CURRENT "TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" GUIDELINES.
 4. DEVELOPER / CONTRACTOR IS RESPONSIBLE FOR COORDINATING PERMISSION FORM TxDOT FOR ANY WORK IN STATE ROW.
 5. ALL MANHOLE LIDS SHALL BE PAINTED BLACK PRIOR TO FINAL ACCEPTANCE OF A DEVELOPMENT. THE CITY MAY REQUIRE A FIELD SURVEY PROVIDED BY A REGISTERED PROFESSIONAL SURVEYOR TO VERIFY THAT THE AS-BUILT COORDINATES MATCH THE APPROVED DESIGN.

SITE DATA SUMMARY CHART	
EXISTING ZONING	AG
PROPOSED ZONING	R-PD
EXISTING LAND USE DESIGNATION	Office Commercial
PROPOSED LAND USE DESIGNATION	High Density Residential
GROSS ACREAGE	3.928 A.C.
GROSS SQUARE FOOTAGE	171,190 S.F.
LOT DENSITY	15.53 Dwelling Units Per Acre
SQUARE FOOTAGE OF PERVIOUS SPACE	89,143 S.F.
% OF PERVIOUS SPACE	52%
AREA OF IMPERVIOUS COVERAGE	82,047 SF
% OF IMPERVIOUS COVERAGE	48%
NUMBER OF STORIES	4
BUILDING HEIGHT (FT)	56' 4.55"
NUMBER OF 1 BEDROOM UNITS	6
NUMBER OF 2 BEDROOM UNITS	55
TOTAL NUMBER OF UNITS	61
PROVIDED PARKING	
REQUIRED PARKING (1.5 PER UNIT)	92
STANDARD SURFACE PARKING	42
UNDERGROUND PARKING	63
ADA PARKING	5
TOTAL	105
START CONSTRUCTION M/Y	TBD
END CONSTRUCTION M/Y	TBD

CENTURY HILLS

3.930 Acres in the S. RICHARDSON SURVEY, ABSTRACT NO. 1286 CITY OF NORTH RICHLAND HILLS, TARRANT COUNTY, TEXAS

MCADAMS

The John R. McAdams Company, Inc.
111 Highway 202
Lewisville, Texas 75067
972.436.9712
201 Country View Drive
Richardson, TX 75081
940.240.1012
TBP# 19762 TPL# 1019440
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SITE PLAN

PRELIMINARY PLANS
THIS DOCUMENT IS FOR INTERIM REVIEW AND IS NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES.
MCADAMS, TBP# 19762
JUSTIN L. LANSLOWNE, P.E. #121990
DATE 4/22/2020

Drawn By: AM
Date: 02/19/2020
Scale: 1"=40'
Revisions:
04/08/2020
04/22/2020

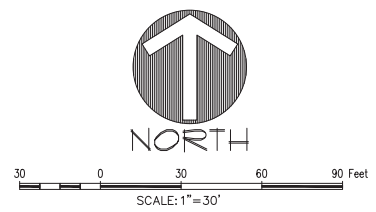
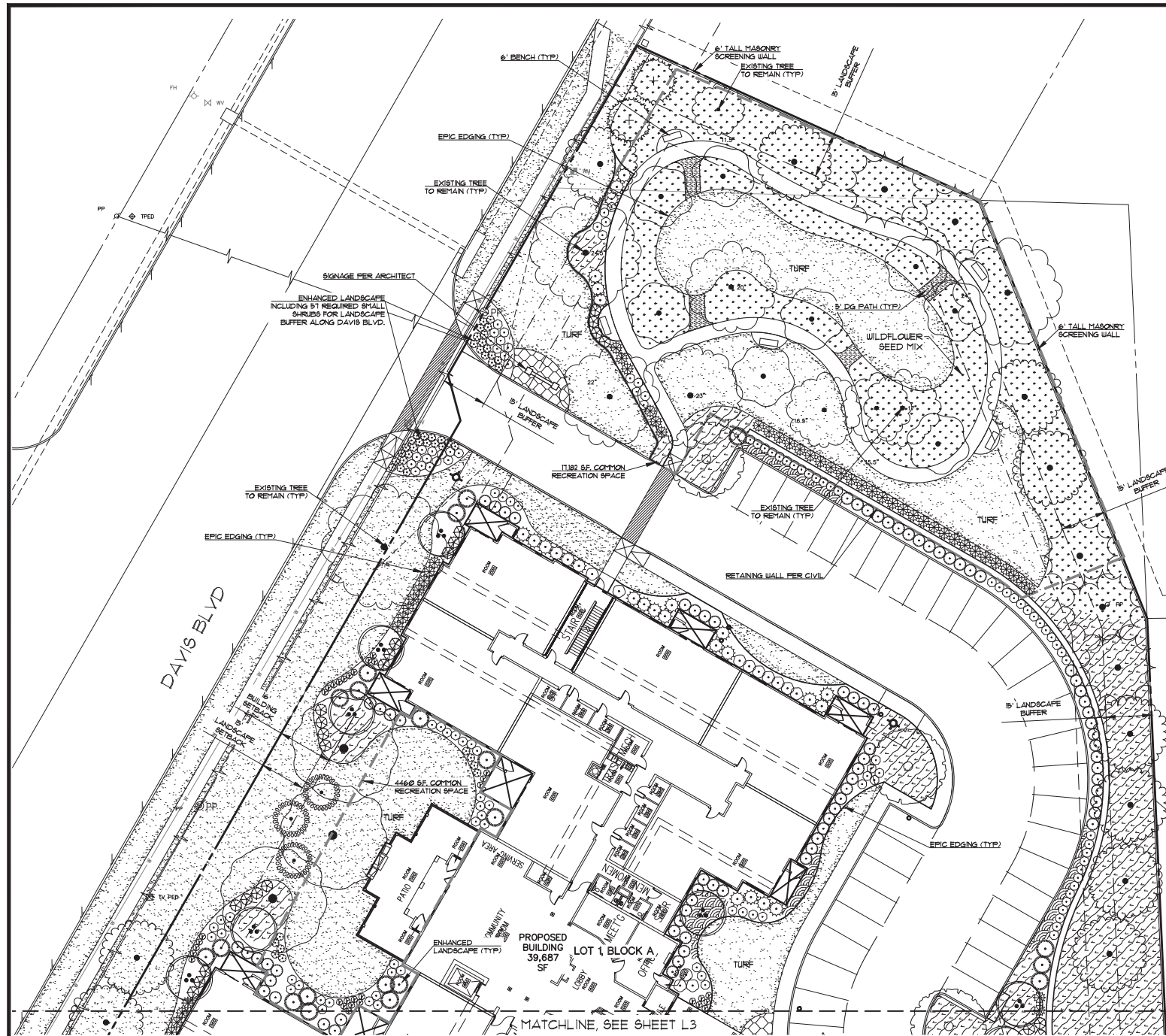
SPEC-19238

OWNER/DEVELOPER
REAL ESTATE EQUITIES DEVELOPMENT, LLC
1400 CORPORATE CENTER CURVE, SUITE 100
NORTH RICHLAND HILLS, TX
Ph. (936) 909-4685
Contact: Brian Scott

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ZC 2020-03

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PLANT SCHEDULE									
TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CAL	HEIGHT	CONT	REMARKS	
(+)	CA	5	San Pedro Martir Cypress	Cupressus arizonica montana	3"	12' Min.	#45	Full Canopy, Healthy, Good Form, Strong Central Leader	
(*)	LW	15	White Crape Myrtle Multi-Trunk	Lagerstroemia x 'Natchez'	2"	8' Min.	#30	Full Canopy, Healthy, Good Form	
(*)	PN	8	Austrian Black Pine	Pinus nigra	3"	12' Min.	#30	Full Canopy, Healthy, Good Form, Strong Central Leader	
(*)	PC	11	Keith Davey Chinese Pistache	Pistacia chinensis 'Keith Davey'	3"	10' Min.	#45	Full Canopy, Healthy, Good Form	
(*)	QS	5	Shumard Red Oak	Quercus shumardi	3"	12' Min.	#45	Full Canopy, Healthy, Good Form	
(*)	LO	18	Southern Live Oak	Quercus virginiana	3"	12' Min.	#65	Full Canopy, Healthy, Good Form	
(*)	LE	25	Chinese Lacebark Elm	Ulmus parvifolia	3"	12' Min.	#45	Full Canopy, Healthy, Good Form	
(*)	VC	3	Chaste Tree	Vitex agnus-castus	--	6' min	#30	Full Canopy, Healthy, Good Form	
SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	HEIGHT	SPREAD	REMARKS	
(*)	AK	79	Glossy Abelia	Abelia x grandiflora 'Kaleidoscope'	3 gal			Full, Healthy, Even Growth	
(*)	AJ	33	Spotted Japanese Laurel	Aucuba japonica 'Suruga Bente'	5 gal			Full, Healthy, Even Growth	
(*)	BW	152	Wintergreen Boxwood	Buxus microphylla 'Wintergreen'	5 gal			Full, Healthy, Even Growth	
(*)	ID	35	Dwarf Burford Holly	Ilex cornuta 'Dwarf Burford'	5 gal			Full, Healthy, Even Growth	
(*)	JO	34	Grey Owl Juniper	Juniperus virginiana 'Grey Owl'	5 gal			Full, Healthy, Even Growth	
(*)	LC	161	Jazz Hands Loropetalum	Loropetalum chinense 'Jazz Hands'	5 gal			Full, Healthy, Even Growth	
(*)	MA	64	Oregon Grape	Mahonia aquifolium 'Apollo'	5 gal			Full, Healthy, Even Growth	
GRASSES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	HEIGHT	SPREAD	REMARKS	
(*)	MS	33	Flame Grass	Miscanthus sinensis 'Purpureus'	5 gal			Full, Healthy, Even Growth	
(*)	ML	63	Autumn Glow Muhly	Muhlenbergia lindheimeri 'Lent'	5 gal			Full, Healthy, Even Growth	
(*)	PA	56	Oriental Fountain Grass	Pennisetum alopecuroides 'Mouduy'	3 gal			Full, Healthy, Even Growth	
GROUND COVERS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	SPACING	SPACING	REMARKS	
(*)	EF	13,427 sf	Coloratus Purple Wintercreeper	Euonymus fortunei 'Coloratus'	Flat	12" o.c.		Full, Healthy, with Runners	
(*)	LV	865 sf	Variegated Lily Turf	Liriope muscari 'Variegata'	Flat	12" o.c.		Full, Healthy, Even Growth	
(*)	SC	449 sf	Seasonal Color	Seasonal Color	--	Per Owner		Per Owner	
(*)	TURF	56,845 sf	Turf Grass	Turf Grass	Seed	N/A			
(*)	WM	8,147 sf	Wildflower Mix	Wildflower Mix	Seed	N/A			
(*)	DG	229 sf	Decomposed Granite	--	--				
(*)	---	1100 lf	6" Superior Concrete Screen Wall	--	--			Cobble Pattern, Color to Complement Building	

TREE MITIGATION:	
CALIBER INCHES REMOVED	184 CALIBER INCHES
REPLACEMENT 18 INCH PER INCH OR PAY TO RESTORATION FUND	184 CALIBER INCHES
REPLACEMENT CALIBER INCHES	184 CALIBER INCHES
TOTAL REPLACEMENT REQUIRED:	184 CALIBER INCHES
CALIBER INCHES REPLACED ON SITE:	242 CALIBER INCHES

TOTAL LOT AREA: 3.928 ACRES	
LANDSCAPE OPEN AREA:	1.912 ACRES (48.7%)
REQUIRED: 15% OF TOTAL SITE (3,328 SF ± 39 ACRES)	3,328 SF (2.1 ACRES)
PROVIDED: 11,912 SF (2.1 ACRES)	
COMMON RECREATION SPACE:	1,100 SF (0.25 ACRES)
REQUIRED: 10% OF TOTAL SITE (3,928 SF ± 39 ACRES)	3,928 SF (1.0 ACRES)
PROVIDED: 22,000 SF (2.1 ACRES)	

CITY OF NORTH RICHLAND HILLS, TX LANDSCAPE BUFFER REQUIREMENTS	
B. LANDSCAPE BUFFER ADJACENT TO DAVIS BLVD. RIGHT-OF-WAY:	
• 1 LARGE TREE PER 50 LF OR FRACTION THEREOF.	
• REQUIRED: 9'10" LF / 50' ± 2 TREES	
• PROVIDED: 12 PROPOSED TREES + 1 EXISTING TREE TO REMAIN + 13 TREES	
• 10 SMALL SHRUBS PER 50 LF OR FRACTION THEREOF.	
• REQUIRED: 9'10" LF / 10' ± 21 SMALL SHRUBS	
• PROVIDED: 91 SMALL SHRUBS	
B. LANDSCAPE BUFFER ADJACENT TO RESIDENTIAL ZONING:	
• REQUIRED: 6'-8" MASONRY SCREENING WALL REQUIRED.	
• 6" MASONRY SCREENING WALL PROVIDED ON NORTH, NORTHEAST, EAST, AND SOUTH PROPERTY LINES.	
• 1 LARGE TREE PER 30 LF OR FRACTION THEREOF (40% REQUIRED TO BE EVERGREEN)	
• SOUTH BUFFER:	
• REQUIRED: 496 LF / 30' ± 11 TREES (7 EVERGREEN)	
• PROVIDED: 11 TREES (11 EVERGREEN)	
• EAST BUFFER:	
• REQUIRED: 376 LF / 30' ± 13 TREES (9 EVERGREEN)	
• PROVIDED: 14 TREES (9 EVERGREEN)	
• NORTHEAST BUFFER:	
• REQUIRED: 148 LF / 30' ± 5 TREES (2 EVERGREEN)	
• PROVIDED: EXISTING + 4 TREES (2 EVERGREEN)	
• NORTH BUFFER:	
• REQUIRED: 124 LF / 30' ± 4 TREES (2 EVERGREEN)	
• PROVIDED: EXISTING + 3 TREES (2 EVERGREEN)	
PARKING LOT TREES:	
• REQUIREMENT: 1 TREE REQUIRED PER 20 PARKING STALLS, NO STALL TO BE MORE THAN 100' FROM A TREE.	
• REQUIRED: 42 TOTAL SPACES / 20' ± 3 TREES	
• PROVIDED: 4 SHADE TREES + 3 ORNAMENTAL TREES	

- LANDSCAPE NOTES:**
- Contractor shall stake out tree locations and bed configuration for approval by owner prior to installation.
 - Contractor is responsible for verifying location of all underground utilities prior to construction.
 - It is the responsibility of the contractor to advise the owner's representative of any condition found on site which prohibits installation as shown on these plans.
 - All landscape planting areas illustrated shall be graded smooth with three inches (3") of topsoil and three inches (3") organic compost applied and consistently blended (tilled) to a depth of nine inches (9"). If adequate or sufficient topsoil is not available on site, the Contractor shall provide topsoil per the specifications and approved by the Owner. To obtain final grade, excavation may be necessary to accept the required depth of topsoil/compost mix with surface dressing or mulch. All beds shall be crowned to anticipate settlement and ensure drainage without disrupting surrounding planned drainage paths. Any areas disturbed for any reason prior to final acceptance of the project shall be corrected by the Contractor at no additional expense to the Owner.
 - All shrub and groundcover beds shall have a minimum of 3" of hardwood bark mulch.
 - Landscape edging shall be located as shown on plan.
 - Trees overhanging walks shall have a clear trunk height of seven feet.
 - All plant material shall be maintained in a healthy and growing condition and must be replaced with plant material of similar variety and size if damaged, destroyed, or removed.
 - Quantities shown on these plans are for reference only. The Contractor has full responsibility to provide coverage in all planting areas as specified.
 - Landscape areas shall be kept free of trash, litter and weeds.
 - An automatic irrigation system shall be provided to maintain all landscape areas. Over spray on structures and walks is prohibited. A permit from the building inspection department is required for each irrigation system. Impact fees must be paid to the development services department for separate irrigation meters prior to any permit release.
 - All landscape areas must be watered by an automatic underground irrigation system equipped with rain and freeze sensors.
 - All large and ornamental trees must on bubbler/drip irrigation on separate zones from turf grass.
 - Irrigation Controller to have a Rain and Freeze Sensor(s).

The John R. McAdams Company, Inc.
(DBA: G&K | McAdams)
Landscape Architects
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TBE: 19762 TBE: 1019440
www.jrmc.com

CENTURY HILLS
3.980 Acres
in the
S. RICHARDSON SURVEY, ABSTRACT NO. 1266
CITY OF NORTH RICHLAND HILLS
TARRANT COUNTY, TEXAS

LANDSCAPE PLAN

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW, AGENCY APPROVAL, AND COMMENT UNDER THE AUTHORITY OF JEREMY W. NELSON
LANDSCAPE ARCHITECT No. 3102, ON 2/24/2020
THIS DOCUMENT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

Drawn By: JN
Date: 02/19/2020
Scale: #####
Revisions:
04/08/2020
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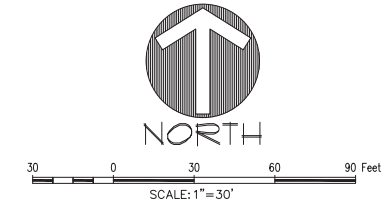
Case IC 2020-03
OWNER/DEVELOPER
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1400 CORPORATE CENTER CURVE, SUITE 100
NORTH RICHLAND HILLS, TX
Ph. (803) 608-6926
Contact: Brian Scott

SPEC-19238

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PLANT SCHEDULE								
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	WM	8,147 sf	Wildflower Mix	Wildflower Mix	Seed	N/A		
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LANDSCAPE PLAN

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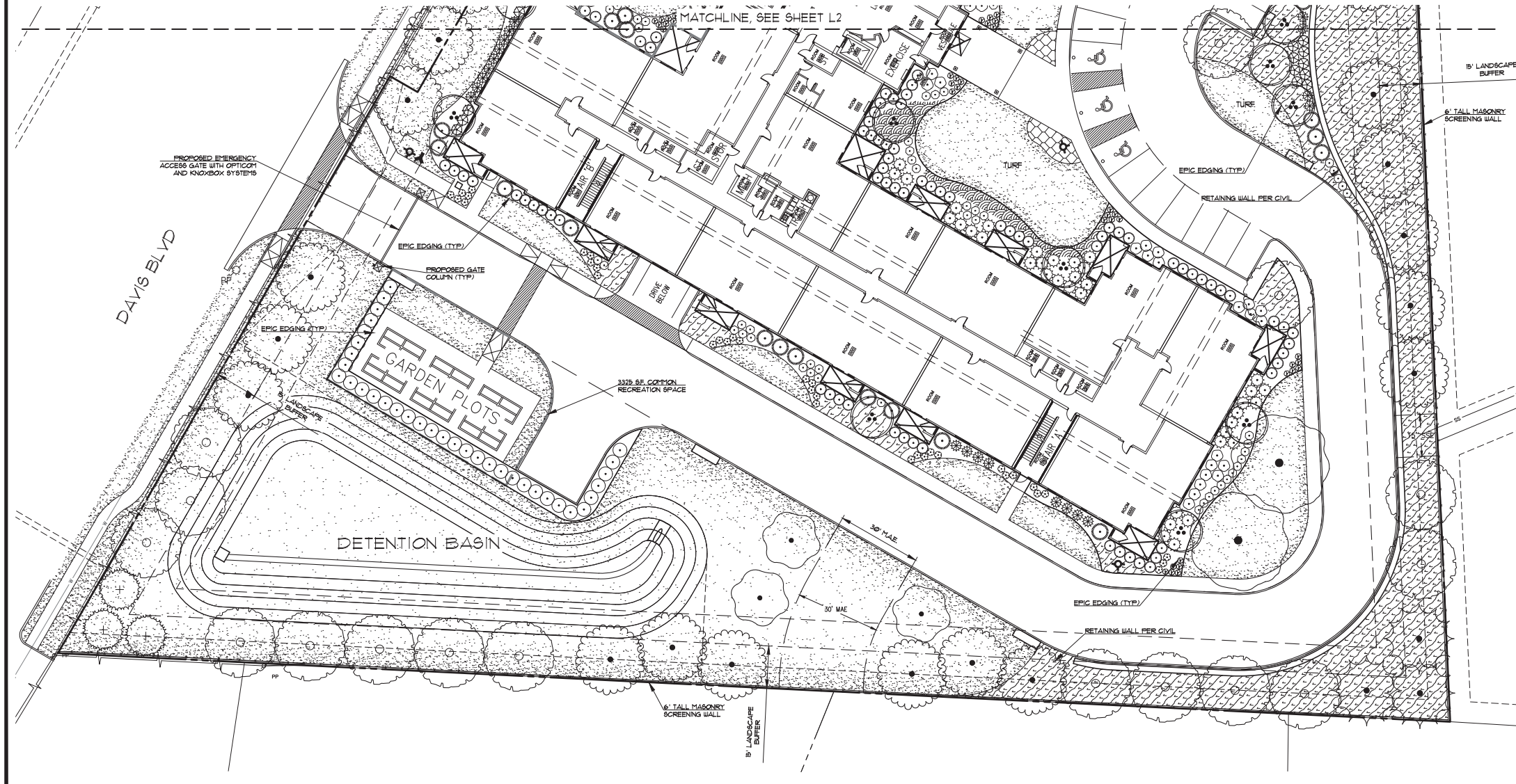
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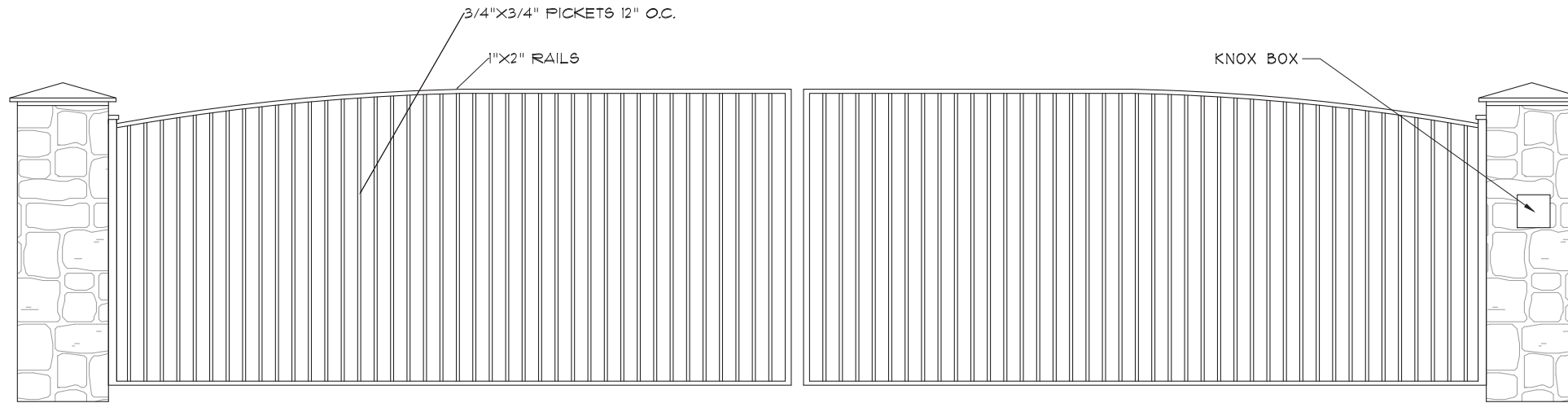
SPEC-19238

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Case IC 2020-03
OWNER/DEVELOPER
REAL ESTATE EQUITIES DEVELOPMENT, LLC
1400 CORPORATE CENTER CURVE, SUITE 100
NORTH RICHLAND HILLS, TX
PH. (817) 608-4826
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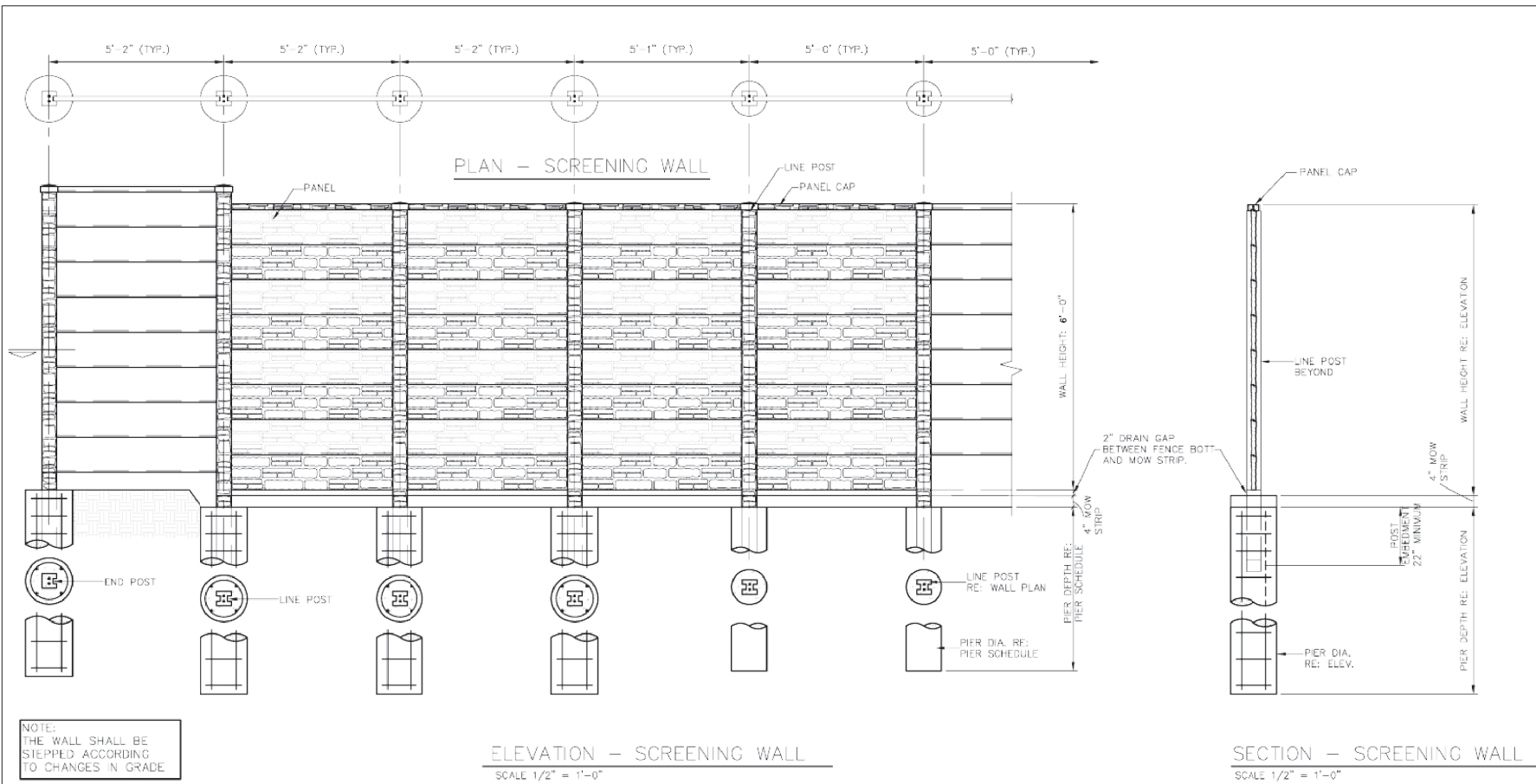
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NOTES:
 1. DETAIL IS PROVIDED TO ILLUSTRATE DESIGN INTENT ONLY.
 2. COLUMN SUPPORTS TO BE PER MANUFACTURER AND STRUCTURAL ENGINEER.

① EMERGENCY ACCESS GATE
 NOT TO SCALE



NOTE:
 THE WALL SHALL BE
 STEPPED ACCORDING
 TO CHANGES IN GRADE

ELEVATION - SCREENING WALL
 SCALE 1/2" = 1'-0"

SECTION - SCREENING WALL
 SCALE 1/2" = 1'-0"

Case IC 2020-03

OWNER/DEVELOPER
 REAL ESTATE EQUITIES DEVELOPMENT, LLC
 1400 CORPORATE CENTER CURVE, SUITE 100
 NORTH RICHLAND HILLS, TX
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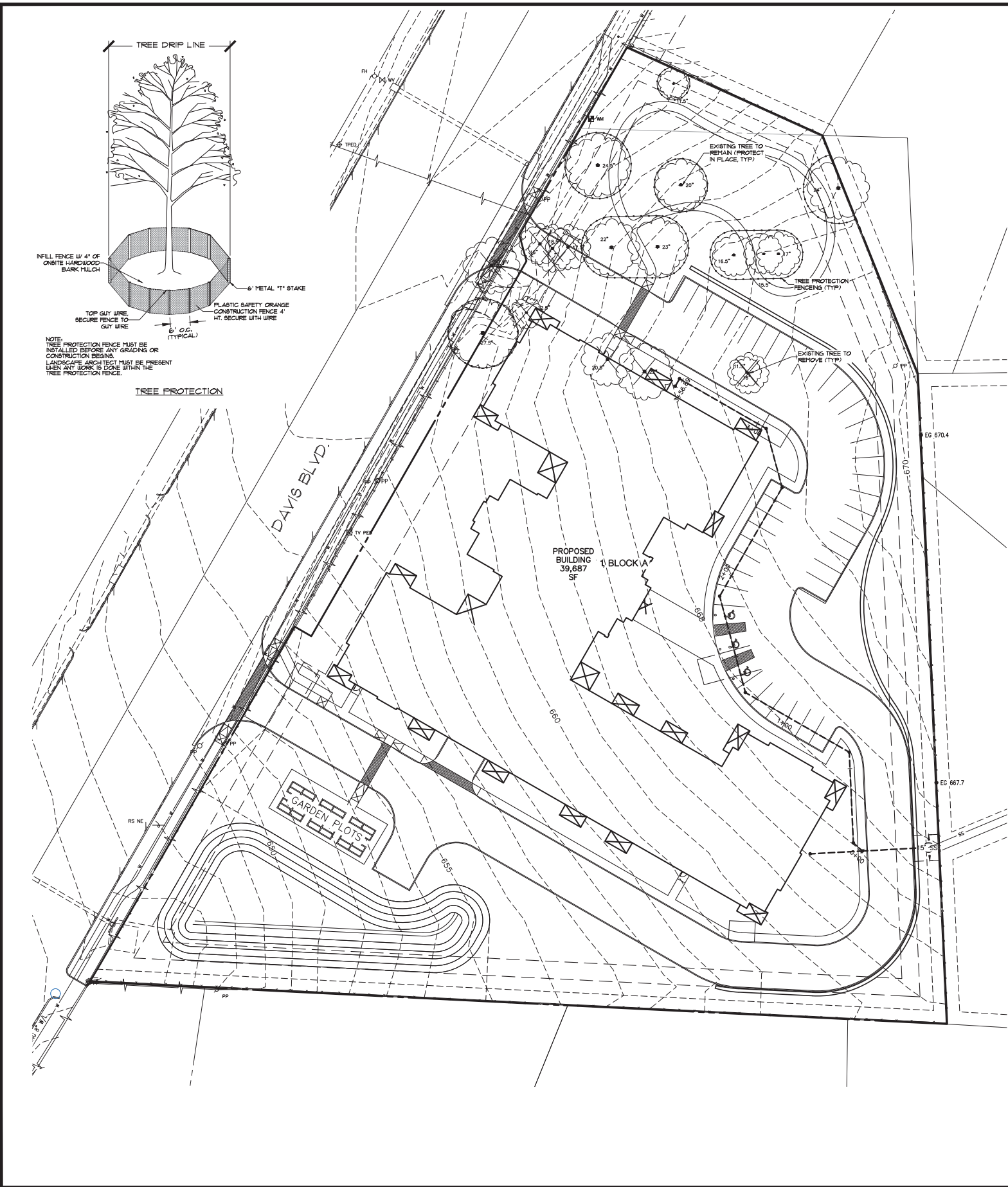
LANDSCAPE DETAILS

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SPEC-19238

L4



LEGEND

- EXISTING TREE
- EXISTING TREE TO BE REMOVED
- PROTECTED TREE FENCING

NORTH

0 30 60 90 Feet

SCALE: 1"=30'

List #	Tag #	Caliper (in.)	Common Name	Botanical Name	Protected	Removed	Remarks
1	584	24	Post Oak	Quercus stellata	Yes	No	
2	585	17	Eastern Red Cedar	Juniperus virginiana	Yes	No	
3	586	15.5	Eastern Red Cedar	Juniperus virginiana	Yes	No	
4	587	16.5	Eastern Red Cedar	Juniperus virginiana	Yes	No	
5	588	20	Black Jack Oak	Quercus marilandica	Yes	No	
6	589	11.5	Black Jack Oak	Quercus marilandica	Yes	No	
7	590	24.5	Black Jack Oak	Quercus marilandica	Yes	No	
8	591	22	Post Oak	Quercus stellata	Yes	Yes	
9	592	16	Black Jack Oak	Quercus marilandica	Yes	Yes	
10	593	18.5	Black Jack Oak	Quercus marilandica	Yes	Yes	
11	594	17.5	Black Jack Oak	Quercus marilandica	Yes	Yes	
12	595	22	Post Oak	Quercus stellata	Yes	No	
13	596	23	Post Oak	Quercus stellata	Yes	No	
14	597	11.5	Black Jack Oak	Quercus marilandica	Yes	Yes	
15	598	16	Black Jack Oak	Quercus marilandica	Yes	Yes	
16	599	22	Cedar Elm	Ulmus crassifolia	Yes	Yes	
17	600	20.5	Cedar Elm	Ulmus crassifolia	Yes	Yes	
18	401	12.5	Cedar Elm	Ulmus crassifolia	Yes	Yes	
19	402	27.5	Cedar Elm	Ulmus crassifolia	Yes	Yes	

TREE REMOVAL CALCULATIONS

CALIPER INCHES REMOVED	184 CALIPER INCHES
MITIGATION REQUIREMENTS	REPLACEMENT IS INCH PER INCH OR PAY TO RESTORATION FUND
TOTAL REPLACEMENT CALIPER INCHES	SIXTY (61) 3 INCH CALIPER TREES
	TOTAL: 184 CALIPER INCHES

- TREE PRUNING, REMOVAL AND PROTECTION MEASURES**
- A. QUALITY ASSURANCE**
- 1) Comply with applicable Federal, state, county and local regulations governing landscape work.
 - 2) employ only experienced personnel. Provide adequate supervision by qualified foreman.
- B. JOB CONDITIONS**
- 1) Coordinate and cooperate with other contractors to enable the work to proceed as rapidly and efficiently as possible.
 - 2) In order to minimize conflict, secure from the Construction Manager copies of layout drawings showing the location of all underground utility lines and other structures.
- C. PRODUCTS**
- 1) **MULCH:** Double shredded hardwood mulch free of sticks, dirt and other debris and derived from the site clearing.
- D. DEFINITIONS**
- 1) **CRZ - Critical Root Zone:** The soil space directly under the canopy of any tree, extending out at least 7 feet from the trunk or 2/3 the distance to the drip-line, whichever is greater.
 - 2) **TPZ - Tree Protection Zone:** The entire soil space located directly under the drip-line of any tree (the entire drip-line).
 - 3) **CRS - Complete Root System:** The soil space directly under the drip-line of any tree and an additional 7 feet beyond said drip-line.
 - 4) **TPF - Tree Protection Fence:** The orange safety barrier netting that shall extend around the entire circumference of the tree at the TPZ.
- E. PRE-CONSTRUCTION TREE PRUNING**
- 1) Personnel Qualifications: All pruning shall be performed under the supervision of an international Society of Arboriculture (ISA) Certified Arborist.
 - 2) All trees within the project area shall be pruned to:
 - (i) Clear the crown of diseased, crossing, weak and dead wood to a minimum of 1 inch in diameter
 - (ii) Provide 14 feet of vertical clearance over streets and 8 feet over sidewalks.
 - (iii) Remove stubs, cutting outside the wood-wood tissue that has formed around the branch.
 - (iv) Reduce end weight on heavy, horizontal branches by selectively removing small diameter branches, no greater than 2 to 3 inches, near the ends of the scaffolds.
 - 3) Pruning cuts shall be made in accordance with ANSI 300 Pruning Standard and work shall be performed in accordance with ANSI Z133.1 Safety Standards. Pruning shall be in accordance with ISA's Best Management Practices: Tree Pruning
 - 4) No more than 20 percent of live foliage shall be removed from any tree.
 - 5) Brush shall be chipped and chips shall be spread underneath trees within the tree protection zone to a maximum depth of 4 inches, leaving the trunk clear of mulch.
- F. TREE REMOVAL**
- 1) Trees preservation requires a commitment to preserving and maintaining retained trees, as well as removal of any unsalvaged trees within the Project Area.
 - 2) All wood debris from all tree removals at the Project Site is to be chipped and stored on site for use in the tree preservation efforts at the discretion of the Landscape Architect.
 - 3) The limits of all tree protection zones shall be staked in the field and observed by all contractors.
 - 4) Any brush clearing required within the tree protection zone shall be accomplished with hand operated equipment.
 - 5) Trees to be removed from within the tree protection zone shall be removed under the supervision of a Certified Arborist. The trees shall be cut near ground level and the stump ground out.
- G. TREE PROTECTION**
- 1) Before beginning work, the Project Manager, Landscape Architect and/or Owner or their agents are required to meet at the site to review all work procedures, access routes, storage areas, and tree protection measures. Any extended construction activities inside the TPZ shall be clearly outlined.
 - 2) If the site requires construction within the drip-line of a specimen tree, Town of Flower Mound will require a letter from a certified arborist about measures to mitigate the impact of construction.
 - 3) Fences shall be erected to protect trees to be preserved prior to construction equipment arriving on the Project Site. Fences will define the specific protection zone for each tree or group of trees.
 - 4) Fences are to be maintained and remain until all site work has been completed and final landscape operations begin. Fences may not be relocated or removed without written permission from the Landscape Architect. Fences may be constructed from 6" T" stakes and orange web fence material.
 - 5) All trees to be preserved shall have 4 inches of hardwood mulch applied inside the tree protection zone. This hardwood mulch shall be replenished as necessary to maintain a 4 inch depth.
 - 6) Construction trailers, traffic and storage areas must remain outside fenced areas at all times.
 - 7) Tree roots extend out in a straight, radial direction from the tree much like spokes on a wheel (to a depth generally not exceeding 24"). All underground utilities and drain or irrigation lines shall be routed outside the tree protection zone. If lines must traverse the protection area, they shall be tunnelled or bored under the tree. Trenches "air dug" with Air Spade (registered trademark) or similar technology are the exceptions. Irrigation line may routed in any direction outside the drip-line of retained trees. Irrigation lines inside the drip-line must be in a straight, radial direction towards the tree trunk and terminate in a dead end sprinkler head no greater than 7 feet from a tree trunk (irrigation lines shall not in any way bisect and therefore damage the "spoke-like" root system).
 - 8) No materials, equipment, spoil, or waste or washout water may be deposited, stored, or parked within the tree protection zone.
 - 9) If unintentional injury should occur to any tree during construction, it shall be reported to the Landscape Architect within six hours so that remedial action can be taken. Timeliness is critical to tree health. The cost of any remedial treatments will become the burden of the offending contracting company.
 - 10) Any grading, construction, demolition, or other work that is expected to encounter tree roots must be monitored by the Landscape Architect. Specific locations or tree tag numbers should be identified.

The "S" in the title block indicates that the project is a special use project. The "S" in the title block indicates that the project is a special use project.

MCADAMS

CENTURY HILLS
 3.980 Acres
 in the
 S. RICHARDSON SURVEY, ABSTRACT NO. 1266
 CITY OF NORTH RICHLAND HILLS
 TARRANT COUNTY, TEXAS

TREE PRESERVATION PLAN

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW, AGENCY APPROVAL AND COMMENT UNDER THE AUTHORITY OF JEREMY W. NELSON, LANDSCAPE ARCHITECT No. 382, ON 02/04/2020. THIS DOCUMENT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

Drawn By:	JN
Date:	02/19/2020
Scale:	1"=30'
Revisions:	
04/08/2020	
04/22/2020	

Case IC 2020-03
 OWNER/DEVELOPER
 REAL ESTATE EQUITIES DEVELOPMENT, LLC
 1400 CORPORATE CENTER CURVE, SUITE 100
 NORTH RICHLAND HILLS, TX
 Ph. (808) 608-6826
 Contact: Brian Scott

SPEC-19238

CENTURY HILLS



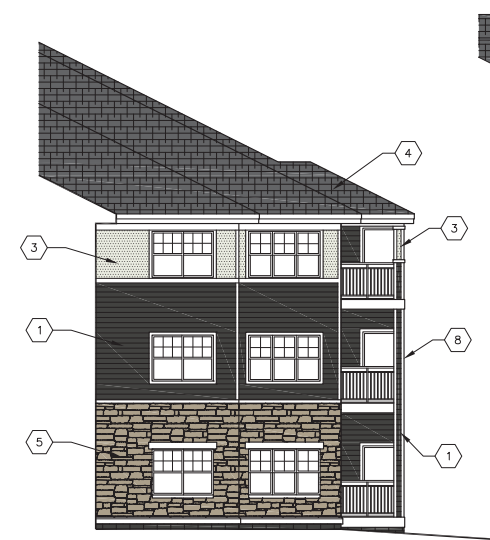
5 EXTERIOR ELEVATION
 SCALE: 1/8" = 1'-0"

SECONDARY FACADE AREA: 1034 SF (51.7%)
 GLAZING AREA: 1034 SF (51.7%)
 TOTAL FACADE SUBTRACTING GLAZING: 3025 SF
 UNRESTRICTED WALL AREA: 888 SF (43.9%)
 RESTRICTED WALL AREA: 2637 SF (132.1%)



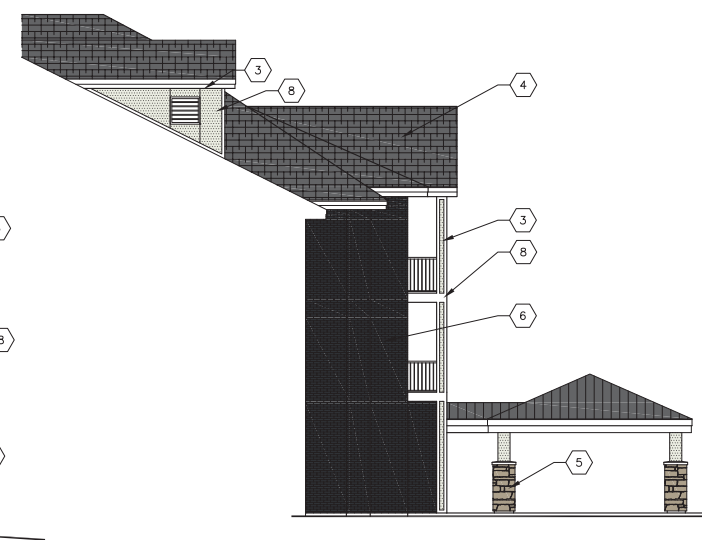
4 EXTERIOR ELEVATION
 SCALE: 1/8" = 1'-0"

SECONDARY FACADE AREA: 1958 SF (97.9%)
 GLAZING AREA: 306 SF (15.3%)
 TOTAL FACADE SUBTRACTING GLAZING: 1558 SF
 UNRESTRICTED WALL AREA: 846 SF (42.3%)
 RESTRICTED WALL AREA: 722 SF (36.1%)



3 EXTERIOR ELEVATION
 SCALE: 1/8" = 1'-0"

SECONDARY FACADE AREA: 718 SF (35.9%)
 GLAZING AREA: 119 SF (5.9%)
 TOTAL FACADE SUBTRACTING GLAZING: 549 SF
 UNRESTRICTED WALL AREA: 333 SF (16.7%)
 RESTRICTED WALL AREA: 310 SF (15.5%)



2 EXTERIOR ELEVATION
 SCALE: 1/8" = 1'-0"

SECONDARY FACADE AREA: 348 SF (17.4%)
 GLAZING AREA: 2 SF (0.1%)
 TOTAL FACADE SUBTRACTING GLAZING: 346 SF
 UNRESTRICTED WALL AREA: 333 SF (16.7%)
 RESTRICTED WALL AREA: 13 SF (0.6%)



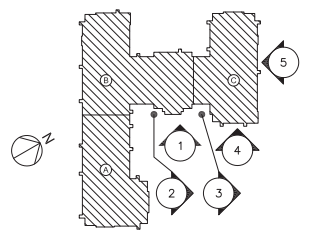
1 EXTERIOR ELEVATION
 SCALE: 1/8" = 1'-0"

SECONDARY FACADE AREA: 3145 SF (157.3%)
 GLAZING AREA: 22 SF (1.1%)
 TOTAL FACADE SUBTRACTING GLAZING: 2423 SF
 UNRESTRICTED WALL AREA: 1184 SF (59.2%)
 RESTRICTED WALL AREA: 1239 SF (61.5%)

- ELEVATION KEY NOTES:
- 1 FIBER CEMENT LAP SIDING - COLOR 1 - SW IRON ORE 7068
 - 2 FIBER CEMENT BOARD & BATTEN - COLOR 2 - SW CITYSCAPE 7067
 - 3 FIBER CEMENT BOARD PANEL - SW INCREDIBLE WHITE 7028
 - 4 ASPHALT SHINGLES
 - 5 STONE VENEER - MUTUAL MATERIALS SCULPTED ASHLAR - SILVER SHORE
 - 6 BRICK VENEER - MUTUAL MATERIALS - EBONY - MISSION TEXTURE
 - 7 FOUNDATION WALL, CMU OR ROCK FACE FORMED CONCRETE SW IRON ORE 7068
 - 8 FIBER CEMENT TRIM - WHITE



A MONUMENT SIGN ELEVATION
 SCALE: 1/2" = 1'-0"

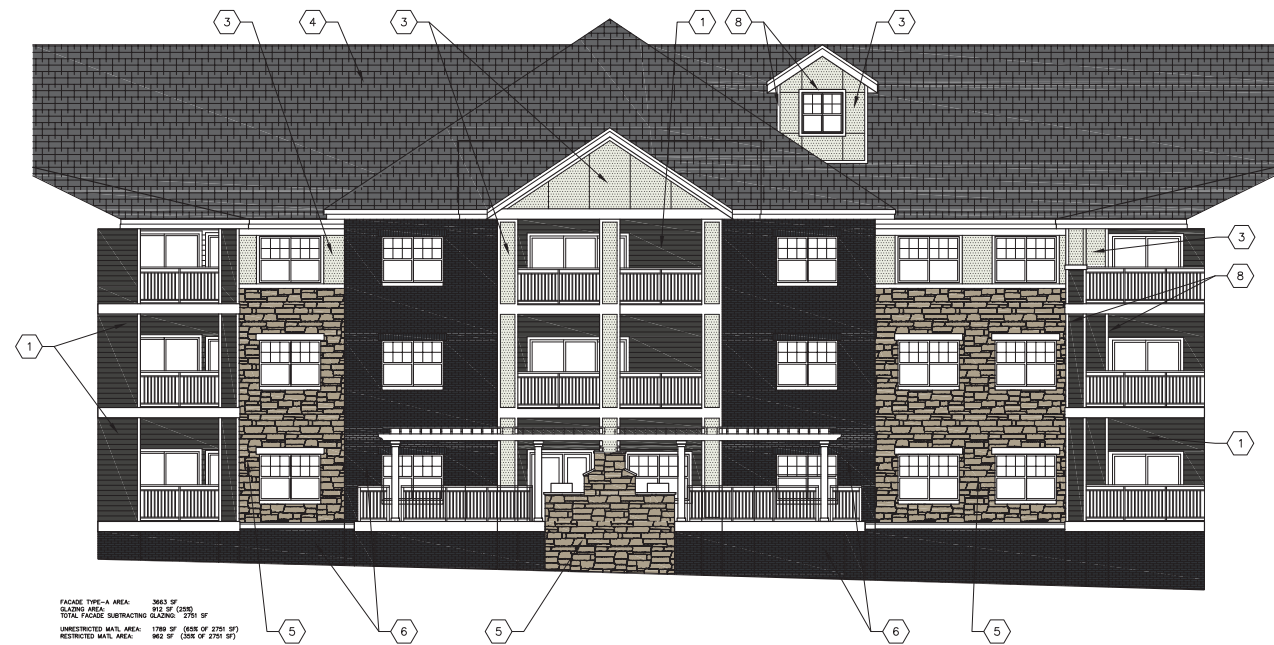


(Case ZC 2020-03)



PRIMARY FACADE AREA: 2143 SF
GLAZING AREA: 457 SF (21%)
TOTAL FACADE SUBTRACTING GLAZING: 1728 SF
UNRESTRICTED WALL AREA: 1086 SF (50% OF 1728 SF)
RESTRICTED WALL AREA: 646 SF (37% OF 1728 SF)

4 EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



FACADE TYPE-A AREA: 2863 SF
GLAZING AREA: 592 SF (21%)
TOTAL FACADE SUBTRACTING GLAZING: 2751 SF
UNRESTRICTED WALL AREA: 1756 SF (64% OF 2751 SF)
RESTRICTED WALL AREA: 942 SF (34% OF 2751 SF)

3 EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



PRIMARY FACADE AREA: 2208 SF
GLAZING AREA: 267 SF (12%)
TOTAL FACADE SUBTRACTING GLAZING: 1941 SF
UNRESTRICTED WALL AREA: 892 SF (46% OF 1941 SF)
RESTRICTED WALL AREA: 749 SF (39% OF 1941 SF)

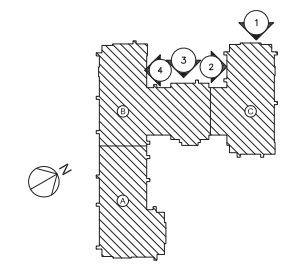
2 EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



PRIMARY FACADE AREA: 1206 SF
GLAZING AREA: 251 SF (21%)
TOTAL FACADE SUBTRACTING GLAZING: 1035 SF
UNRESTRICTED WALL AREA: 1465 SF (84% OF 1555 SF)
RESTRICTED WALL AREA: 90 SF (6% OF 1555 SF)

1 EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

- ELEVATION KEY NOTES:
- 1 FIBER CEMENT LAP SIDING - COLOR 1 - SW IRON ORE 7068
 - 2 FIBER CEMENT BOARD & BATTEN - COLOR 2 - SW CITYSCAPE 7067
 - 3 FIBER CEMENT BOARD PANEL - SW INCREDIBLE WHITE 7028
 - 4 ASPHALT SHINGLES
 - 5 STONE VENEER - MUTUAL MATERIALS
SCULPTED ASHLAR - SILVER SHORE
 - 6 BRICK VENEER - MUTUAL MATERIALS - EBONY - MISSION TEXTURE
 - 7 FOUNDATION WALL, CMU OR ROCK FACE FORMED CONCRETE
SW IRON ORE 7068
 - 8 FIBER CEMENT TRIM - WHITE



(Case ZC 2020-03)



2A EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



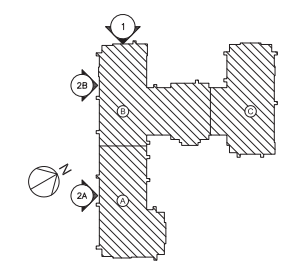
2B EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



1 EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION KEY NOTES:

- 1 FIBER CEMENT LAP SIDING - COLOR 1 - SW IRON ORE 7068
- 2 FIBER CEMENT BOARD & BATTEN - COLOR 2 - SW CITYSCAPE 7067
- 3 FIBER CEMENT BOARD PANEL - SW INCREDIBLE WHITE 7028
- 4 ASPHALT SHINGLES
- 5 STONE VENEER - MUTUAL MATERIALS
SCULPTED ASHLAR - SILVER SHORE
- 6 BRICK VENEER - MUTUAL MATERIALS - EBONY - MISSION TEXTURE
- 7 FOUNDATION WALL, CMU OR ROCK FACE FORMED CONCRETE
SW IRON ORE 7068
- 8 FIBER CEMENT TRIM - WHITE





3 EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



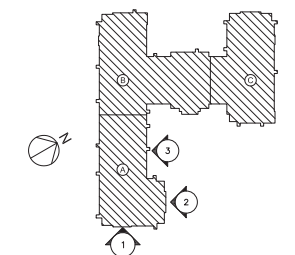
2 EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



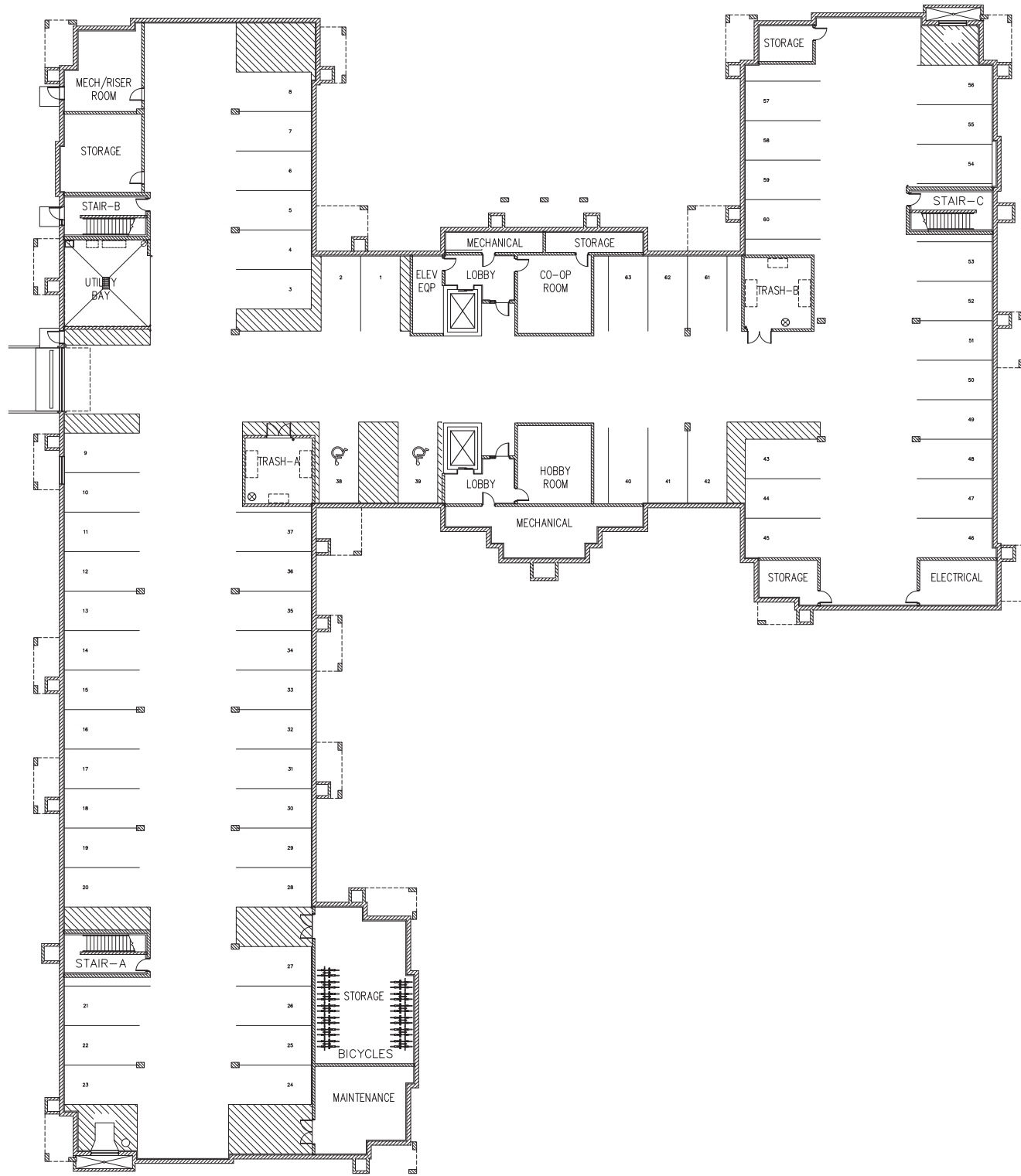
1 EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION KEY NOTES:

- 1 FIBER CEMENT LAP SIDING - COLOR 1 - SW IRON ORE 7068
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SW IRON ORE 7068
- 8 FIBER CEMENT TRIM - WHITE



(Case ZC 2020-03)



1 OVERALL GARAGE FLOOR PLAN
SCALE: 1/16" = 1'-0"



(Case ZC 2020-03)

Real Estate Equities Architecture, LLC
1400 Corporate Center Curve, Suite 100
Eagan, MN 55121
Phone: 651-766-8310
www.rearchitecture.com

REAL ESTATE EQUITIES
Architecture, LLC

PROJECT:
VILLAGE COOPERATIVE OF CENTURY HILLS
NORTH RICHLAND HILLS, TEXAS

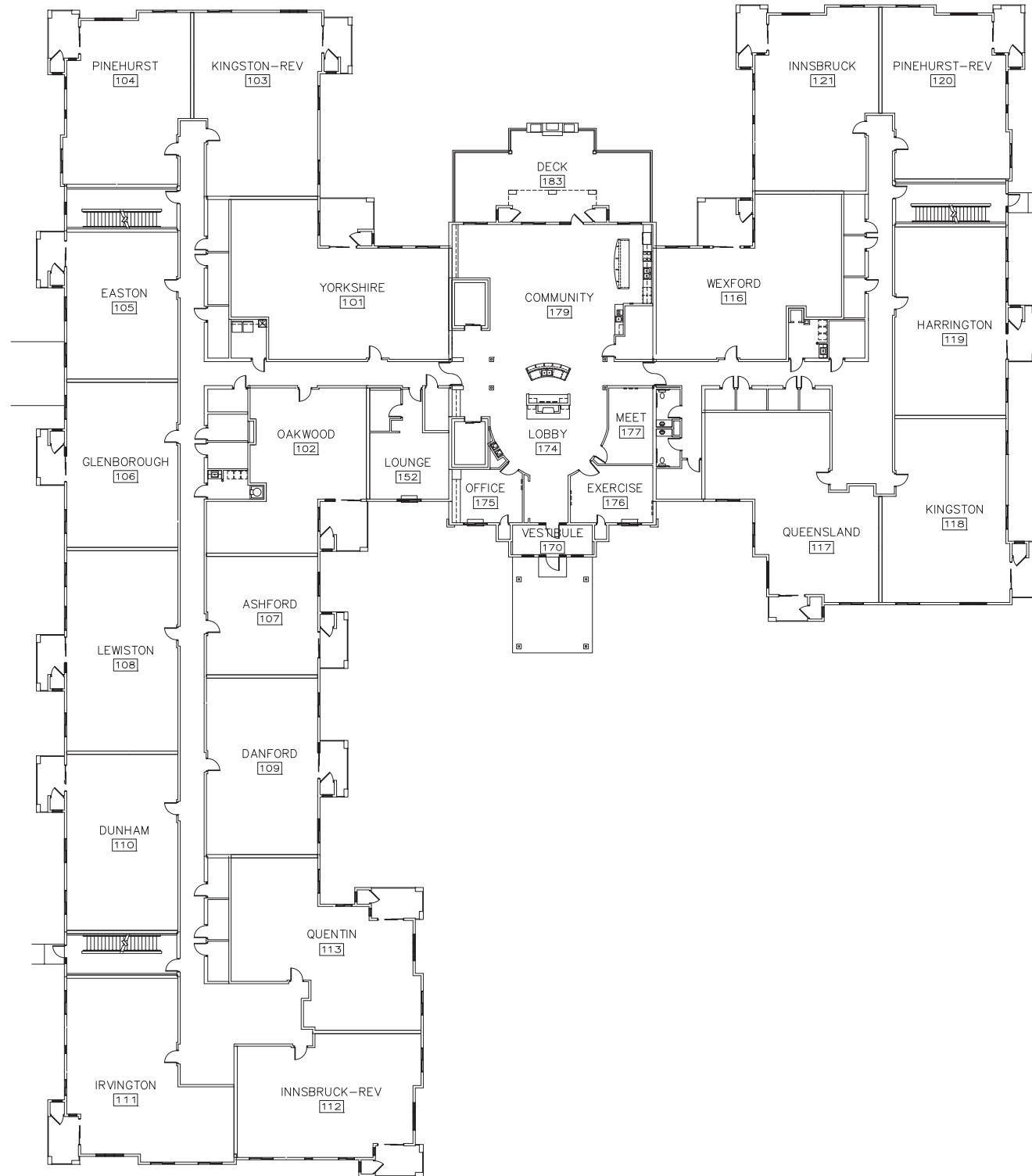
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OVERALL GARAGE FLOOR PLAN

PROJECT NO:
19-03

DATE:
2-19-2020

REVISIONS:
4-21-2020

A2.0



1 OVERALL FIRST FLOOR PLAN
SCALE: 1/16" = 1'-0"



(Case ZC 2020-03)

Real Estate Equities Architecture, LLC
1400 Corporate Center Curve, Suite 100
Eagan, MN 55121
Phone: 651-766-8310
www.rearchitecture.com

REAL ESTATE EQUITIES
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PROJECT:
VILLAGE COOPERATIVE OF CENTURY HILLS
NORTH RICHLAND HILLS, TEXAS

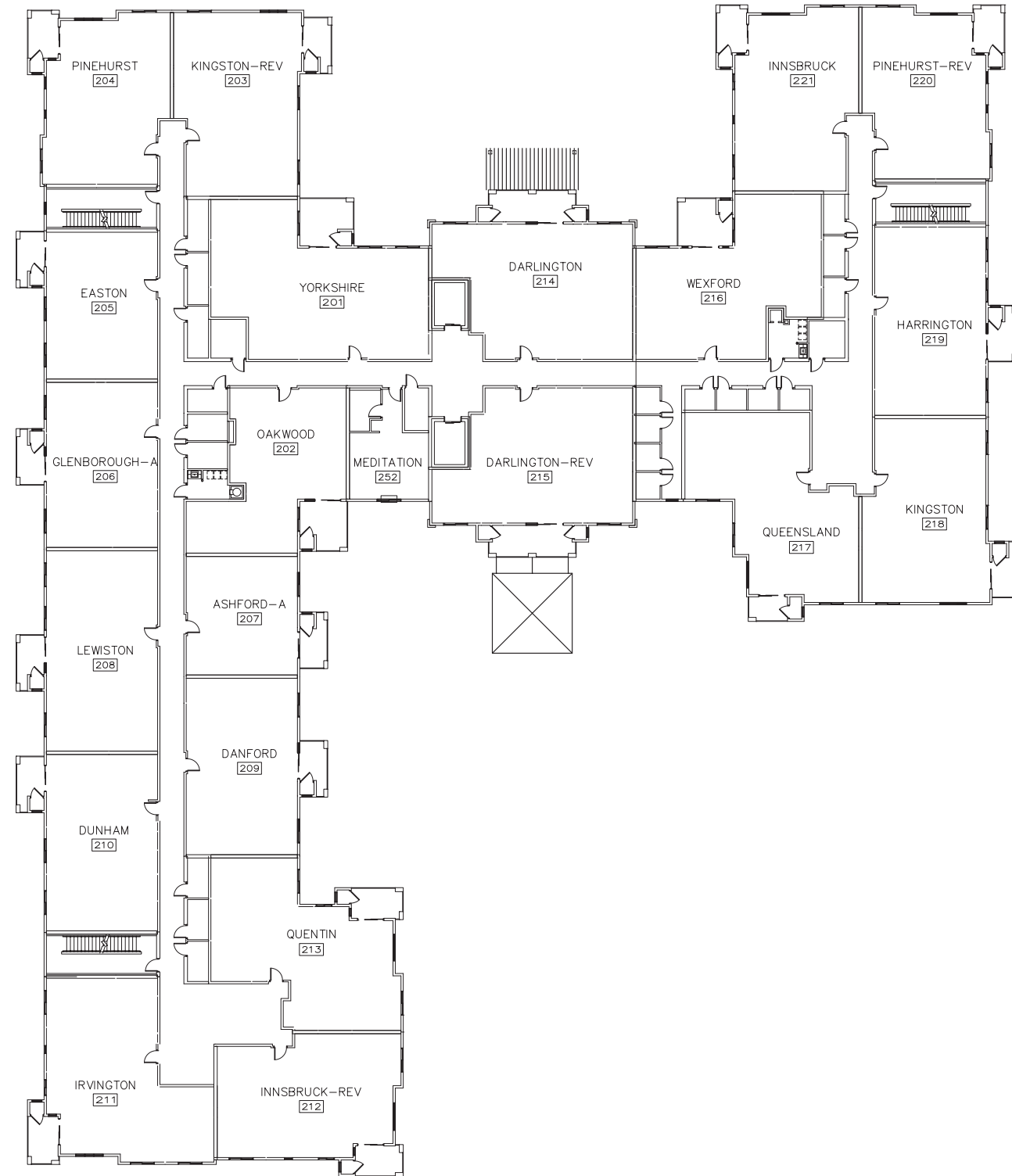
SHEET TITLE:
OVERALL
FIRST FLOOR PLAN

PROJECT NO:
19-03

DATE:
2-19-2020

REVISIONS:
4-21-2020

A2.1



1 OVERALL SECOND FLOOR PLAN
SCALE: 1/16" = 1'-0"



(Case ZC 2020-03)

PROJECT:
VILLAGE COOPERATIVE OF CENTURY HILLS
NORTH RICHLAND HILLS, TEXAS

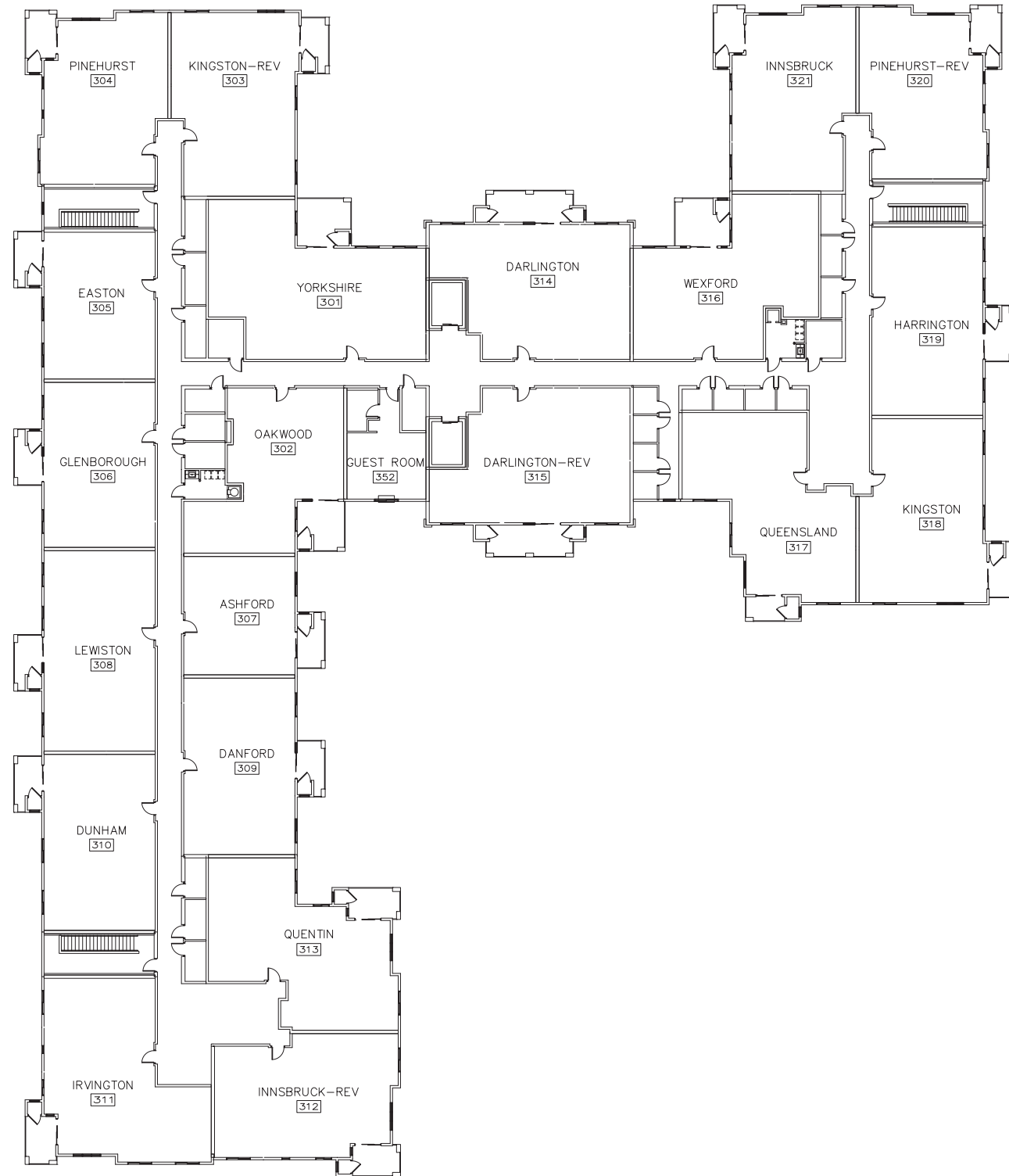
SHEET TITLE:
OVERALL
SECOND FLOOR PLAN

PROJECT NO:
19-03

DATE:
2-19-2020

REVISIONS:
4-21-2020

A2.2



1 OVERALL THIRD FLOOR PLAN
SCALE: 1/16" = 1'-0"



(Case ZC 2020-03)

Real Estate Equities Architecture, LLC
1400 Corporate Center Curve, Suite 100
Eagan, MN 55121
Phone: 651-766-8310
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REAL ESTATE EQUITIES
Architecture, LLC

PROJECT:
VILLAGE COOPERATIVE OF CENTURY HILLS
NORTH RICHLAND HILLS, TEXAS

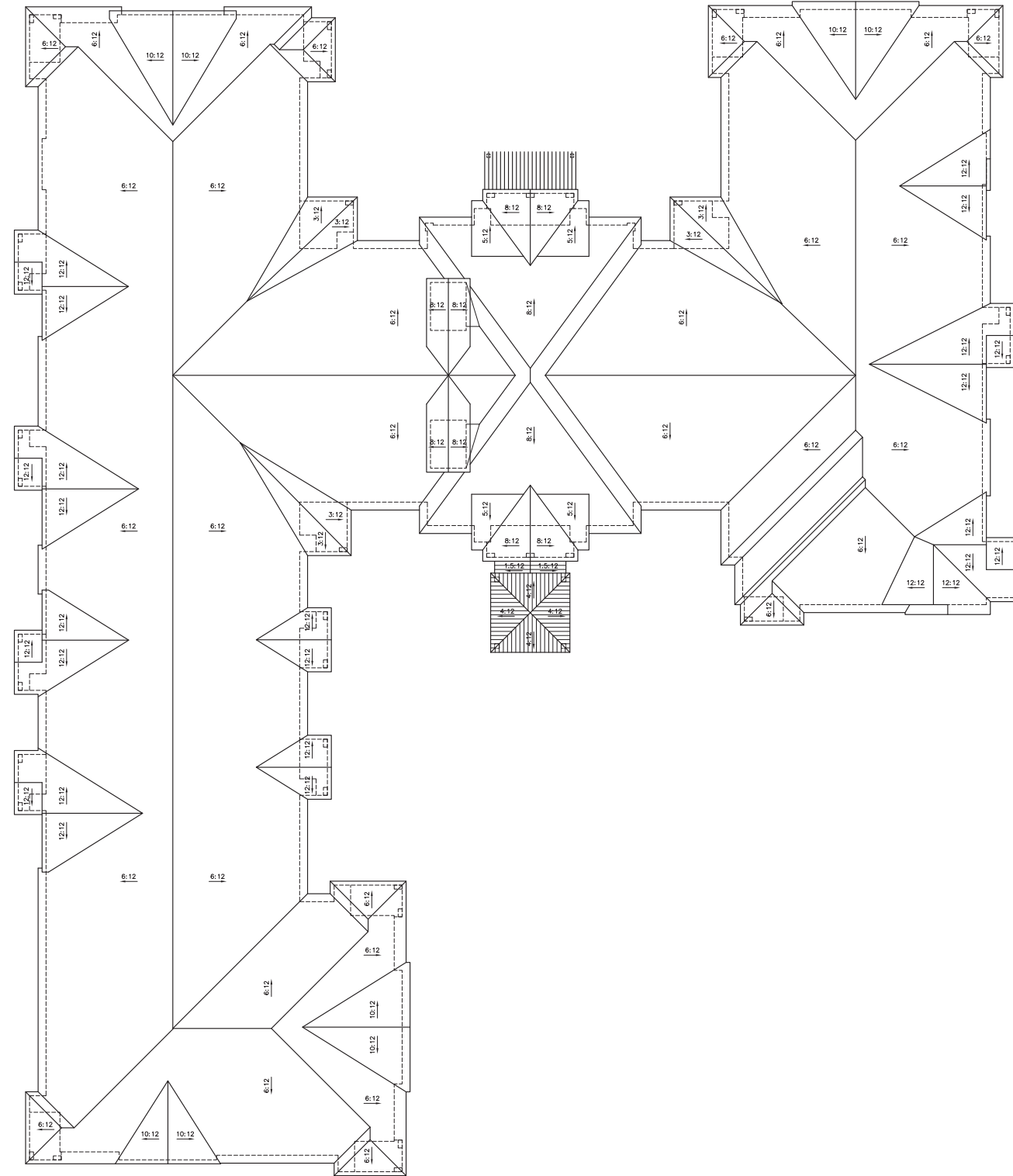
SHEET TITLE:
OVERALL
THIRD FLOOR PLAN

PROJECT NO:
19-03

DATE:
2-19-2020

REVISIONS:
4-21-2020

A2.3



1 OVERALL ROOF PLAN
SCALE: 1/16" = 1'-0"



(Case ZC 2020-03)

PROJECT:
VILLAGE COOPERATIVE OF CENTURY HILLS
NORTH RICHLAND HILLS, TEXAS

SHEET TITLE:
OVERALL
ROOF PLAN

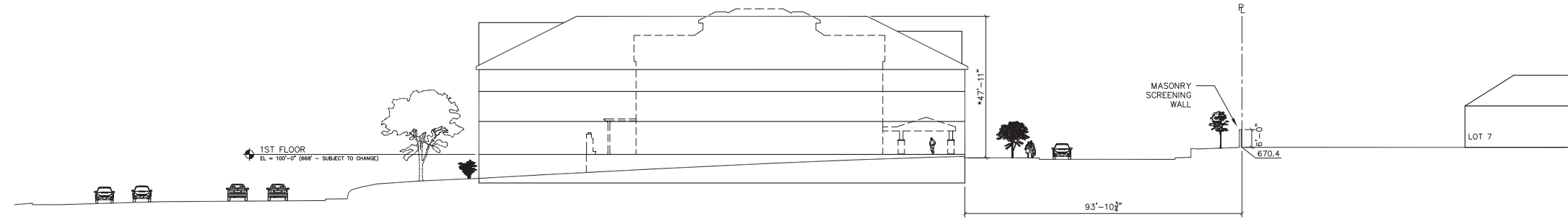
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DATE:
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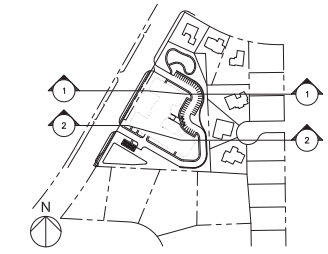
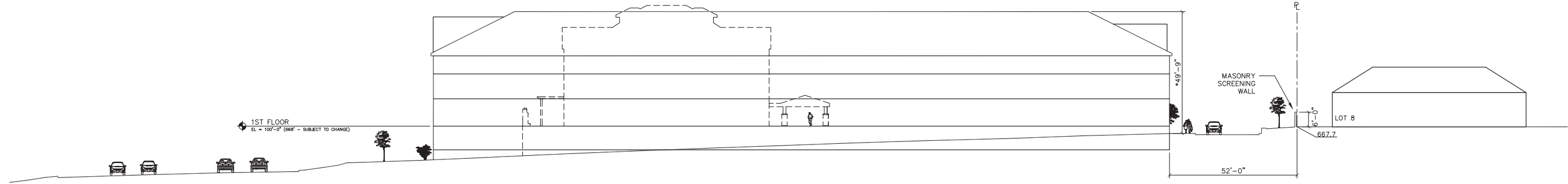
REVISIONS:
4-21-2020

A2.4

1 SITE SECTION
1" = 20'-0"



2 SITE SECTION
1" = 20'-0"



(Case ZC 2020-03)

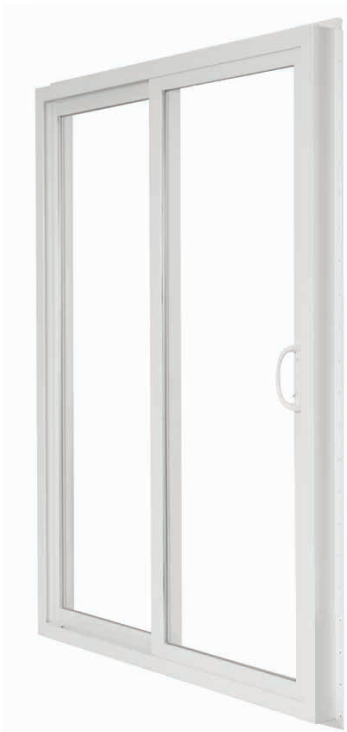


The new standard in quality and performance

SERIES 411

Vinyl Sliding Patio Doors

- + **Double Pane Insulated Glass** for improved thermal performance
- + **Fin removal option** to meet a variety of patio door installation needs
- + **Precision-Mitered Frames** with fusion welded corners provide the best possible resistance to air and water infiltration and enhance structural integrity
- + **Dual Weep & Drainage System** carries water away from the door while controlling air and dust penetration
- + **Multi-Chamber Vinyl Profiles** enhance structural strength, sound absorbency and improve year-round thermal performance
- + **Metal Reinforced Interlocks and Lock Stile** with full length pile weather strip provide superior structural strength, peace-of-mind and reduction of air and water infiltration
- + **Self-Tracking Adjustable Tandem Rollers** with solid aluminum track offer smooth, effortless operation
- + **Half Fiberglass Screen** is standard
- + **Equal Sightlines** for enhanced viewing and aesthetics
- + **Careful Design and Meticulous Heavy-Duty Construction** make this door an excellent choice for a wide variety of residential and light commercial applications



Door Handle
(inside view)



Door Handle
Multi-point lock option
is available
(outside view)

+ **COLOR**
OPTIONS*



All products may be ordered to meet Energy Star requirements.

SERIES 411

Vinyl Sliding Patio Doors

CUSTOM Options

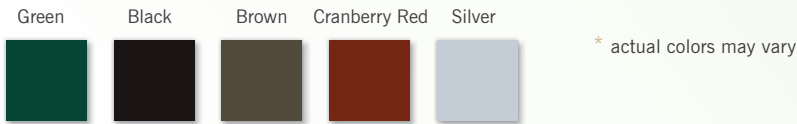
+ SCREEN OPTIONS:

Heavy Duty Half Screen is optional

+ GLASS TINT OPTIONS:*



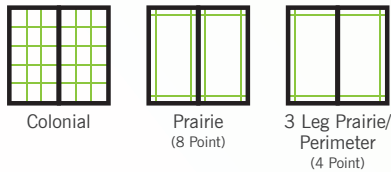
+ EXTERIOR FRAME COLORS:*



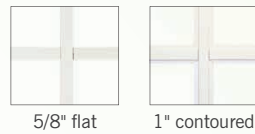
+ LOCK OPTION:

Multi-point lock is optional

+ GRID PATTERNS:



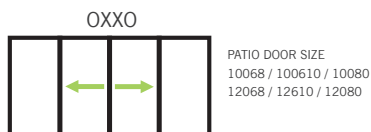
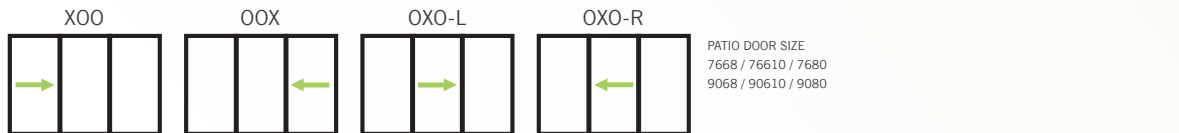
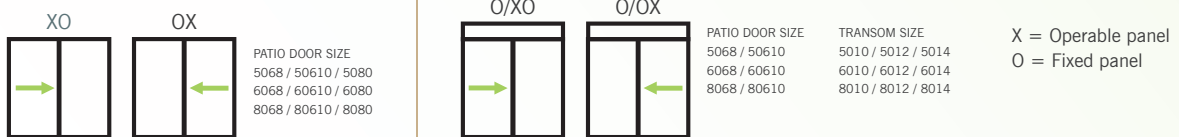
+ GRID STYLES:*



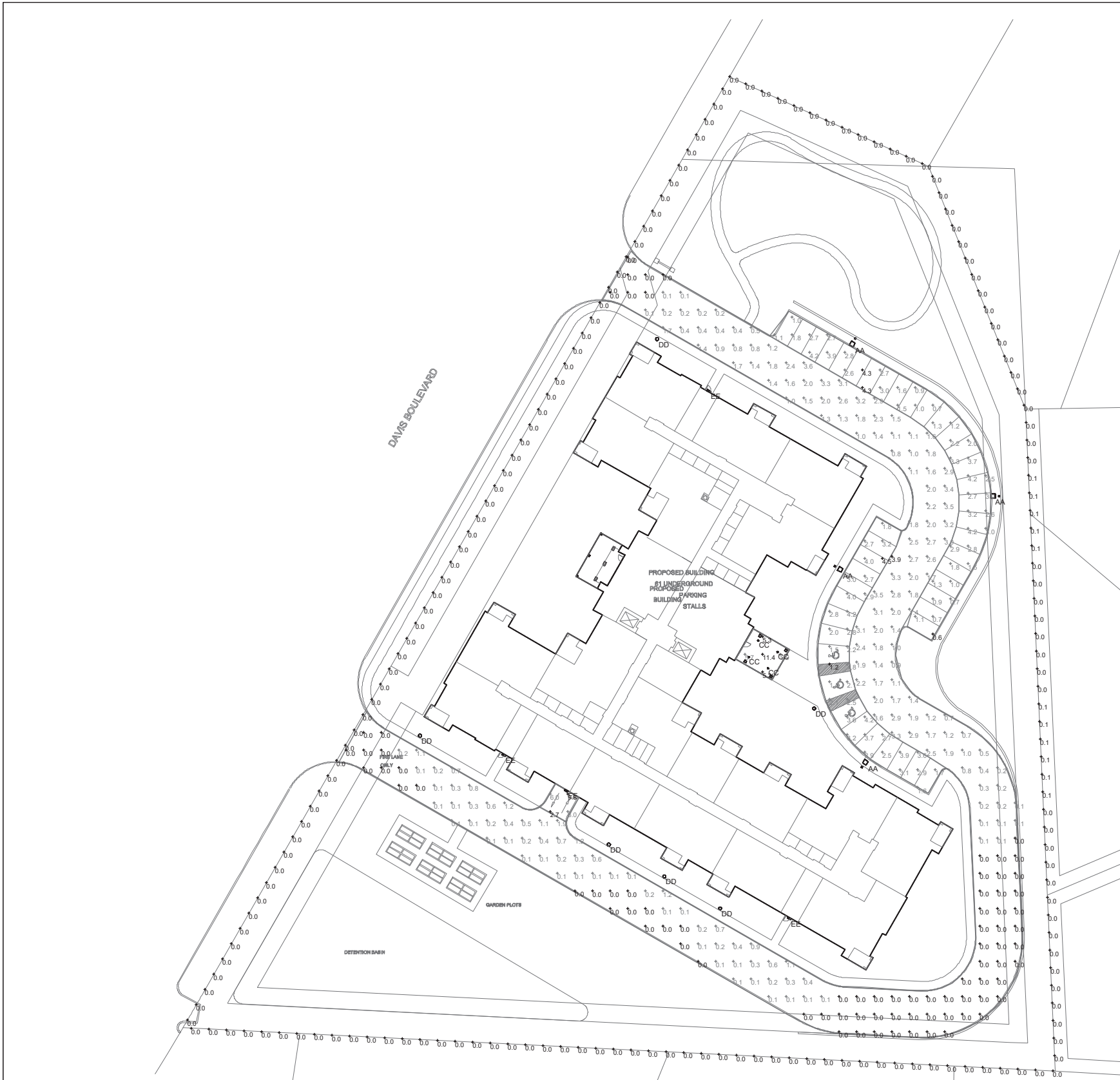
+ GRID COLOR:

Color Matched

+ PATIO DOOR SIZES & CONFIGURATIONS (DIAGRAMS SHOWN FROM EXTERIOR VIEW):



Note: Manufacturer reserves the right to substitute components as necessary for continued product improvement.
 * Printing process may affect color shown. Please refer to actual door sample when selecting colors.
 Only use mild, water based household cleaner on painted product and rinse immediately with water.
 See full cleaning instructions for details.
 Screens are not meant to restrain a child from falling through an open window or door.
 Energy Star is a registered trademark of the U.S. Department of Energy.



1 SITE PHOTOMETRIC CALCULATIONS PLAN
1" = 30'-0"

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Driveway	+	0.8 fc	3.9 fc	0.0 fc	N/A	N/A
Garage Entry	+	6.1 fc	9.8 fc	2.7 fc	3.6:1	2.3:1
Main Entrance	+	6.7 fc	11.4 fc	5.3 fc	2.2:1	1.3:1
Canopy	+	2.3 fc	4.3 fc	0.6 fc	7.2:1	3.8:1
Parking A	+	2.8 fc	4.5 fc	1.2 fc	3.8:1	2.3:1
Property Line	+	0.0 fc	0.1 fc	0.0 fc	N/A	N/A

Luminaire Locations										
Location										
No.	Label	X	Y	Z	MH	Orientation	Tilt	X	Y	Z
1	AA	717.60	622.09	20.00	20.00	209.87	0.00	717.03	621.10	0.00
2	AA	706.00	492.74	20.00	20.00	119.59	0.00	707.00	492.18	0.00
5	AA	756.33	532.65	20.00	20.00	269.78	0.00	758.19	532.82	0.00
6	AA	721.27	378.71	20.00	20.00	36.36	0.00	721.95	379.63	0.00
1	CC	656.95	441.20	12.00	12.00	0.00	0.00	656.95	441.20	0.00
2	CC	667.91	434.71	12.00	12.00	0.00	0.00	667.91	434.71	0.00
3	CC	662.51	450.55	12.00	12.00	0.00	0.00	662.51	450.55	0.00
4	CC	673.47	444.95	12.00	12.00	0.00	0.00	673.47	444.95	0.00
1	DD	640.81	298.42	3.00	3.00	0.00	0.00	640.81	298.42	0.00
2	DD	609.12	316.59	3.00	3.00	0.00	0.00	609.12	316.59	0.00
3	DD	577.65	334.76	3.00	3.00	0.00	0.00	577.65	334.76	0.00
4	DD	470.29	396.66	3.00	3.00	0.00	0.00	470.29	396.66	0.00
5	DD	605.03	621.77	3.00	3.00	0.00	0.00	605.03	621.77	0.00
6	DD	694.20	412.03	3.00	3.00	0.00	0.00	694.20	412.03	0.00
1	EE	553.36	365.28	9.00	9.00	209.82	0.00	553.36	365.28	0.00
2	EE	517.96	385.65	9.00	9.00	209.35	0.00	517.96	385.65	0.00
3	EE	679.97	292.78	9.00	9.00	209.87	0.00	679.97	292.78	0.00
5	EE	634.44	592.26	9.00	9.00	29.82	0.00	634.44	592.26	0.00

Schedule									
Symbol	Label	QTY	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage
□	AA	4	CL1-60L-4K-4-8C	CIMARRON CL1	60 LEDs - 4000K - 70 CRI	1	12372	1	135
□	AA1	0	CL1-60L-4K-2-8C	CIMARRON CL1	60 LEDs - 4000K - 70 CRI	1	11053	1	135
○	CC	4	LCRLED120RLCLED535K 8	8 IN Recessed LED Fixture, Housing and Light Engine Assembly	36 - Nichia 3500 K LEDs NCH Color Matched	1	1215	1	15.5
○	DD	6	FN2-24LU-3K-0B	BEACON PBX42	Nichia LED	1	1537	1	46.2
□	EE	4	LN2C-18LU-4K-4	LN2C, 18 LED, 4000K, TYPE 4	18- NICHIA 4K LEDS	1	3997	1	44.8

THE EXTERIOR SITE LIGHT FIXTURES DEPICTED SHALL COMPLY WITH THE REQUIREMENTS OF NORTH RICHLAND HILLS, TX SEC. 118-728 REQUIREMENTS



763-585-6742
763-585-6757 fax
Email: steen@steeneng.com
5430 Douglas Drive North
Minneapolis, MN 55429

Real Estate Equities Architecture, LLC
1400 Corporate Center Curve, Suite 100
Eagan, MN 55121
Phone: 651-768-8310
www.rearchitecture.com

REAL ESTATE EQUITIES
Architecture, LLC

PROJECT:
VILLAGE COOPERATIVE OF CENTURY HILLS
NORTH RICHLAND HILLS, TEXAS

SHEET TITLE:
SITE PHOTOMETRIC CALCULATION PLAN

PROJECT NO:
REE202001
DATE:
2-19-2020
REVISIONS:
4-8-2020

E1.1

TYPE AA

CIMARRON LED

SPARDLING LIGHTING

SPECIFICATIONS

Construction:

- Stylish vertically flared die-cast solid top housing for maximum heat dissipation. Slope collection of unwanted debris from getting on top of the housing.
- Rugged lower die-cast aluminum heat sink accelerates thermal management and optimizes PCB and optical performance.
- Separate optical and electrical compartment for optimum component operation.
- Die piece die cast silicone gasket ensures weather proof seal around each individual LED for IP65 rating.
- Backlight Control (BC) option available for 85% light reduction, doesn't change fixture appearance or EPA, recommended for Type II and Type IV distributions.
- Stamped bezel provides mechanical compression to seal the optical assembly.

Control:

- Dimmers are 0-10V dimming standard. Photocell, occupancy sensor and wireless control available for complete on/off and dimming control.

Lumen Maintenance:

- L70 at 50,000 hours (Projected per IESNA TM-21-11).

Installation:

- Two die-cast aluminum arm designs: The decorative arm offers a sleek upward look while the straight arm follows the housing's contoured line for consistency of style.
- Fixture ships with arm installed for ease of installation and mounts to #2 drill pattern.
- Wall bracket, mast arm filter and pole accessories are also available allowing easy mounting for virtually any application.

Finish:

- TGC Thermostat polyester powder paint finish applied at minimum 2.5 mil thickness.

Warranty:

- Five year limited warranty for more information visit: <http://www.hubbelloutdoor.com/resources/warranty/>

Electrical:

- Universal input voltage 120-277 VAC, 50/60 Hz.
- Integral step-down transformer for 347V & 480V.
- Ambient operating temperature -40°C to 40°C.
- Automatic thermal self-protection.
- Drivers have greater than 90% power factor and less than 10% THD.
- Optional continuous dimming to 10% or dual circuitry available.

CERTIFICATIONS/LISTINGS

UL Listed to UL1598 for use in wet locations.

UL Listed to UL1598 and CSA C22#950-0-24 for wet locations.

Model meets DesignLights Consortium (DLC) qualifications, consult DLC website for more details: <http://www.designlights.org/DLC/>

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TYPE CC

LC8LED

8" LifeFrame Commercial LED Downlights

LED system in 2700K, 3000K, 3500K, 4000K

LifeFrame

FEATURES

- Light Engine utilizes Nichia LEDs for color-coded color consistency fixture to fixture.
- 120V/277V Lenses Defined
- Clear-fine optical coating
- Shipped with pre-installed Light Guard metal bar (See bar description/Consistent finish bar height)
- EMERGENCY ON/OFF Onboard downlight
- Phosphor-free LEDs for 100,000 hours maintenance cycle life
- Phosphor-free LEDs per IESNA TM-21-11 standards
- Non-IC rated, suitable for wet locations and high areas (E-100 deep location)
- Lenses are certified by a National Recognized Testing Lab (NRTL) with UL or ETL.

ORDERING INFORMATION EXAMPLE: LC8LED 120-4000K 2/35K 8 WH WT

HOUSING

LC8LED 120 277V 277 120W

TRIM

TRIM 27K 27K 27K 27K 27K 27K

LED COLOR

LED COLOR 35K 35K 35K 35K 35K 35K

CCT

CCT 8 8 8 8 8 8

REFLECTOR

REFLECTOR 100 100 100 100 100 100

ACCESSORIES

EM Back Bay Back Bay Back Bay Back Bay

EM Back Bay Back Bay Back Bay Back Bay

EM Back Bay Back Bay Back Bay Back Bay

EM Back Bay Back Bay Back Bay Back Bay

EM Back Bay Back Bay Back Bay Back Bay

EM Back Bay Back Bay Back Bay Back Bay

HOUSING OPTIONS

Black No Dimming

EM 0-10V dimming to 30%

EM 0-10V dimming to 10%

EM Back Bay Back Bay Back Bay Back Bay

EM Back Bay Back Bay Back Bay Back Bay

EM Back Bay Back Bay Back Bay Back Bay

EM Back Bay Back Bay Back Bay Back Bay

EM Back Bay Back Bay Back Bay Back Bay

NOTES

1. Requires 1/2" depth

2. See page 2 of www.hubbelloutdoor.com for LifeFrame Component List

3. EM option must be on both the housing and the trim

4. Not compatible with EM or 277V

5. Deep location only

6. If used in locations not listed on this sheet, all component parts are required

SHIPPING INFORMATION

Shipping Weight: 1.8 lbs

Shipping Dimensions: 11.5" x 11.5" x 11.5"

CERTIFICATIONS/LISTINGS

UL Listed to UL1598 for use in wet locations.

UL Listed to UL1598 and CSA C22#950-0-24 for wet locations.

Model meets DesignLights Consortium (DLC) qualifications, consult DLC website for more details: <http://www.designlights.org/DLC/>

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TYPE BB

FRESNO SERIES

HUBBELL OUTDOOR LIGHTING

SPECIFICATIONS

Construction:

- Extruded aluminum 6063 alloy square or round housing with tamper resistant hardware, flat top, for round FNO.
- Single screw access for service and maintenance.
- Sealed one-piece, clear acrylic lens. Spectro-arc anodized aluminum optical systems.
- Concealed, cast aluminum 360 alloy anchor base. Four 1/2" x 10" anchor bolts.
- Durable Lektrocoat® TGC Thermostat polyester powder coat paint finish assures long life and maintenance-free service.

Control:

- Dimmers are 0-10V dimming standard. Photocell, occupancy sensor and wireless control available for complete on/off and dimming control.

Lumen Maintenance:

- L70 at 50,000 hours (Projected per IESNA TM-21-11).

Installation:

- Two die-cast aluminum arm designs: The decorative arm offers a sleek upward look while the straight arm follows the housing's contoured line for consistency of style.
- Fixture ships with arm installed for ease of installation and mounts to #2 drill pattern.
- Wall bracket, mast arm filter and pole accessories are also available allowing easy mounting for virtually any application.

Finish:

- TGC Thermostat polyester powder paint finish applied at minimum 2.5 mil thickness.

Warranty:

- Five year limited warranty for more information visit: <http://www.hubbelloutdoor.com/resources/warranty/>

Electrical:

- Universal voltage (120-277V, 50/60Hz) drivers with >= 10% tolerance, starting temperature rated at -20°F
- Optional continuous dimming to 10% (0-10V)
- Rotatable LED assembly adjustment for ideal placement and aiming of asymmetric light pattern
- Available in 5000K, 4000K, 3000K CCT and Monochromatic Amber
- Long life >=50,000 hour L70 rated at 25°C

CERTIFICATIONS/LISTINGS

UL Listed to UL1598 for use in wet locations.

UL Listed to UL1598 and CSA C22#950-0-24 for wet locations.

Model meets DesignLights Consortium (DLC) qualifications, consult DLC website for more details: <http://www.designlights.org/DLC/>

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TYPE EE

LNC2 SERIES

HUBBELL OUTDOOR LIGHTING

SPECIFICATIONS

Construction:

- The compact LED LNC2 is designed for perimeter illumination for safety, security and energy. This compact fixture has no uplight and a neighbor friendly light output.
- Quick-mount adapter provides easy installation to wall or to recessed junction boxes 4" square junction box. Casket seat and secured by two Allen head hidden fasteners for tamper resistance. Designed for direct 1 box mount or conduit feed in single DRG. Conduit feed not available with DRG.

Control:

- Button photocell for dusk-to-dawn dimming
- Occupancy sensor options available for complete control and dimming control (includes factory installed back box)

Electrical:

- 120V/277V universal voltage 50/60Hz 0-10V dimming drivers
- 347V and 480V dimmable driver option in 12L configuration
- Dimmable drivers: One in 5L, 7L, 9L and 12L units. Two drivers in 18L units
- Minimum operating temperature in -40°F/-40°F
- Drivers have greater than 90 power factor and less than 20% Total Harmonic Distortion

Lumen Maintenance:

- L70 at 50,000 hours (Projected per IESNA TM-21-11), see table on page 2 for all values.

Installation:

- Quick-mount adapter provides easy installation to wall or to recessed junction boxes 4" square junction box. Casket seat and secured by two Allen head hidden fasteners for tamper resistance. Designed for direct 1 box mount or conduit feed in single DRG. Conduit feed not available with DRG.

Options:

- Button photocell for dusk-to-dawn dimming
- Occupancy sensor options available for complete control and dimming control (includes factory installed back box)

Electrical:

- UL C-UL listed (Types B and H) Consult DLC website for details. <http://www.designlights.org/DLC/>
- UL Listed to UL1598 for use in wet locations, 40°C ambient environments

Warranty:

- Five year limited warranty for more information visit: <http://www.hubbelloutdoor.com/resources/warranty/>
- LED Progress Award Winner - 2013
- Building Operating Management 2014
- Top Products Award - LNC2-18LU

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TYPE DD

FRESNO SERIES

HUBBELL OUTDOOR LIGHTING

SPECIFICATIONS

Construction:

- Extruded aluminum 6063 alloy square or round housing with tamper resistant hardware, flat top, for round FNO.
- Single screw access for service and maintenance.
- Sealed one-piece, clear acrylic lens. Spectro-arc anodized aluminum optical systems.
- Concealed, cast aluminum 360 alloy anchor base. Four 1/2" x 10" anchor bolts.
- Durable Lektrocoat® TGC Thermostat polyester powder coat paint finish assures long life and maintenance-free service.

Control:

- Dimmers are 0-10V dimming standard. Photocell, occupancy sensor and wireless control available for complete on/off and dimming control.

Lumen Maintenance:

- L70 at 50,000 hours (Projected per IESNA TM-21-11).

Installation:

- Two die-cast aluminum arm designs: The decorative arm offers a sleek upward look while the straight arm follows the housing's contoured line for consistency of style.
- Fixture ships with arm installed for ease of installation and mounts to #2 drill pattern.
- Wall bracket, mast arm filter and pole accessories are also available allowing easy mounting for virtually any application.

Finish:

- TGC Thermostat polyester powder paint finish applied at minimum 2.5 mil thickness.

Warranty:

- Five year limited warranty for more information visit: <http://www.hubbelloutdoor.com/resources/warranty/>

Electrical:

- Universal voltage (120-277V, 50/60Hz) drivers with >= 10% tolerance, starting temperature rated at -20°F
- Optional continuous dimming to 10% (0-10V)
- Rotatable LED assembly adjustment for ideal placement and aiming of asymmetric light pattern
- Available in 5000K, 4000K, 3000K CCT and Monochromatic Amber
- Long life >=50,000 hour L70 rated at 25°C

CERTIFICATIONS/LISTINGS

UL Listed to UL1598 for use in wet locations.

UL Listed to UL1598 and CSA C22#950-0-24 for wet locations.

Model meets DesignLights Consortium (DLC) qualifications, consult DLC website for more details: <http://www.designlights.org/DLC/>

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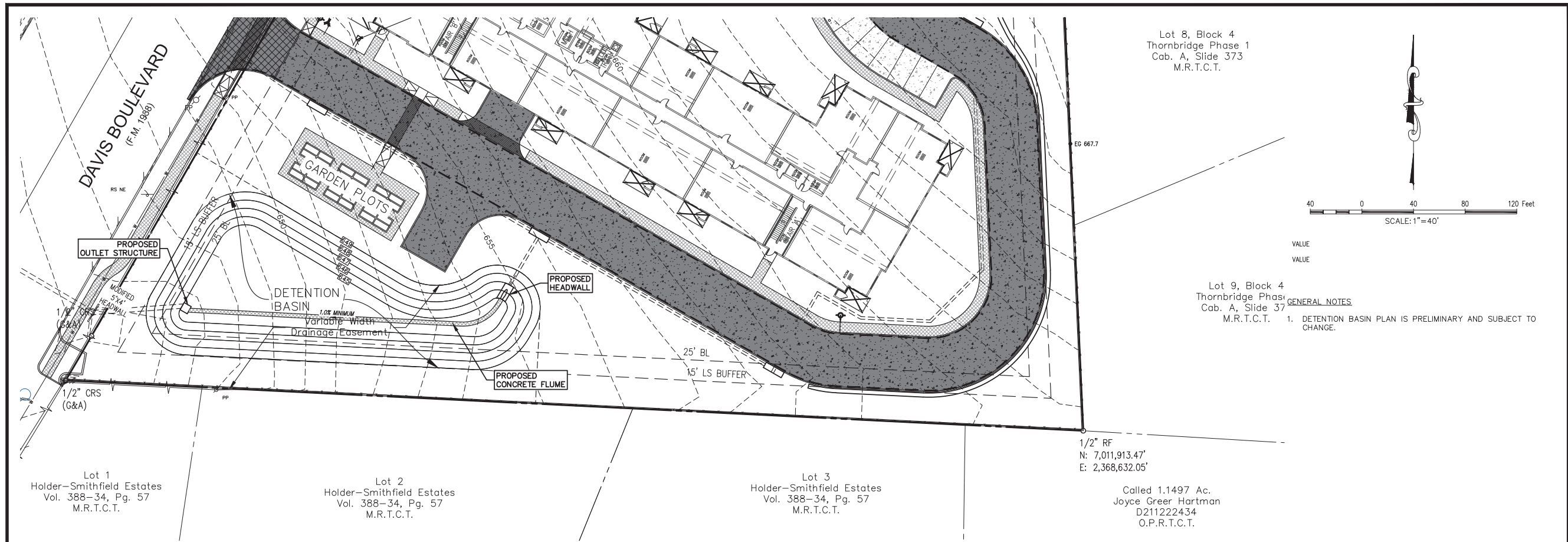
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SITE LIGHTING CUT SHEETS

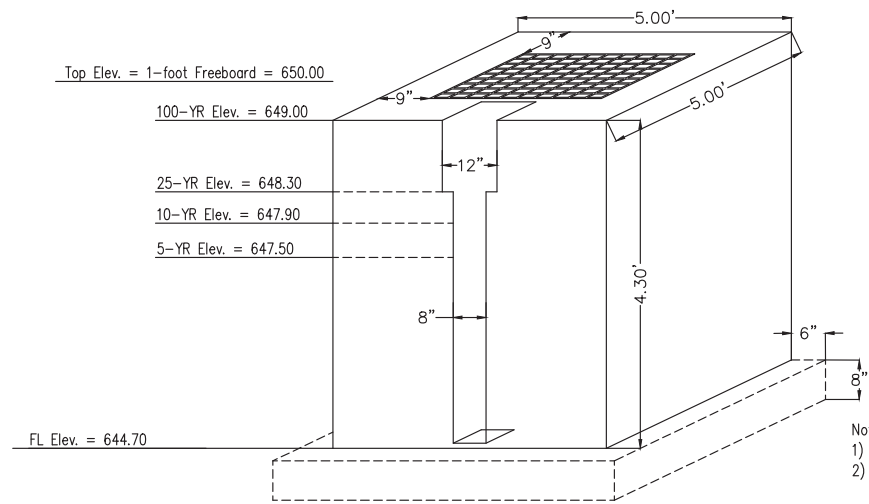
PROJECT NO: REE202001
DATE: 2-19-2020
REVISIONS: 4-8-2020

E1.2

(Case ZC 2020-03)



Detail of Proposed Detention Outlet Structure (N.T.S.)



- Notes:
1) 3,600 psi conc. w/ #4 bars 12" O.C.E.W
2) The sides and front of the outlet structure is to be clad in stone to match the proposed retaining walls

Year	Ex. Q (cfs)	Ult. Q (cfs)	Pond. Elev. (ft.)	Outlet Elev. (ft.)	Height (ft.)	Storage (c.f.)
5	9.40	19.40	647.50	644.70	2.80	606
10	11.20	23.00	647.90	644.70	3.20	708
25	13.00	27.70	648.30	644.70	3.60	756
100	16.10	34.20	649.00	644.70	4.30	828

Wp = Wetted Perimeter	Wp = 2h + w
A = area	A = h(w)
h = height	R = A/Wp
w = width (ft)	Q = 1.49/n(A)(R ^{2/3})s ^{1/2}
s = slope	

5-YR Storm	w = 0.67 = 8"	h = 2.80	n = 0.013	s = 0.0050	Wp = 6.27	A = 1.876	R = 0.299	Q = 6.80 ≤ 9.40
10-YR Storm	w = 0.67 = 8"	h = 3.20	n = 0.013	s = 0.0050	Wp = 7.07	A = 2.144	R = 0.303	Q = 7.84 ≤ 11.20
25-YR Storm	w = 0.67 = 8"	h = 3.60	n = 0.013	s = 0.0050	Wp = 7.87	A = 2.412	R = 0.306	Q = 8.89 ≤ 13.00
100-YR Storm	w = 1.00 = 12"	h = 4.30	n = 0.013	s = 0.0050	Wp = 9.60	A = 4.300	R = 0.448	Q = 20.40 ≤ 16.10

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3.928 Acres
in the
S. RICHARDSON SURVEY, ABSTRACT NO. 1286
CITY OF NORTH RICHLAND HILLS
TARRANT COUNTY, TEXAS

**PRELIMINARY
DETENTION
BASIN PLAN**

PRELIMINARY PLANS
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MCADAMS,
TBP# 19762
JUSTIN L. LANSLOWNE,
P.E. #121990
DATE 4/21/2020

Drawn By: CMK
Date: 03/06/2020
Scale: 1" = 40'
Revisions:

SPEC-19238

C3.01

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