

MARK TORRES 9/28/2021 4:44 PM Z:\PROJECTS\2021-153 P PLOTTED BY:
PLOT DATE:
LOCATION:

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CAL.	CONT.	SIZE
\odot	QS	3	Quercus shumardii Shumard Red Oak	4" Cal.	Cont.	12` minimum
	TD	2	Taxodium distichum Bald Cypress	4" Cal.	Cont.	12` minimum
\odot	UC	2	Ulmus crassifolia Cedar Elm	4" Cal.	Cont.	12` minimum
	UA	3	Ulmus parvifolia `Allee` Allee Lacebark Elm	4" Cal.	Cont.	12` minimum
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	SPACING	SIZE
\oplus	AK	23	Abelia x grandiflora `Kaleidoscope` Glossy Abelia	3 gal	36" OC	24" MIN
(+)	ВА	18	Berberis thunbergii `Aurea Nana` Japanese Barberry	3 gal	36" OC	24" MIN
+	IN	19	llex vomitoria `Nana` Dwarf Yaupon	3 gal	36" OC	24" MIN
0	JB2	36	Juniperus horizontalis `Blue Chip` Blue Chip Juniper	3 gal	36" OC	24" MIN
\odot	LC	25	Leucophyllum frutescens `Compacta` Compact Texas Ranger	5 gal	36" OC	24" Min.
*	MS	40	Miscanthus sinensis `Adagio` Adagio Eulalia Grass	3 gal	36" OC	
\odot	MC	5	Myrica cerifera Wax Myrtle	5 gal	36" OC	36" Min
0	MP	22	Myrica cerifera `Pumila` Dwarf Wax Myrtle	5 gal.	36" OC	24" MIN
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE
* * * * * * * * * * * * * * * * * * *	СТ	2,295 sf	Cynodon dactylon `Tif 419` Bermuda Grass	sod		

GENERAL GRADING AND PLANTING NOTES

BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND MILL COMPILY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).

IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.

BEFORE STRATING WORK, THE LANDSCAPE CONTRACTOR SHALL VERRY THAT THE ROUGH GRADES OF ALL ON THE CONTRACTOR AND PLANTING BED PREPARATION.

ON TURFAREA AND PLANTING BED PREPARATION.

CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS TECOMMENDED BY THE GEOTECHNICATION FOR THE REPORT AND ON THE GRADING PLANS, AND CONSTRUCT AND MAINTAIN FINISH GRADES AS THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDINGS SHALL PROVIDED BY THE GEOTECHNICATION FOR THE SUPPORT OF THE SHOWN ON THE GRADES AND ELIMINATE PONDING FOR THE SHALL PROVIDED. THE AMOUNT OF SOIL MAINTAIN FITH SURROUNDING GRADES AND ELIMINATE PONDING FOR THALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED. THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED GRASED ALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED. THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED GRASED ALL DETERMINE WHETHER OR NOT THE EXPORT FINISH SURFACE. IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACES AND THER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3' BELOW THE ADJACENT TO WALKS AND OTHER WALKING SURFACES. AFTER INSTALLING SOIL AMENDMENTS, IS 3' BELOW THE ADJACENT TO WALKS AND OTHER WALKING SURFACES. AFTER INSTALLING SOIL AMENDMENTS, IS 1'BELOW THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.

ENSURE THAT THE FINISH GRADE IN THE AREA SEMEDITED WHE THIS HIS GRADE. AS SP

THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRINDS SUCH TEMS
TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER AND SCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER AND SCAPE ARCHITECT
ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT
OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENVIRENTE THAT REQUIREMENTS OF THE
PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS,

PERMITTING AUTHORITY ARE MET (LE., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS.

B. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES: PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN CALLOUT FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.

CALLOUT FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.

D. NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTER PREMISSION OF THE LANDSCAPE ARCHITECT IN WRITTING PLANT MATERIALS HALL BE ALLOWED WITHOUT THE WRITTER PREMISSION OF THE LANDSCAPE ARCHITECT IN WRITTING PLANT MATERIALS.

THE CONTRACTOR SHALL AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL AND APPROVE OR RESIDENCE. ALL PLANTS DELIVERED TO THE JOSSITE. REFER TO THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE ARCHITECT IN FOR COMPANY OF THE PROJECT. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE HAN A PHONE OF THE PROJECT. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE HAN A PHONE OF THE WRITTEN PROPOSED FOR THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE HAN A PHONE OF THE WRITTEN PROPOSED FOR THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE HAN A PHONE OF THE WRITTEN PROPOSED FOR THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE HAN A PHONE OF THE WRITTEN PROPOSED FOR THE MAINTENANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR THAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.

SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT"

24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE INSTALL PANELS PER MANUFACTURER'S

AFTER ALL PLANTING IS COMPLETE CONTRACTOR SHALL INSTALL 3" THICK SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED

construction code. Irrigation systems shall comply with the city's water conservation ordinance as it exists or may be amended.





Scale 1" = 20' **EVERGREEN**

LANDSCAPE CALCULATIONS

ALL ISLANDS WITH 1 TREE SHRUBS REQUIRED SHRUBS PROVIDED

STREET TREES
MEADOW CREST DR:
TREES REQUIRED (1 TARES PROVIDED: 134 LF 3 TREES 3 TREES 1 TREE/50 LE): SHRUBS REQUIRED SHRUBS PROVIDED

FRONTAGE SCREENING PROVIDED

ROOT BARRIERS

RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL

MULCHES

LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL

IRRIGATION CONCEPT

All required landscape areas shall be provided with an automatic underground irrigation system. Any new irrigation system must be equipped with rain and freeze sensors. Said irrigation system shall be designed by a qualified professional and installed by a licensed irrigator after receiving a permit, as may be required under the



PLANTING

ENGINEERING

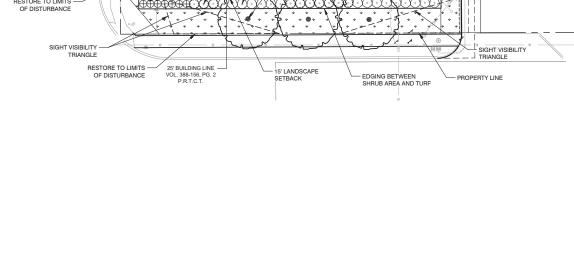
5300 RUFE SNOW DRIVE NORTH RICHLAND HILLS, T

LAY

POPEYES

ANDSCAPE

LP-1



ALFICATIONS OF LANDSCAPE CONTRACTOR

ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN

ALDISTACE PLANTING.

A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE

OWNER FOR FURTHER QUALIFICATION MEASURES.

THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS

DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE LINDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE

ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL

FOARD

THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID CONTRACTOR'S LICENSE ISSUED BY THE APPROPRIATE

THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID CONTRACTORS LICENSE ISSUED BY THE APPROPRIATE LOCAL JURISIDITION.
 SCOPE OF WORK
 WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE SECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND / OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
 ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH A LA APPLICABLE LAWS, CODES AND REGULATIONS

RELITIONS SMALL DE PENTANNED IN AUGUSTAINS IN BALL PHILDRED LAWS, OURS AND RESULTAINS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY PEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.

THE LANDISCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

PRODUCTS

A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.

3. CONTAINER AND BALLED-AND-BURLAPPED PLANTS:

1. FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI 280:1-2014. PROVIDE WELL-SHAPED, FULLY
BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS
KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE
SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES, ALL TREES SHALL BE OBTAINED FROM
SOURCES WITHIN 200 MILES OF THE PROJECT STIE, AND WITH SIMILAR CLIMACTIC CONDITIONS.

2. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY PRANCHED ROOT SYSTEMS, NON-POT BOOLD, FREE FROM
2. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY PRANCHED ROOT SYSTEMS, NON-POT BOOLD, FREE FROM
3. TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED ON THE
PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.

4. ANY PLANT DEBMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY
REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTED FEATURE PLANT OF LIKE TYPE AND SIZE AT THE
CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE
ALIVE. SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE ITE SEC SUFFICES AS TO
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AND SEEDS.

COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8: MOISTURE

COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, PH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING 1 HROUGH 34:41-MOIST SIEVE, SOLUBLE SALT CONTENT OF 5 TO 10 ECISIEMENSIN, NOT EXCEEDING 0.5 PERCENT INSERT CONTENT OF 5 TO 10 ECISIEMENSIN, NOT EXCEEDING 0.5 PERCENT INSERT CONTENT OF THE TOTAL STABLE STATE OF SUBSTANCES TOXIC TO PLANTING MIX FOR POTS: AN EQUAL PART IMITURE OF TOPSOIL, SAND AND COMPOST. INCORPORATE "GELSCAPE", AS MADE BY AMERICE, INC. (80) 38-2789, AT THE RATE OF 3 LB, PER CUBIC YARD OF PLANTING MIX. FERTILIZER CONSISTING OF INTROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS FERTILIZER. CONSISTING OF INTROGEN, POTASSIUM, AND OTHER NUTRIENTS MERCHANDERS AND AND CARREST OF THE PROPRIED OF THE OWN AD QUALIFIED SOIL-TESTING PROPORTIONS, AND CARLESSE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING

AGENCY (SEE BELOW).
MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP
DRESSING OF TREES AND SHRUBS.

DRESSING OF TREES AND SHRUBS.
TREE STAKING AND GUYING

1. STAKES: 6' LONG GREEN METAL T-POSTS.

2. GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.

3. STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.

STEEL EDGING: PROFESSIONAL STEEL EDGING, 14 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN.

ACCEPTABLE MANUFACTURERS INCLUDE COLMET OR APPROVED EQUAL.

AGGET TRADE WARMATCH LINES WILLIAMED FOR APPROVED EQUAGENT HERBICIDE THAT IS LABELED FOR THE PRE-EMERGENT HERBICIDES. ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

METHODS

SOIL PREPARATION
 BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE
 AREAS ARE WITHIN 4-0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD
 ANY DISCREPANCIES EXIST.
 SOIL TESTING:
 SOIL TESTING:

PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTIAN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE AN INMIMIM OF THESE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING. THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURE LASS, GENERAL SOIL FERTURE, 19, HORGANG MATTER CONTENT, SALT (JCEC), LIDED AREAS PROVIDED AND SOURCE AND SOURCE TO THE FOLLOWING: SOIL TEXTURE AND SOURCE THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.

THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECTS PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.

THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING, GAS APPROPRIATE; SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.

MAINTENANCE.

THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.

FOR BIDDING PURPOSES ONLY. THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:

A TURE: MOCROPRORATE THE FOLLOWING MEMOMENTS INTO THE TOP 8'OF SOIL BY MEANS OF ROTOTILLING

TURE: INCORPORATE THE TOLLOW AFTER CROSS RIPPING:
NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
PREPLANT TURF FERTILIZER (12-20-10 OR SIMILAR, SLOW RELEASE, ORG.)

ANIC) - 15 LBS PER 1.000 S.F.

PREPLAIN TURE FERTILIZER (1923-19 OK SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000 S.F.

"CLAY BUSTER" OR EQUAL - USE MANUFACTURERS RECOMMENDED RATE
TREES, SHRUBS, AND PERENNIALS. INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL
BY MEANS OF ROTOTILLING A FETER CROSS-RIPPIG:
NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.

BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:

IN TITROGEN STABILIZED GORANIC AMENDMENT - 4 CLU, VDS. PER 1,000 S.F.

II. 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU, VD.

III. 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU, VD.

III. 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU, VD.

IV. 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU, VD.

IV. 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU, VD.

IV. 12-12-12 FER SIMILAR (SLOW RELEASE) - 10 LBS. PER CU, VD.

IV. 12-12-12 FER SIMILAR (SLOW RELEASE) - 10 LBS. PER CU, VD.

BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIEY THAT HE ROUGH GRADES OF ALL LANDSCAPE AREAS SHEW THIN 14-0.1 OF FINISH GRADE, SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TUFF AREA AND PLANTING BED PREPARATION.

CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGES AND FEMBLES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGES AND SELECTION OF THE MEMBLES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE RECRADED TO BLEND IN WITH THE SURROUNDING GRADES AND SELECTION OF THE MAINTAIN SHALL BE RECRADED TO BLEND IN WITH THE SURROUNDING GRADES AND SELECTION OF THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST) FER SPECIFICATIONS, NO THE RINGH RADED STOR SETALISHED.

IN REDDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST) FER SPECIFICATIONS, NO THE RINGH RADED STO BE STALLISHED.

IN ORDER TO ALLOW FOR PROPER MILLOH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MILLOH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH SURFACE, IN ORDER TO

REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND

ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

SUBMITTALS
 THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE
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 THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED SHALL PROVIDE SUBMITTALS SHALL PROVIDE SUB

ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS SEFORE WORK COMMENCES. SUBMITTALS SHALL INCLIDE PHOTOS OF PLANTS WITH A RULE OR MEASURING STICK FOR SCALE, PHOTO OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE ESTING LAS (INCLIDING COMPOST AND PERTLIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREESHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE.) SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS

FRAL PLANTING
REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT
THE MANUFACTURER'S RECOMMENDED RATE.

ACACET IN AREAS IO USE PLANIEU WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT HEMANUFACTURER'S RECOMMENDED RATE.
RENCHINO NEAR EXISTING TREES:
CONTRACTOR SHALL NOT IDSTUDB ROOTS 1-1/2* AND LARGER IN DIAMETER WITHIN THE CRITICAL
ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS
AREA EXTENDING CUTWARD FROM THE TREE TRUBK, WITH A RADIUS COLUL, TO 1* FORE THE YEAR
AREA EXTENDING CUTWARD FROM THE TREE TRUBK, WITH A RADIUS COLUL, TO 1* FORE THE YEAR
AREA EXTENDING CUTWARD FROM THE TREE TRUBK, WITH A RADIUS COLUS, NO MACHINE
EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
ALL EXA CANATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE
EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
ALTER ALIGNMENT OF PIPE TO AVIOL TREE ROOTS 1-1/2* AND LARGER IN DIAMETER ARE ENCOUNTREED IN THE FIELD, TUNNEL UNDER SUCH
ROOTS. WARP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL
TRENCHES WITHIN THE CANOFY DRIP LINES WITHIN 2H HOURS.

NOT THE ANY SORT OF SEALERS OR WOUND PARTS.
ANTING.

ANTING EXPLANDED TO SEALERS OR WOUND PARTS.

ANTING EPINAMENT OF THE EXCAVATED TO MINIMIM MINITH OF TWO TIMES THE MINIST OF THE
EPENAMENT BOLES SHALL BE EXCAVATED TO MINIMIM MINITH OF TWO TIMES THE MINIST OF THE
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EPENAMENT BOLES THE BEEN EX

E PLANTING
TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE
ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOOR INCHES.
SCARIPY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOT TO THE PLACEMENT OF THE TREE.
REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT
DEFECTS, THE CONTRACTOR SHALL SHAVE A 1"LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL
OF ALL TREES JUSTS EEFCRE PLACING NITO THE PLANTING PIT. DO NOT "FEASE" ROOTS OUT FROM THE

DEFECTS, THE CONTRACTOR SHALL SHAVE A 1* LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL OF ALL TREES ON THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL IS TWO TO FOUR INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE "THE SUBRICULT AND THE STALL BE REMOVED FROM THE SOIL PROM TO A SITE. ROCKS LARGER THAN 1* IDIA AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIGHT OT THE BACKFILL SHOULD ADDITIONAL SOIL BE ROOLINED ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OF IMPORT TO POSIL SHALL BE COST SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL.

TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED. THE TOTAL NUMBER OF TREE STAKES BEYOND THE MINIMUMS LISTED BELLOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTORS SISCRETION.

SHOULD ANY TREES SHALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, ON THE STAKES SHALL ADHERE TO THE FOLLOWING GUIDELINES.

A. 2-1/2"4" TREES

THREE STAKES FER TREE

MILLTITRUIN TREES

THREE STAKES SPER TREE

MILLTITRUIN TREES

THREE STAKES PER TREE

MILLTITRUIN TREES

THREE STAKES PER TREE

MILLTITRUIN TREES

THEE STAKES PER TREE

MINERIOR OF HEAD TREES

MINERIOR OF THE TREE RING WITH THE WEED BARRIER

DEPTH PER PLANS).
RUB, PERENNIAI, AND GROUNDCOVER PLANTING
DIG THE PLANTING HOLES TWICE AS WIDE AND 2° LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE
PLANTIN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST

WEED BARRIER CLOTH IN PLACE.
WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.

DIDNO
SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
LAY THE SOD TO FORMA SOLD MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS
- DO NOT OVERLAP. STRAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.
ROLL THE SOD TO ENSURES GOOD CONTACT OF THE SODS ROOT SYSTEM WITH THE SOIL UNDERNEATH.
WATER THE SOD THOROUGHLY WITH PINES PRAY MINEDIDATELY AFTER PLANTING TO OBTAIN AT LEAST SIX
CHIEFS OF PENETRATION INTO THE SOIL BELOW THE SOD.

INSTALL MULCH TOPDRESSING. TYPE AND DEPTH PER MULCH NOTE. IN ALL PLANTING AREAS AND TREE

KINUS.

DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES,
EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS
SHALL NOT FROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12"
OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.

IN UP

DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A
NEAT, ORDERLY CONDITION.
DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.
ECTION AND ACCEPTANCE

FECTION AND ACCEPTANCE

UPON COMMENTION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE
OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN
REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE
LANDSCAPE CONTRACTOR SHALL REPLACE ANDION REPAIR THE REJECTED WORK TO THE OWNERS
SATISFACTION WITHIN 23 HOURS.

THE LANDSCAPE CAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN

THE UNIDOSCRE WAITENINGE PERIOD WILL NOT COMMENCE OF THE DAVIDSCREP WARD AND SEE A REINSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.

SCAPE MAINTENANCE

DISCAPE MAINTENANCE

THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON
THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER.
LANDSCAPE MAINTENANCE SHALL INCLIDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (TAB)
APPROPRIATE; PROPER PRUMING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED,
MOWING AND AERATION OF LAWNS, WEEDING, RESEEDING AREA WHICH HAVE NOT GERMINATED WELL,
TREATING FOR INSECTS AND DISCASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE
RIRIGATION SYSTEM DUE TO FAULTY PARTS ANDOR WORKMANHE, PAID THE APPROPRIATE WATERING OF
ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER
HOUSE OF THE WORK OF THE WATERING OF THE WORK OF THE WATERING OF THE WORK OF THE WATERING OF TH

HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.

TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR.

3. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCURE:

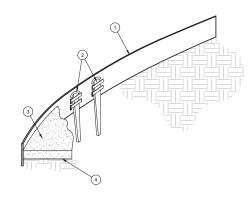
a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.

b. ALL HARDSCAPE SHALL BE CLEANDED PRIOR TO FINAL ACCEPTANCE.
c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWNEN. HYDROMILCHED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELLY SOUARE INCHES MUST BE RESODDED OR RESECDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SOODED TURE SHALL BE HEALT WOWED.

WARRANT HAN THE LANDSCAPE CONTRACTOR SHALL GLARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD. SEEDEDHYDROMILLCHED AREAS, AND BIRRIGATION SYSTEMS FOR A PRIOR OF ON TRACTOR SHALL REPLACE. AT HIS GOWN EXPENSE AND TO THE SATISFACTION OF THE OWNER AS YOUN EXPENSE AND TO THE SATISFACTION OF THE OWNER ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.

2. AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL GRESPONSIBLE FOR REPLACEMENT OF PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.

2. AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL OILY SE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE REPRODOR AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL OILY SE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTOR TO AND DURING THE GUARANTEE PERIOD, OF OWNER AND AND TOWN OF WORK. A RECORD DRAWING IS A RECORD OR ALL CHARGES THAT COCCURRED IN THE PLEAD AND THAT ARE DOCUMENTED THROUGH CHANGE



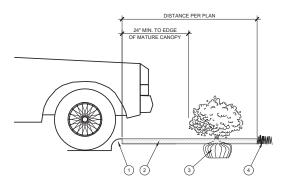
ROLLED-TOP STEEL EDGING PER PLANS.

(2) TAPERED STEEL STAKES. 3 MULCH TYPE AND DEPTH PER PLANS

NOTES:

1) INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING
2) BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FIN
3) TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.

STEEL EDGING



(1) CURB.

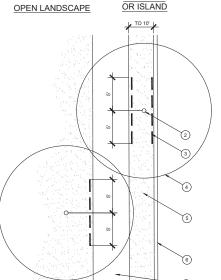
2 MULCH LAYER

3 PLANT.

4 TURF (WHERE SHOWN ON PLAN).

PLANTING AT PARKING AREA

PARKWAY



 TYPICAL WALKWAY OR PAVING TREE TRUNK

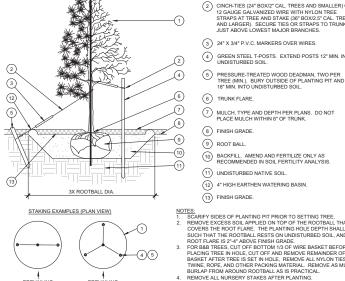
LINEAR ROOT BARRIER MATERIAL. SEE PLANTING NOTES FOR TYPE AND MANUFACTURER. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

(4) TREE CANOPY TYPICAL PLANTING AREA TYPICAL CURB AND GUTTER

NSTALL ROOT BARRIERS NEAR ALL

INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (6) FEET OF PAVING OR CURBS. BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY PROJECT HE ROOTBALL.

ROOT BARRIER - PLAN VIEW



TREE PLANTING

(12) 4" HIGH EARTHEN WATERING BASIN. (13) FINISH GRADE.

NOTES:

1. SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.

2. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE SET AT PROVE THIS GRADE.

3. ROOT FLARE SET AT PLANTING FRANCE.

4. ROOT FLARE SET AT PLANTING FRANCE.

5. PLACING TREE IN HOLE. CLIT OFF AND BEMOVE REMANDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES. TYNINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL.

5. PLANTING LIT IN INSERSE YSTAKES AFTER PLANTING. BORLEY FROW ANOUND ROOT DELLARS IS FRACTIONAL.

REMOVE ALL NURSERY STAKES AFTER PLANTING.

FOR TREES 36" BOX/2.5" CAL. AND LARGER, USE THREE STAKES OR

DEADMEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE.

STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM.

6 TRUNK FLARE.

8 FINISH GRADE. 9 ROOT BALL.

(2) CINCH-TIES (24" BOX/2" CAL. TREES AND SMALLER) OR

3 24" X 3/4" P.V.C. MARKERS OVER WIRES. GREEN STEEL T-POSTS. EXTEND POSTS 12" MIN. INTO UNDISTURBED SOIL.

7) MULCH, TYPE AND DEPTH PER PLANS. DO NOT PLACE MULCH WITHIN 6" OF TRUNK.

BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYS

BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT IN WIND.

(11) UNDISTURBED NATIVE SOIL.

12 GAUGE GALVANIZED WIRE WITH NYLON TREE STRAPS AT TREE AND STAKE (36" BOX/2.5" CAL. TREES AND LARGED, SECURE TIES OR STAPS TO TRUNK JUST ABOVE LOWEST MAJOR BRANCHES.

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KITCHEN RUFE SNOW]

5300 R NORTH

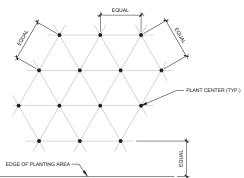
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1) SHRUB, PERENNIAL, OR ORNAMENTAL GRASS. MULCH, TYPE AND DEPTH PER PLANS. PLACE NO MORE THAN 1" OF MULCH WITHIN 6" OF PLANT CENTER. (3) FINISH GRADE. (4) ROOT BALL.

5 BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS

(6) UNDISTURBED NATIVE SOIL. (7) 3" HIGH EARTHEN WATERING BASIN. (8) WEED FABRIC UNDER MULCH.

SHRUB AND PERENNIAL PLANTING



NOTE: ALL PLANTS SHALL BE PLANTED AT EQUAL TRIANGULAR SPACING (EXCEPT WHERE SHOWN ON PLANS AS INFORMAL GROUPINGS). REFER TO PLANT LEGEND FOR SPACING DISTANCE BETWEEN PLANTS

1) STEP 1: DETERMINE TOTAL PLANTS FOR THE AREA WITH THE FOLLOWING FORMULA: TOTAL AREA / AREA DIVIDER = TOTAL PLANTS

PLANT SPACING	AREA DIVIDER	PLANT SPACING	AREA DIVIDER
6"	0.22	18"	1.95
8"	0.39	24"	3.46
10"	0.60	30"	5.41
12"	0.87	36"	7.79
15"	1.35		

2) STEP 2: SUBTRACT THE ROW (S) OF PLANTS THAT WOULD OCCUR AT THE EDGE OF THE PLANTED ARE WITH THE FOLLOWING FORMULA: TOTAL PERIMETER LENGTH / PLANT SPACING = TOTAL PLANT SUBTRACTION

EXAMPLE: PLANTS AT 18" O.C. IN 100 SF PLANTING AREA, 40 LF PERIMETER STEP 1: 100 SF/1.95 = 51 PLANTS STEP 2: 51 PLANTS - (40 LF / 1.95 = 21 PLANTS) = 30 PLANTS TOTAL









LP-2

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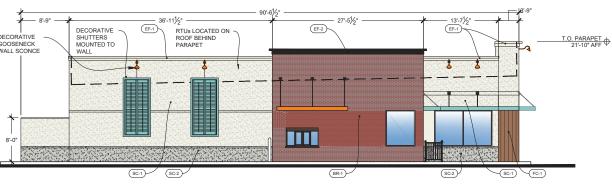


FRONT ELEVATION

GLASS 131.4 sqft 19.1% BRICK 117.5 sqft 17.1%

EIFS 333.2 sqft 48.5% NICHIHA 71.0 sqft 10.3% CORNICE 33.4 sqft 4.9%
 DOOR
 0.0 sqft
 0.0%

 SHUTTERS
 0.0 sqft
 0.0%
 TOTAL 686.5 sqft 100.0%



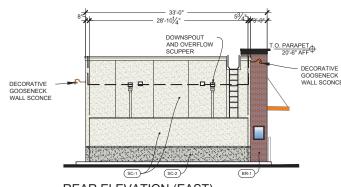


THUR ELEVATI							
DRIVE-THUR ELEVATION							
123.2 sqft	7.3%						
483.1 sqft	28.6%						
870.9 sqft	51.6%						
35.0 sqft	2.1%						
67.9 sqft	4.0%						
0.0 sqft	0.0%						
106.7 sqft	6.3%						
1686.8 sqft	100.0%						
	483.1 sqft 870.9 sqft 35.0 sqft 67.9 sqft 0.0 sqft 106.7 sqft						

MATERIALS LIST		
BRICK (BR-1)	DESIGN AND DIRECT SOURCE URBAN ARCHITECTURAL SERIES FLAGSTAFF	
EIFS/STUCCO (SC-1)	3-COAT SYSTEM BENJAMIN MOORE OC-125 MOONLIGHT WHITE	
EIFS/STUCCO (SC-2)	3-COAT SYSTEM BENJAMIN MOORE HC-170 STONINGTON GRAY	

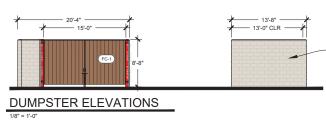
MATERIALS LIST		
NICHIHA (FC-1)	NICHIHA FIBER CEMENT BOARD CEDAR	
EIFS (EF-1)	DRYVIT SYSTEMS BEJAMIN MOORE OC-125 MOONLIGHT WHITE	
EIFS (EF-2)	DRYVIT SYSTEMS 2105-20 ROOT BEER CANDY	

MATERIALS LIST		
SHUTTERS, PAINTED	BENJAMIN MOORE 669 OCEANIC TEAL	

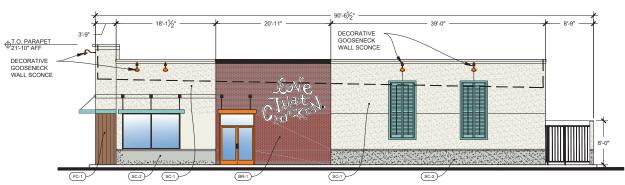


REAR ELEVATION (EAST)

RE	AR ELEVATION		
GLASS	5.0 sqft	0.8%	
BRICK	54.4 sqft	8.6%	
EIFS	548.2 sqft	86.6%	
NICHIHA	0.0 sqft	0.0%	
CORNICE	25.4 sqft	4.0%	
DOOR	0.0 sqft	0.0%	
SHUTTERS	0.0 sqft	0.0%	
TOTAL	633.0 sqft	100.0%	



- SPLIT-FACED CMU, PAINTED TO MATCH SC-1



ENTRY ELEVATION (SOUTH)

EN	TRY ELEVATION	
GLASS	127.4 sqft	8.0%
BRICK	326.1 sqft	20.6%
EIFS	926.9 sqft	58.5%
NICHIHA	35.0 sqft	2.2%
CORNICE	62.9 sqft	4.0%
DOOR	0.0 sqft	0.0%
SHUTTERS	106.7 sqft	6.7%
TOTAL	1585.0 sqft	100.0%

NOTE: ROOF SYSTEM TO BE A PVC ROOF, SLOPED 1/4" PER 12" TO REAR. PVC MEMBRANE TO HAVE A SOLAR REFLECTIVE INDEX AT LEAST 75 (DURO-LAST 50-MIL MEMBRANE IN WHITE or equal)

MEMBRANE SHALL BE LISTED ON COOL ROOF RATING COUNCIL (CRRC) WEBSITE

FACADE PLAN

POPEYES LOUISIANA KITCHEN

POPEYES NORTH RICHLAND HILLS
5300 RUFE SNOW DRIVE
NORTH RICHLAND HILLS, TX
LOUISIANA KITCHEN PLK DESIGN STANDARDS
46 SEATS/ DUAL-LINE PRODUCTION

POPCYCS

FP

DATE: November 9, 2021 CHECKED: KL

Luminaire Schedule								
Symbol	Qty	Label	Arrangement	LMF	Lum. Lumens	Lum. Watts	Part Number	BUG Rating
= >	2	2M-2L	SINGLE	1.000	2490	19	XSPW-B-WM-2ME-2L-57K-UL-WH	B1-U0-G1
= >	1	2M-4L	SINGLE	1.000	4270	31	XSPW-B-WM-2ME-4L-57K-UL-WH	B1-U0-G1
•>	1	3M-4L	SINGLE	1.000	4270	31	XSPW-B-WM-3ME-4L-57K-UL-WH	B1-U0-G1
	1	4B	SINGLE	1.000	17000	132	OSQ-A-NM-4ME-T-57K-UL-BZ w/OSQ-B-AABZ OSQ-BLSLF	B2-U0-G3
0	1	4M	SINGLE	1.000	22100	132	OSQ-A-NM-4ME-T-57K-UL-BZ w/OSQ-B-AABZ	B3-U0-G3

LOT 4R-2, BLOCK 10 SNOW HEIGHTS NORTH ADDITION 50.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.1 0.2 0.1 0.0 P0.0 0.1 0.2 0.6 47 2.7 3.6 2.7 1.6 1.2 0.7 1.5 2.9 4.0 SNOW HEIGHTS NORTH MEDITON 0.3 1.5 3.1 2M-4L 000 270 00 1 0.1 VOL. 0.0-150 FB 20-1 0.4 1.6 3.1 0.1 0.1 0.1 0.2 0.6 0.5 0.6 0.5 0.6 0.2 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.10.1 0.1 0.3 0.6 1.4 2.8 3.8 3.8 4.9 Mp. 124 4.4 5.1 4.1 4.8 4.7 4.6 1.4 0.3 0.1 0.1 0.1 0.3 0.7 13 2.7 3.6 4.5 5.5 6.1 4.6 5.2 4.3 5.4 4.3 3.3 1.0 0.3 0.1 0.1 0.1 0.3 0.6 11 2.4 3.7 4.9 4.5 5.5 5.2 48 5.5 3.9 3.2 2.2 06 0.3 0.4 0.1 0.1 0.1 0.2 0.5 10 2.4 3.8 3.5 3.3 3.8 5.3 5.5 4.3 3.6 3.5 2.2 0.3 0.2 0.1 CALLED 375 SQ. FT. - PARCE IND. 1 1 0 2 0 4 TIOL 20 2.1 2.1 1.8 2.2 2.4 3.0 3.8 2.9 2.0 1.8 1.1 0.2 0.1 0.1 0.1 0.1 0.2 0.5 0.9 1.2 1.2 1.4 1.5 1.7 1.8 1.7 1.6 1.2 0.9 0.5 0.2 0.1 0.1 0.1 0.1 0.2 0.4 0.5 0.6 0.8 1.0 1.2 1.2 1.0 0.8 0.8 0.7 0.5 0.3 0.1 0.1 0.0 0.1 0.1 0.2 0.3 0.3 0.3 0.5 0.6 0.7 0.6 0.6 0.4 0.4 0.4 0.3 0.2 0.1 0.1 0.0 0.1 0.1 0.1 0.1 0.1 0.2 0.2 0.2 0.2 0.2 0.2 0.2 0.1 0.1 0.1 0.1 0.1 0.1 0.0

Calculation Summary (Footcandles calculated using initial lumen values @ 25℃)								
Label	Units	Avg	Max	Min	Avg/Min	Max/Min		
CalcPts	Fc	1.08	7.4	0.0	N.A.	N.A.		
PROPERTY LINE	Fc	0.32	1.0	0.1	3.20	10.00		
Meadowcrest Dr PL	Fc	0.21	0.3	0.1	2.10	3.00		
PAVED AREA	Fc	2.95	7.4	0.5	5.90	14.80		
Rufe Snow Dr PL	Fc	0.19	0.3	0.1	1.90	3.00		

FIXTURE MOUNTING HEIGHT: 24' AFG (22' POLE + 2.0' Base)

ADDITIONAL EQUIPMENT REQUIRED: (2) CL-SSP-4011-22-OT-BZ (22' x 4" x 11ga STEEL SQUARE POLE)

(2) OSQ-B-AABZ ADJUSTABLE ARM MOUNT

(1) OSQ-BLSLF BACKLIGHT SHIELD

PROPOSED POLES MEET 120MPH SUSTAINED WIND LOADS

TBM "PK" NAIL ELEV.=629.04

A COMPANY OF IDEAL INDUSTRIES, INC. 201 Washington Ave, Racine, WI 53406 https://creelighting.com - (800) 236-680

Project Name: Popeyes - North Richland Hills, TX

SR-36423

Footcandles calculated at grade

Layout By: Chris Schlitz

Filename: POP-210820NRTXCISR2. AG_{late:9/30/202}

