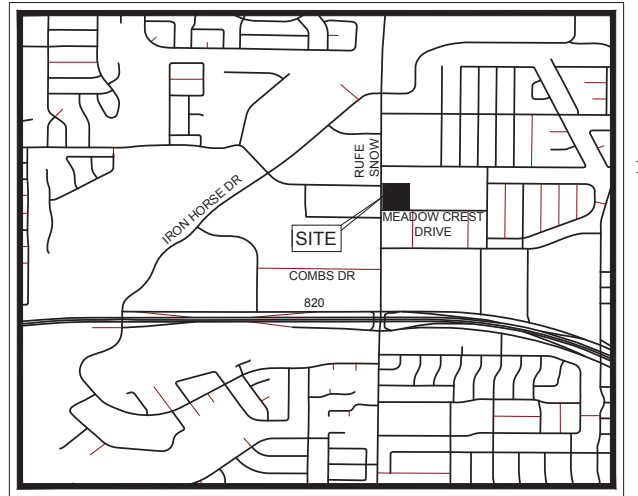
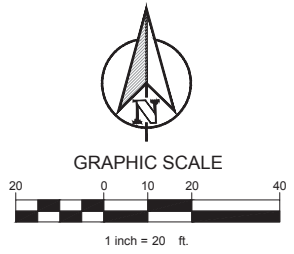
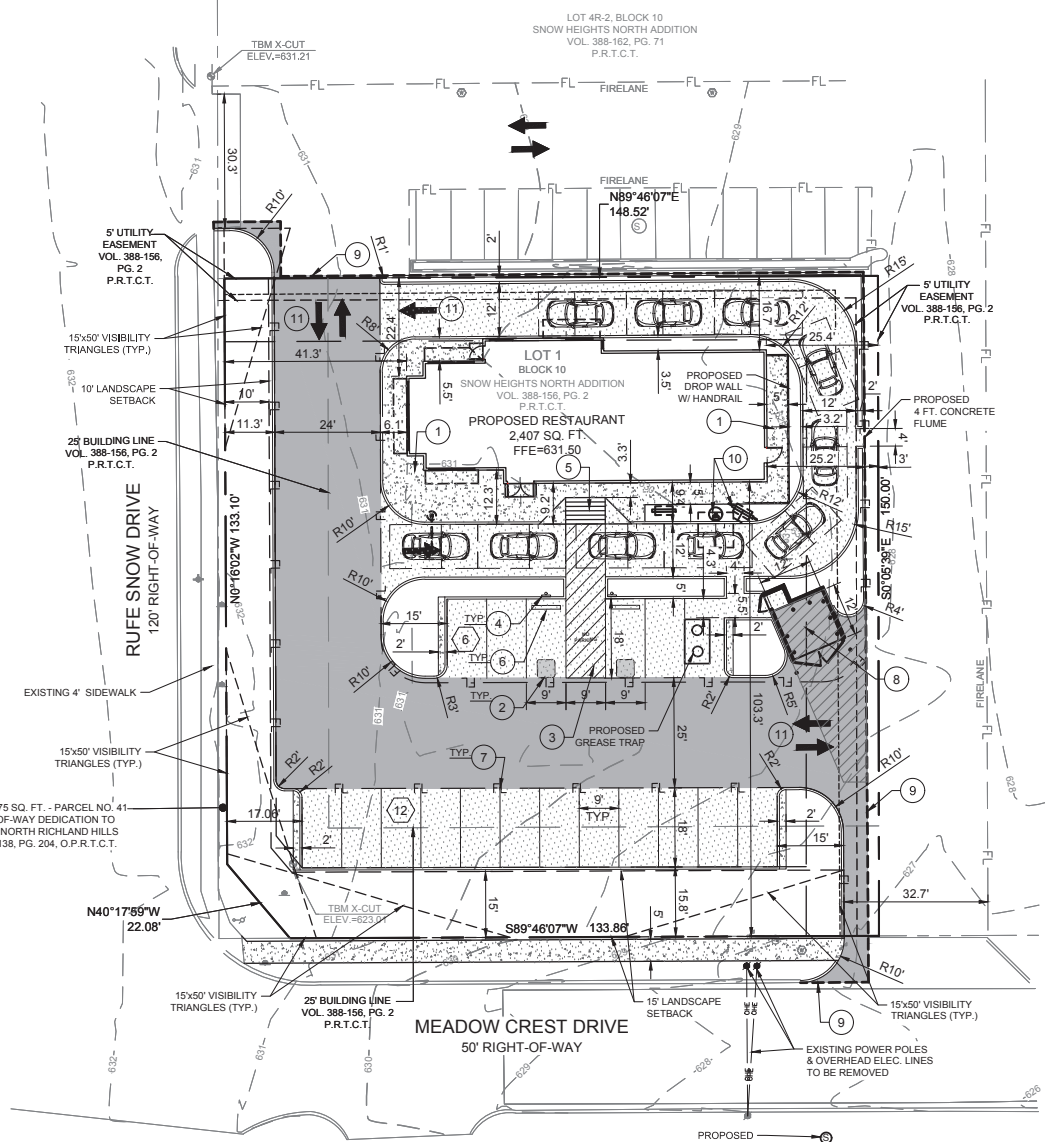


PLOTTED BY: MARK TORRES
 PLOT DATE: 9/28/2021 4:44 PM
 LOCATION: Z:\PROJECTS\2021-153 POPEYES NORTH RICHLAND HILLS\CADD\SHEETS\SP-1 SITE PLANDWG
 LAST SAVED: 9/23/2021 2:25 PM



VICINITY MAP
N.T.S.

CONSTRUCTION SCHEDULE	
①	CONCRETE SIDEWALK
②	HANDICAP SYMBOL
③	PAVEMENT STRIPING
④	HANDICAP SIGN
⑤	ADA RAMP, 12:1 MAX. SLOPE
⑥	CURB STOP
⑦	4" PARKING STALL STRIPING COLOR: WHITE (TYP)
⑧	TRASH ENCLOSURE. SEE ARCH. PLANS FOR DETAILS
⑨	SAWCUT FULL DEPTH EXISTING PAVEMENT
⑩	ORDER MENU BOARD. SEE ARCH. PLANS FOR DETAILS
⑪	DIRECTIONAL ARROWS SEE ARCH. PLANS FOR DETAILS

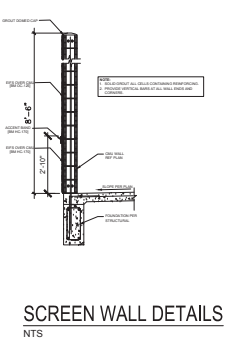
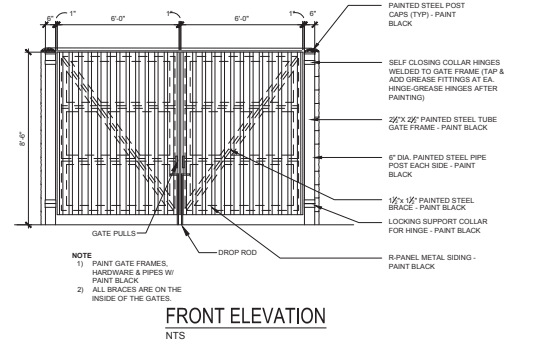
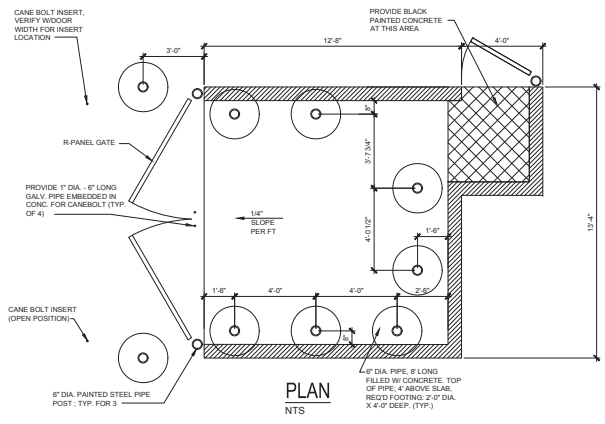
LEGEND	
	HEAVY DUTY CONCRETE PAVEMENT PER DETAIL SHEET C-10
	LIGHT DUTY CONCRETE PAVEMENT PER DETAIL SHEET C-10
	DUMPSTER CONCRETE PAVEMENT PER DETAIL SHEET C-10
	PROPOSED CONCRETE SIDEWALK PER DETAIL SHEET C-10
	PROPERTY LINE
	FULL-DEPTH SAWCUT
	EASEMENT LINE
	PARKING COUNT

FLOODPLAIN NOTE
 THIS PROPERTY IS LOCATED IN NON-SHADED ZONE "X" AS SCALED FROM THE F.E.M.A. FLOOD INSURANCE RATE MAP DATED MARCH 21, 2019 AS SHOWN ON MAP NUMBER 48439C0205L.

- NOTES:**
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND EXACT DOOR LOCATIONS.
 - AN EXTRA SACK OF CEMENT PER CUBIC YARD IS REQUIRED FOR ALL HAND POURS.
 - ALL RIGID PAVEMENT WITHIN THE CITY RIGHT-OF-WAY OR UNDER A FIRE LANE SHALL BE PER CITY STANDARDS AND DETAILS.

SITE DATA TABLE	
SITE AREA (NET ROW TAKE)	0.51 AC (22,124 SF)
LEGAL DESCRIPTION	SNOW HEIGHTS NORTH ADDITION
EXISTING ZONING	C-1 COMMERCIAL
PROPOSED USE	RESTAURANT W/ DRIVE THRU
PROPOSED BUILDING AREA	2,407 SF
PROPOSED BUILDING HEIGHT	21' - 10"
LOT COVERAGE	1.09%
FLOOR AREA RATIO	0.011 : 1
PERVIOUS AREA	5,065 SF
IMPERVIOUS AREA	17,059 SF
PERCENT IMPERVIOUS	77.11%

PARKING DATA TABLE	
PARKING REQUIRED	
RESTAURANT: 1 SPACE PER 250 SF (2407 SF / 250 SF)	10 SPACES
PARKING PROVIDED	18 SPACES TOTAL
STANDARD PARKING SPACE	16 SPACES TOTAL
ADA PARKING SPACE	2 SPACES TOTAL



DUMPSTER ENCLOSURE DETAILS

PRELIMINARY
 FOR REVIEW ONLY
 Not for construction purposes.
 CLAYMOORE ENGINEERING
 ENGINEERING AND PLANNING
 CONSULTANTS
 Engineer: CLAY CRISBY
 P.E. No. 1099800 Date: 9/28/2021

POPEYES LOUISIANA KITCHEN
 5300 RUFE SNOW DRIVE
 NORTH RICHLAND HILLS, TX

NO.	DATE	REVISION	BY

SITE PLAN

DESIGN: MKT
 DRAWN: MKT
 CHECKED: CLC
 DATE: 9/28/2021

SHEET
SP-1



NO.	DATE	REVISION	BY

LANDSCAPE PLANTING

DESIGN:	EMS
DRAWN:	EMS
CHECKED:	RM
DATE:	8/13/2021

SHEET
LP-1

LANDSCAPE CALCULATIONS

TOTAL SITE AREA:	22,124 SF
MINIMUM LANDSCAPE AREA:	3,319 SF
LANDSCAPE AREA PROVIDED:	5,191 SF
PARKING LOT TOTAL PARKING SPACES:	18
TREES REQUIRED (1 TREE/10 SPACES):	2 TREES
TREES PROVIDED:	4 TREES
ALL ISLANDS WITH 1 TREE	PROVIDED
STREET TREES RUFÉ SNOW DR:	133 LF
TREES REQUIRED (1 TREE/50 LF):	3 TREES
TREES PROVIDED:	3 TREES
SHRUBS REQUIRED:	27 SHRUBS
SHRUBS PROVIDED:	34 SHRUBS
STREET TREES MEADOW CREST DR:	134 LF
TREES REQUIRED (1 TREE/50 LF):	3 TREES
TREES PROVIDED:	3 TREES
SHRUBS REQUIRED:	27 SHRUBS
SHRUBS PROVIDED:	31 SHRUBS
FRONTAGE SCREENING:	PROVIDED

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CAL.	CONT.	SIZE
	QS	3	Quercus shumardii Shumard Red Oak	4" Cal.	Cont.	12" minimum
	TD	2	Taxodium distichum Bald Cypress	4" Cal.	Cont.	12" minimum
	UC	2	Ulmus crassifolia Cedar Elm	4" Cal.	Cont.	12" minimum
	UA	3	Ulmus parvifolia 'Allee' Allee Lacebark Elm	4" Cal.	Cont.	12" minimum

SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	SPACING	SIZE
	AK	23	Abelia x grandiflora 'Kaleidoscope' Glossy Abelia	3 gal	36" OC	24" MIN
	BA	18	Berberis thunbergii 'Aurea Nana' Japanese Barberry	3 gal	36" OC	24" MIN
	IN	19	Ilex vomitoria 'Nana' Dwarf Yaupon	3 gal	36" OC	24" MIN
	JB2	36	Juniperus horizontalis 'Blue Chip' Blue Chip Juniper	3 gal	36" OC	24" MIN
	LC	25	Leucophyllum frutescens 'Compacta' Compact Texas Ranger	5 gal	36" OC	24" Min.
	MS	40	Miscanthus sinensis 'Adagio' Adagio Eulalia Grass	3 gal	36" OC	
	MC	5	Myrica cerifera Wax Myrtle	5 gal	36" OC	36" Min
	MP	22	Myrica cerifera 'Pumila' Dwarf Wax Myrtle	5 gal.	36" OC	24" MIN

GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	SPACING	SIZE
	CT	2,295 sf	Cynodon dactylon 'Tif 419' Bermuda Grass	sod		

GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUND COVER PATTERNS) SHALL TAKE PRECEDENCE.
 - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
 - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

ROOT BARRIERS

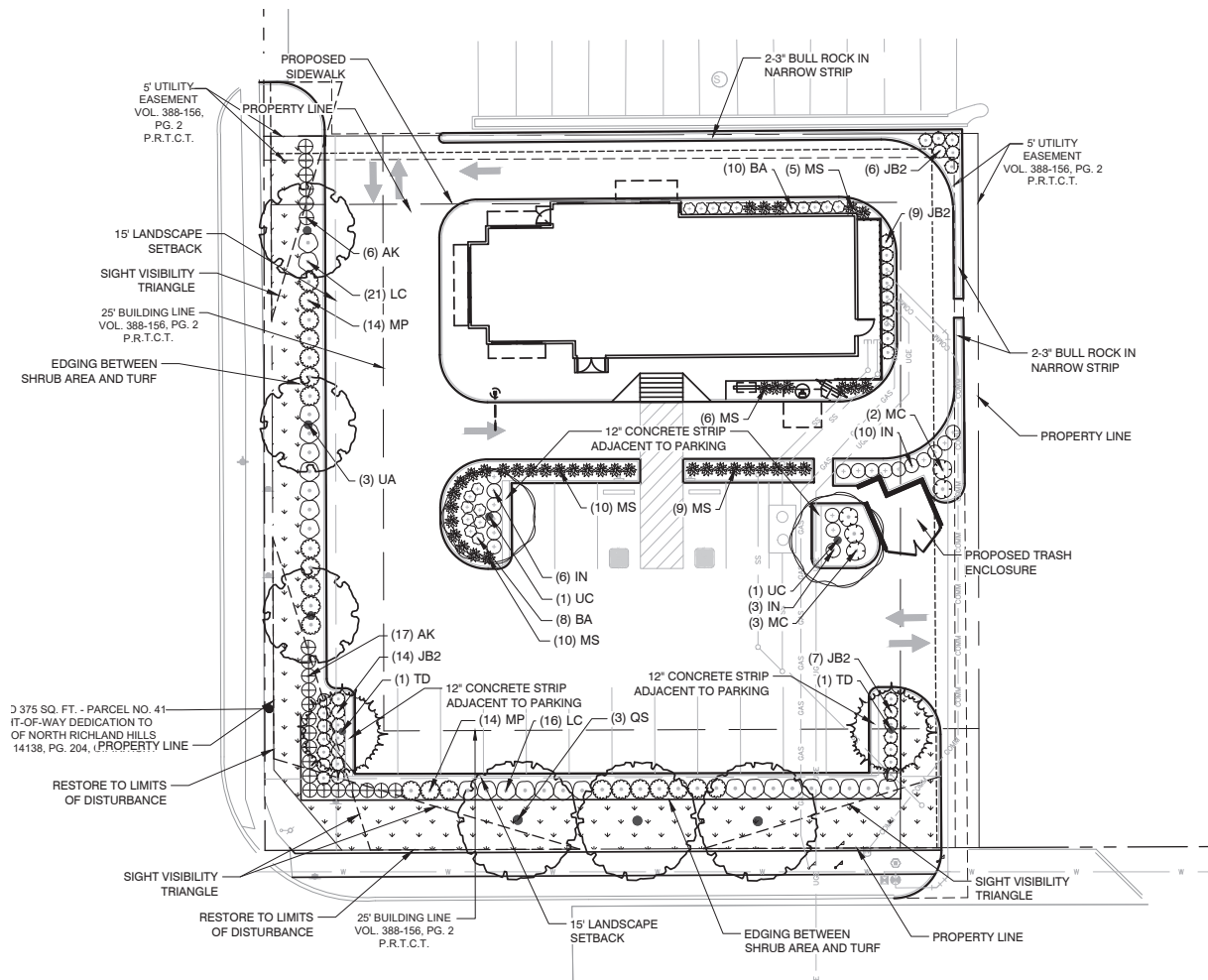
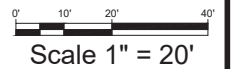
THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

IRRIGATION CONCEPT

All required landscape areas shall be provided with an automatic underground irrigation system. Any new irrigation system must be equipped with rain and freeze sensors. Said irrigation system shall be designed by a qualified professional and installed by a licensed irrigator after receiving a permit, as may be required under the construction code. Irrigation systems shall comply with the city's water conservation ordinance as it exists or may be amended.



ERIC SHEPLEY
9/28/2021 8:56 AM
C:\USERS\ESHEP\WORKBOX\EDG - SHARED\2021\POPEYES\POPEYE - NORTH RICHLAND HILLS\POPEYES\POPEYE - NORTH RICHLAND HILLS TX LP 2021-09-28.DWG
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PLOT DATE:
LOCATION:
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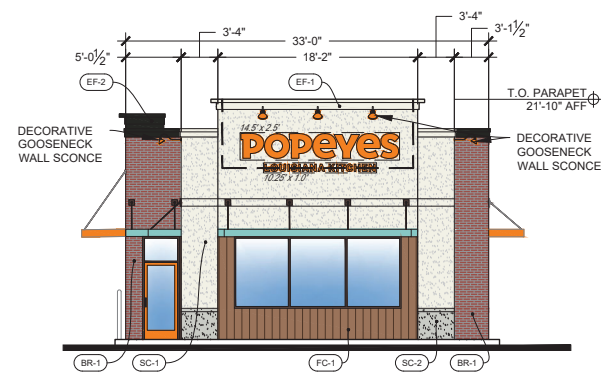
REVISIONS:

FAÇADE PLAN

FP

DATE: November 9, 2021

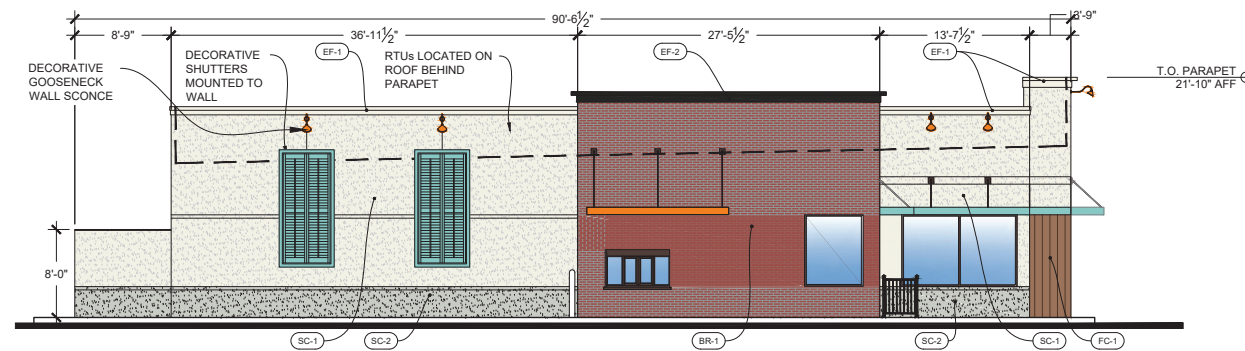
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FRONT ELEVATION (WEST)

1/8" = 1'-0"

FRONT ELEVATION		
GLASS	131.4 sqft	19.1%
BRICK	117.5 sqft	17.1%
EIFS	333.2 sqft	48.5%
NICHIHA	71.0 sqft	10.3%
CORNICE	33.4 sqft	4.9%
DOOR	0.0 sqft	0.0%
SHUTTERS	0.0 sqft	0.0%
TOTAL	686.5 sqft	100.0%



DRIVE-THRU ELEVATION (NORTH)

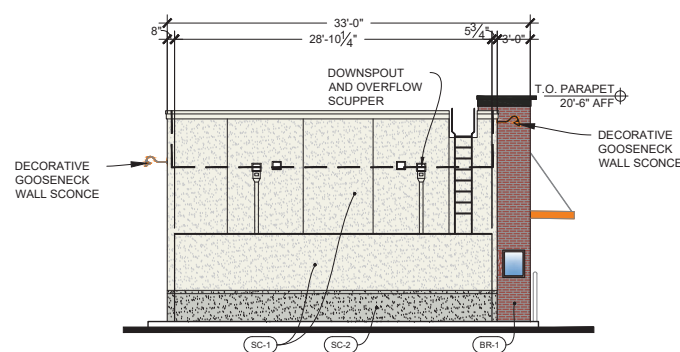
1/8" = 1'-0"

DRIVE-THRU ELEVATION		
GLASS	123.2 sqft	7.3%
BRICK	483.1 sqft	28.6%
EIFS	870.9 sqft	51.6%
NICHIHA	35.0 sqft	2.1%
CORNICE	67.9 sqft	4.0%
DOOR	0.0 sqft	0.0%
SHUTTERS	106.7 sqft	6.3%
TOTAL	1686.8 sqft	100.0%

MATERIALS LIST		
BRICK (BR-1)	DESIGN AND DIRECT SOURCE URBAN ARCHITECTURAL SERIES FLAGSTAFF	
EIFS/STUCCO (SC-1)	3-COAT SYSTEM BENJAMIN MOORE OC-125 MOONLIGHT WHITE	
EIFS/STUCCO (SC-2)	3-COAT SYSTEM BENJAMIN MOORE HC-170 STONINGTON GRAY	

MATERIALS LIST		
NICHIHA (FC-1)	NICHIHA FIBER CEMENT BOARD CEDAR	
EIFS (EF-1)	DRYVIT SYSTEMS BENJAMIN MOORE OC-125 MOONLIGHT WHITE	
EIFS (EF-2)	DRYVIT SYSTEMS 2105-20 ROOT BEER CANDY	

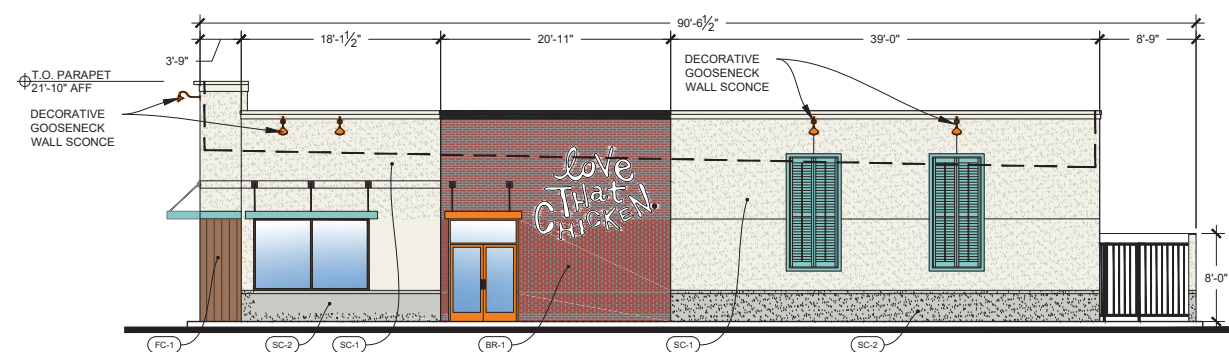
MATERIALS LIST		
SHUTTERS, PAINTED	BENJAMIN MOORE 669 OCEANIC TEAL	



REAR ELEVATION (EAST)

1/8" = 1'-0"

REAR ELEVATION		
GLASS	5.0 sqft	0.8%
BRICK	54.4 sqft	8.6%
EIFS	548.2 sqft	86.6%
NICHIHA	0.0 sqft	0.0%
CORNICE	25.4 sqft	4.0%
DOOR	0.0 sqft	0.0%
SHUTTERS	0.0 sqft	0.0%
TOTAL	633.0 sqft	100.0%



ENTRY ELEVATION (SOUTH)

1/8" = 1'-0"

ENTRY ELEVATION		
GLASS	127.4 sqft	8.0%
BRICK	326.1 sqft	20.6%
EIFS	926.9 sqft	58.5%
NICHIHA	35.0 sqft	2.2%
CORNICE	62.9 sqft	4.0%
DOOR	0.0 sqft	0.0%
SHUTTERS	106.7 sqft	6.7%
TOTAL	1585.0 sqft	100.0%

NOTE:
 ROOF SYSTEM TO BE A PVC ROOF, SLOPED 1/4" PER 12" TO REAR. PVC MEMBRANE TO HAVE A SOLAR REFLECTIVE INDEX AT LEAST 75 (DURO-LAST 50-MIL MEMBRANE IN WHITE or equal)
 MEMBRANE SHALL BE LISTED ON COOL ROOF RATING COUNCIL (CRR) WEBSITE

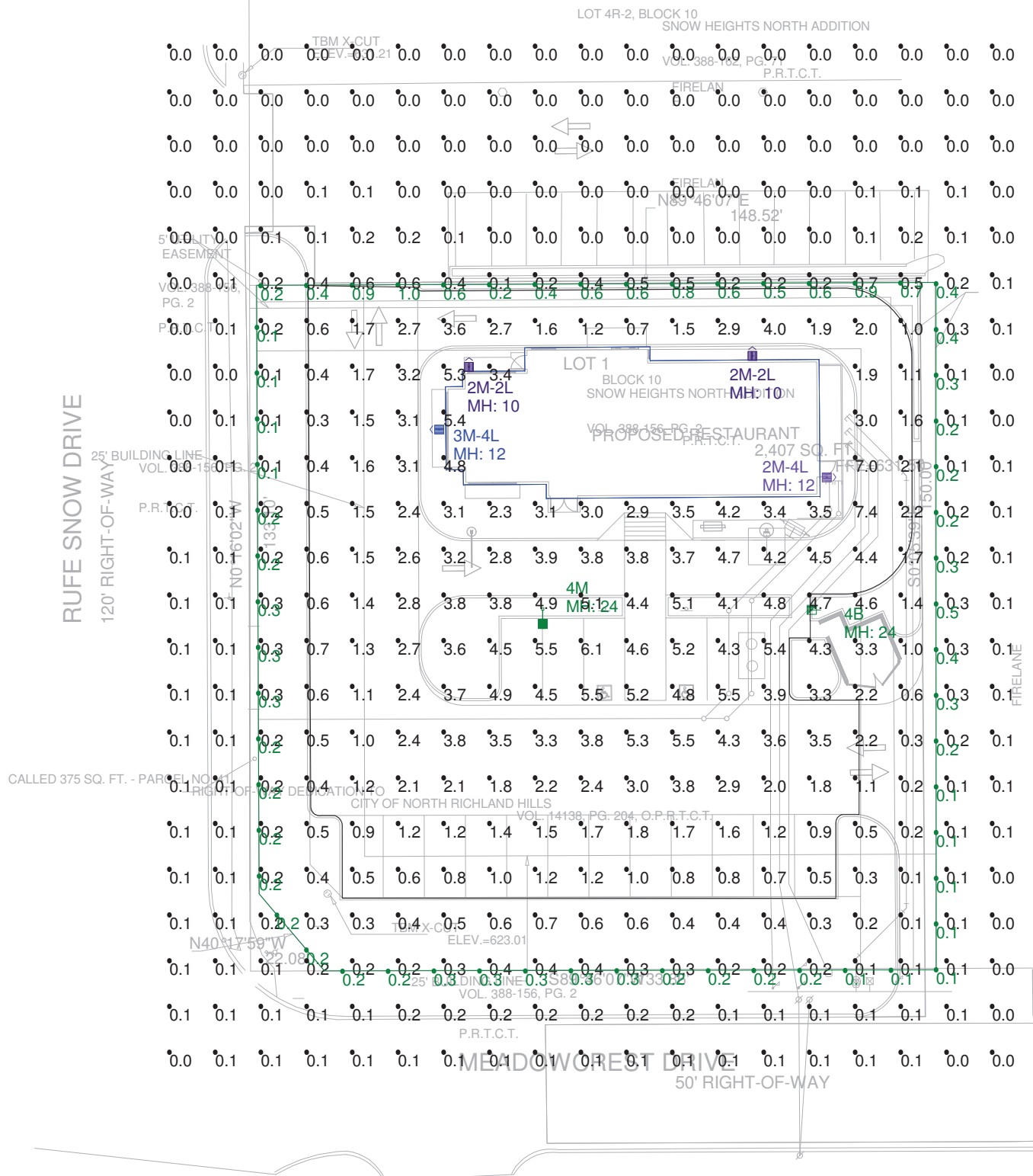


DUMPSTER ELEVATIONS

1/8" = 1'-0"

Symbol	Qty	Label	Arrangement	LMF	Lum. Lumens	Lum. Watts	Part Number	BUG Rating
	2	2M-2L	SINGLE	1.000	2490	19	XSPW-B-WM-2ME-2L-57K-UL-WH	B1-U0-G1
	1	2M-4L	SINGLE	1.000	4270	31	XSPW-B-WM-2ME-4L-57K-UL-WH	B1-U0-G1
	1	3M-4L	SINGLE	1.000	4270	31	XSPW-B-WM-3ME-4L-57K-UL-WH	B1-U0-G1
	1	4B	SINGLE	1.000	17000	132	OSQ-A-NM-4ME-T-57K-UL-BZ w/OSQ-B-AABZ OSQ-BLSLF	B2-U0-G3
	1	4M	SINGLE	1.000	22100	132	OSQ-A-NM-4ME-T-57K-UL-BZ w/OSQ-B-AABZ	B3-U0-G3

Calculation Summary (Footcandles calculated using initial lumen values @ 25°C)						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts	Fc	1.08	7.4	0.0	N.A.	N.A.
PROPERTY LINE	Fc	0.32	1.0	0.1	3.20	10.00
Meadowcrest Dr PL	Fc	0.21	0.3	0.1	2.10	3.00
PAVED AREA	Fc	2.95	7.4	0.5	5.90	14.80
Rufe Snow Dr PL	Fc	0.19	0.3	0.1	1.90	3.00



FIXTURE MOUNTING HEIGHT: 24' AFG (22' POLE + 2.0' Base)

ADDITIONAL EQUIPMENT REQUIRED:
 (2) CL-SSP-4011-22-OT-BZ (22' x 4" x 11ga STEEL SQUARE POLE)
 (2) PB-1A4 SINGLE TENON
 (2) OSQ-B-AABZ ADJUSTABLE ARM MOUNT
 (1) OSQ-BLSLF BACKLIGHT SHIELD

PROPOSED POLES MEET 120MPH SUSTAINED WIND LOADS