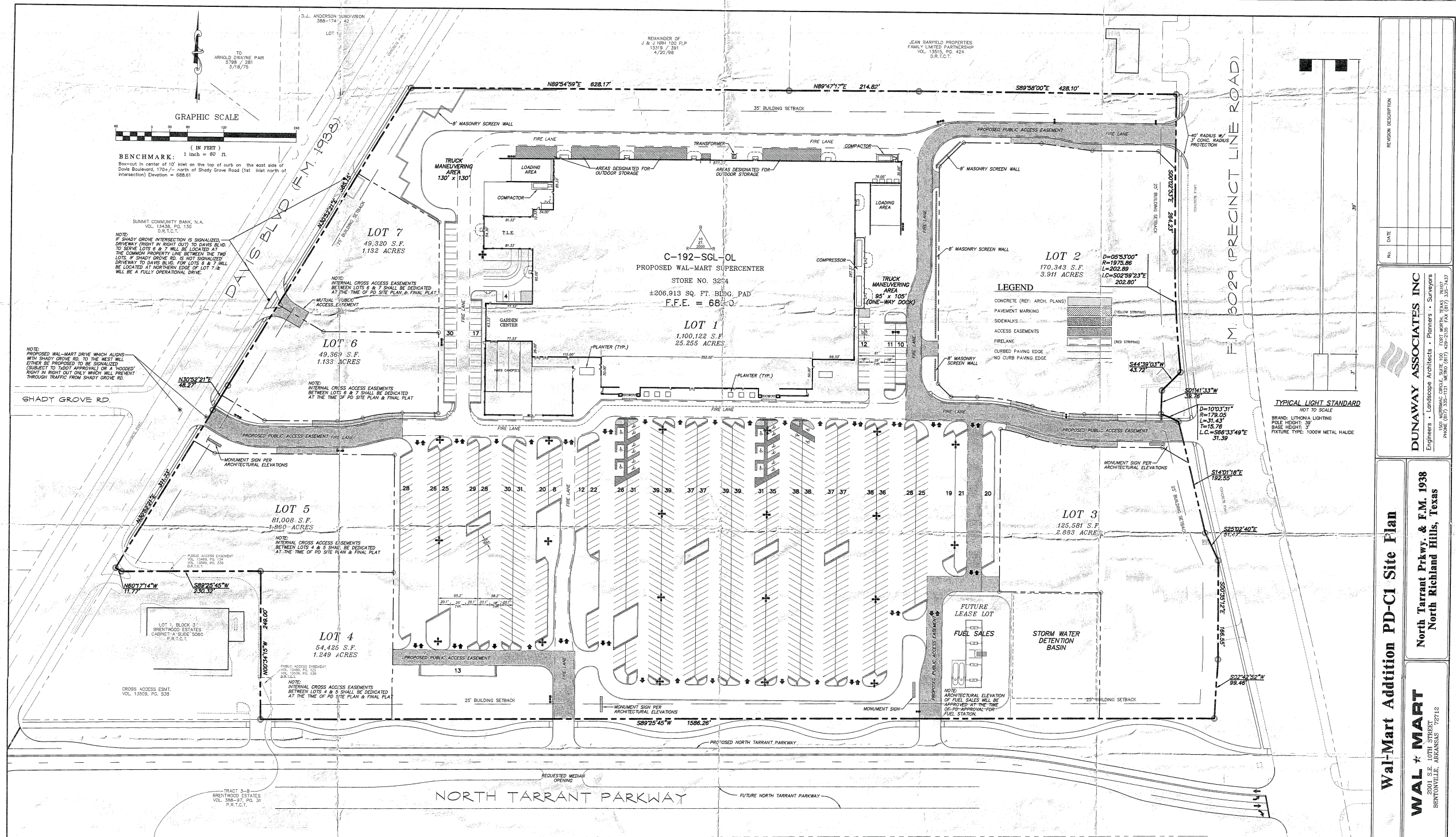


EXHIBIT A - WALMART



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SITE LIGHTING FIXTURES

+ AV + J-MOD
 - BV - KV

LANDSCAPE ARCHITECT:
 DUNAWAY ASSOCIATES, INC.
 1501 MERRIMAC CIRCLE
 SUITE 100
 FT. WORTH, TEXAS 76107
 (817) 335-1121
 TOM GALBREATH

ENGINEER/SURVEYOR:
 DUNAWAY ASSOCIATES, INC.
 1501 MERRIMAC CIRCLE
 SUITE 100
 FT. WORTH, TEXAS 76107
 (817) 335-1121
 TOM HUFFHINES

OWNER / DEVELOPER:
 WAL-MART STORES EAST
 2001 S.E. 10TH STREET
 BENTONVILLE, AR 72712
 (501)273-4814

NOTES:
 MINIMUM DISTRICT AREA 50' ACRE
 MINIMUM FRONTAGE 50' ACRE
 MAX. LOT COVERAGE NONE
 LOT AREA MIN. NONE
 MIN. LOT WIDTH NONE
 MIN. LOT DEPTH NONE
 MIN. FRONT BLDG. LINE 25'
 MIN. SIDE BLDG. LINE NONE
 MIN. REAR BLDG. LINE 35'
 PARKING REQUIRED 1:250
 MIN. MASONRY REQUIREMENT 100%

SIGNAGE NOTES:
 MONUMENT SIGNS ALLOWED 1 PER LOT FOR EVERY 300 FEET OF STREET FRONTAGE.
 MONUMENT SIGNS SHALL BE MAX. 12' IN HEIGHT FOR SIGNS LOCATED IN AN AREA THAT IS MORE THAN 10' FROM THE PROPERTY LINE ABUTTING AND PARALLEL TO THE STREET.
 FOR SIGNS LOCATED IN AN AREA THAT IS MORE THAN 10' FROM THE PROPERTY LINE ABUTTING AND PARALLEL TO THE STREET, THE MAXIMUM AREA IS SEVENTY-FIVE (75) SQUARE FEET OF SIGN STRUCTURE AREA AND ONE HUNDRED TEN (110) SQUARE FEET OF SIGN STRUCTURE AREA. MONUMENT SIGNS SHALL BE SITUATED WITHIN AND PERPENDICULAR TO THE INCREMENT OF QUALIFIED STREET FRONTAGE USED TO CALCULATE THE SIGN AREA.

COUNCIL APPROVED
 3/26/01

SITE DATA	WAL-MART
TOTAL SITE AREA (LOTS 1-7)	37.424 ACRES
WAL-MART SITE AREA (LOTS 1-7)	26.255 ACRES
OUTLOT SITE AREA (LOTS 2-7)	12.169 ACRES
BUILDING AREA (192 PROTO)	±206,913 S.F.
ZONING	C-1
WAL-MART PARKING REQUIRED (5.0/1000 S.F. OR 1/200 S.F.)	1,035
PARKING REQUIRED BY CITY (1/250 S.F.)	828
PARKING PROVIDED (5.0/1000 S.F.)	1,046
ACCESSIBLE PARKING REQ. BY CITY (1% OF TOTAL SPACES)	11
ACCESSIBLE PARKING REQ./PROV. (2% OF TOTAL SPACES)	21/21

PD-C1 CONDITIONS

LOTS 2-7 AND FUEL SALES LEASE LOT WILL BE PROCESSED AS A SEPARATE PD-C1 SITE PLAN APPLICATION PERMITTED USES FOR ALL THE LOTS IS AS LISTED BELOW.

PERMITTED USES

ALL USES PERMITTED IN C1 COMMERCIAL AND THE FOLLOWING ADDITIONAL USES:

AUTOMOTIVE REPAIR, SERVICING AND LUBRICATION SO LONG AS THE ACTIVITIES OCCUR WITHIN SERVICE BAYS OF THE BUILDING, NO OUTDOOR STORAGE WILL BE PERMITTED.

GASOLINE & DIESEL AUTOMOTIVE FUEL SALES.

OUTDOOR STORAGE AREAS AS SPECIFICALLY DESIGNATED ON THE SITE PLAN.

LOT & AREA REQUIREMENTS SHALL CONFORM TO C-1 CRITERIA.

EXTERIOR BUILDING MATERIALS AND ARTICULATION FOR LOT 1 ARE AS SHOWN ON THE PD SITE PLAN AND ARCHITECTURAL ELEVATIONS.

HOURS OF OPERATIONS: 24 HOURS/DAY 365 DAYS/YEAR

LANDSCAPE FOR LOT 1 IS AS ILLUSTRATED ON THE PD SITE PLAN THE BALANCE OF LOTS 2-7 WILL MEET OR EXCEED NORTH RICHLAND HILLS LANDSCAPING REQUIREMENTS.

EXTERIOR LIGHTING ON LOT 1 WILL CONSIST OF 42' HIGH 1000 W METAL HALIDE FIXTURES AS INDICATED ON THE SITE PLAN.

REFUSE ON LOT 1 WILL BE HANDLED BY TWO COMPACTORS NEXT TO THE TRUCK WELLS.

SIGNS FOR LOT 1 ARE AS DEPICTED ON THE ARCHITECTURAL ELEVATIONS, DETACHED SIGNS ARE LIMITED TO 3 MONUMENTAL SIGNS RELATED TO THE RETAIL/WHOLESALE BUILDING AS DEPICTED ON THE PD SITE PLAN AND ONE MONUMENT SIGN FOR THE GAS FUELING FACILITY. LOTS 2-7 SHALL BE LIMITED TO MONUMENT SIGNS NOT TO EXCEED ONE PER LOT.

PD-C1 CONDITIONS (CONTINUED)

PUBLIC STREET ACCESS FOR LOT 1 IS AS DEPICTED ON THE PD SITE PLAN. ANY ADDITIONAL PUBLIC STREET ACCESS POINTS TO LOTS 2-7 MUST BE APPROVED SEPARATELY BY NORTH RICHLAND HILLS PUBLIC WORKS DEPT.

LOT 1 COVERAGE IS 192.

VARIANCES REQUESTED
 (OR ITEMS THAT REQUIRE SPECIAL USE PERMIT OR CONDITIONAL SPECIAL USE PERMIT IN C-1 COMMERCIAL)

- VARIANCE OF 100% MASONRY REQUIREMENT.
- VARIANCE FOR THE MAXIMUM STRUCTURE AREA OF THE THREE PROPOSED WAL-MART MONUMENT SIGNS. MAXIMUM STRUCTURE AREA PER ORDINANCE IS 110 S.F., VARIANCE REQUESTED IS 160 S.F. (*NOTE PROPOSED FUEL STATION SIGN COMPLIES WITH THE SIGN ORDINANCE)
- BUILDING ARTICULATION.
- GARDEN CENTER & OUTDOOR DISPLAY
- OUTSIDE STORAGE
- AUTOMOTIVE SERVICING (TIRES, LUBRICATION, BATTERIES)
- AUTOMOTIVE FUEL SALES.
- 50' RADIUS FOR TRUCK ENTRY.
- LESS THAN 500' BETWEEN DRIVEWAYS ON DAYS BLVD.



DATE: 3-19-01

JOB NO.: 99071

DRAWN BY: COB

DESIGNED BY: TSG

APPROVED BY: TSG

DATE: March 19, 2001

SCALE: 1" = 60'

SHEET: 1 OF 1

Wal-Mart Addition PD-C1 Site Plan

WAL-MART
 2001 S.E. 10TH STREET
 BENTONVILLE, ARKANSAS 72712

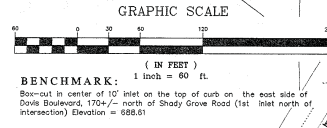
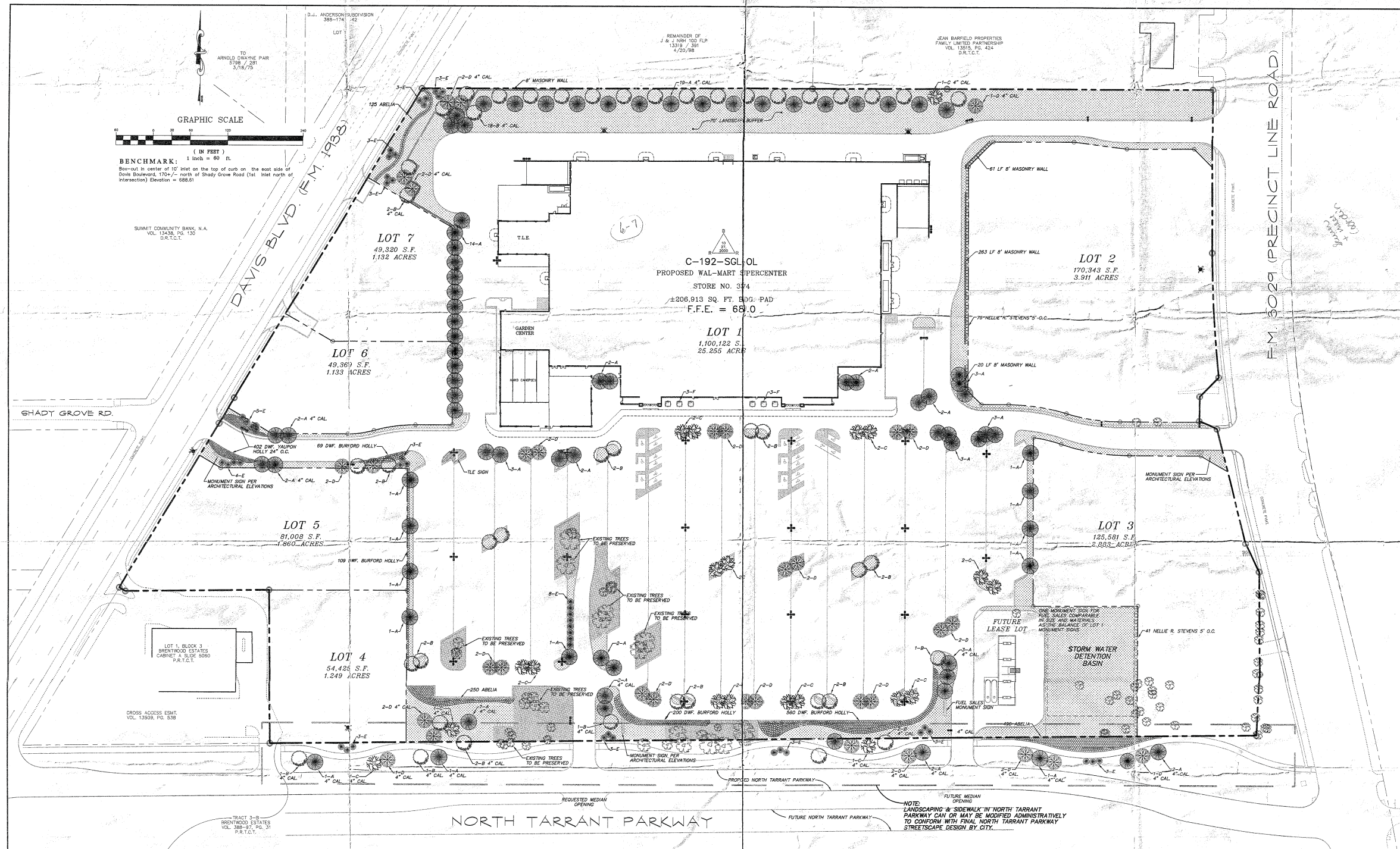
North Tarrant Pkwy. & F.M. 1938
 North Richland Hills, Texas

DUNAWAY ASSOCIATES INC
 Engineers • Landscape Architects • Planners • Surveyors

1501 MERRIMAC CIRCLE SUITE 100 FT. WORTH, TEXAS 76107
 PHONE (817) 335-1121 FAX (817) 335-1121

NO.	DATE	REVISION DESCRIPTION

EXHIBIT A - WALMART



SUMMIT COMMUNITY BANK, N.A.
VOL. 13438, PG. 130
D.T.C.T.

SHADY GROVE RD.

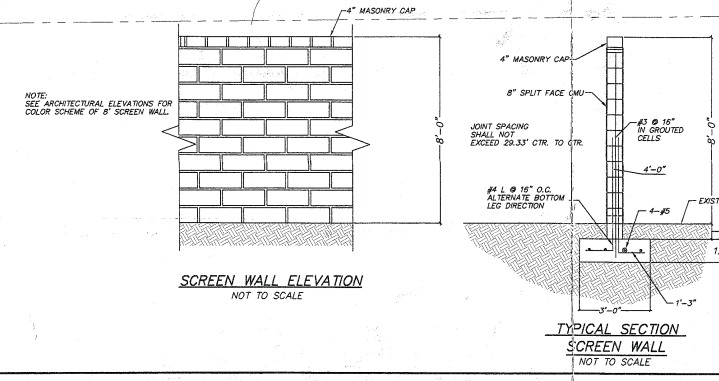
LOT 1 BLOCK 3
BRENTWOOD ESTATES
CABINET A S.S. 5050
P.R.T.C.T.

CROSS ACCESS ESENT.
VOL. 13528, PG. 538

TRACT 3-B
BRENTWOOD ESTATES
VOL. 508-27, PG. 31
P.R.T.C.T.

NORTH TARRANT PARKWAY

F.M. 3029 (PRECINCT LINE ROAD)



COUNCIL APPROVED
3/26/01

LANDSCAPE ARCHITECT:
DUNAWAY ASSOCIATES, INC.
1501 MEMPHIS CIRCLE
SUITE 100
FT. WORTH, TEXAS 76107
(817) 335-1121
TOM CALBREATH

LANDSCAPE LEGEND

- LIVE OAK
- CEDAR ELM
- BUR OAK
- TEXAS RED OAK
- GRAPE MYRTLE
- WAX MYRTLE
- ABELIA
- DWF. BURFORD HOLLY
- NELLIE R. STEVENS
- DWF. YALPUN HOLLY
- LANDSCAPE AREAS & OPEN SPACE
- TREE PRESERVATION AREAS

PLAN MATERIAL LIST

KEY	COMMON/SCIENTIFIC NAME	QUANTITY	HEIGHT	SPREAD	ROOT SYSTEM	SEASONS	EQUIVALENT LANDSCAPE AREA FOR TREES
A.	LIVE OAK <i>Quercus virginiana</i>	36	4"	11'-13"	4'-6"	B & B/CONT. SINGLE TRUNK	28,800 S.F.
B.	CEDAR ELM <i>Ulmus crassifolia</i>	28	4"	11'-13"	4'-6"	B & B/CONT. SINGLE TRUNK	22,400 S.F.
C.	BUR OAK <i>Quercus shumardi</i>	3	4"	12'-14"	4'-6"	B & B/CONT. SINGLE TRUNK	9,800 S.F.
D.	TEXAS RED OAK <i>Quercus shumardi</i>	13	3 3/4"	12'-14"	4'-6"	B & B/CONT. SINGLE TRUNK	10,200 S.F.
E.	GRAPE MYRTLE <i>Ligustrum indica</i>	47	N/A	6'-10"	4'-5"	24" BOX OR CONT. MULTI TRUNK	10,400 S.F.
F.	WAX MYRTLE <i>Myrica cerifera</i>	6	N/A	6'-10"	4'-5"	24" BOX OR CONT. MULTI TRUNK	12,000 S.F.
G.	ABELIA <i>Abelia grandiflora</i>	871	N/A	24"-36"	24"	5 GAL. CONT. 36" O.C.	
H.	DWF. YALPUN HOLLY <i>Ilex vomitoria 'Nana'</i>	402	N/A	16"-24"	14"-20"	5 GAL. CONT. 24" O.C.	4,020 S.F.
I.	NELLIE R. STEVENS	116	N/A	24"-36"	24"	5 GAL. CONT. 5' O.C.	1,740 S.F.
J.	DWF. BURFORD HOLLY <i>Ilex cornuta 'Burfordii'</i>	938	N/A	24"-36"	24"	5 GAL. CONT. 36" O.C.	14,070 S.F.
TOTAL							142,030 S.F.

MAXIMUM CREDIT PERMITTED
7.5% X 1,100,122 = 82,509 S.F.

SITE DATA	WAL-MART
TOTAL SITE AREA (LOTS 1-7)	37.424 ACRES
WAL-MART SITE AREA (LOTS 1)	25.255 ACRES
OUTLOT SITE AREA (LOTS 2-7)	12.169 ACRES
BUILDING AREA (192 PROTO)	±208,913 S.F.
WAL-MART PARKING REQUIRED (5.0/1000 S.F.)	1,035
PARKING PROVIDED (5.01/1000 S.F.)	1,036
ACCESSIBLE PARKING REQ./PROV. (2% OF TOTAL SPACES)	21/21
WAL-MART LANDSCAPE AREA REQUIRED-7.5% OF 1,100,122 S.F.	82,509 S.F.
WAL-MART LANDSCAPE AREA PROVIDED	223,226 S.F.
WAL-MART TREE PRESERVATION AREA PROVIDED	27,729 S.F.
WAL-MART INTERIOR LANDSCAPE REQUIRED-5% OF 483,414 S.F.	24,171 S.F.
WAL-MART INTERIOR LANDSCAPE AREA PROVIDED	36,275 S.F.*

*INCLUDES TREE PRESERVATION AREA

REVISION DESCRIPTION

DATE

NO.

DUNAWAY ASSOCIATES INC.
Engineers • Landscape Architects • Planners • Surveyors
1501 MEMPHIS CIRCLE, SUITE 100, FORT WORTH, TEXAS 76107
PHONE (817) 335-1121 • METRO (817) 429-2135 • FAX (817) 335-7437

Landscape Plan / Wal-Mart Addition

WAL * MART
2001 S.E. 10TH STREET
BENTONVILLE, ARKANSAS 72712

North Tarrant Prkwy. & F.M. 1938
North Richland Hills, Texas

DATE: 3/19/01

JOB NO.: 99071

DRAWN BY: COB

DESIGNED BY: TSG

APPROVED BY: TSG

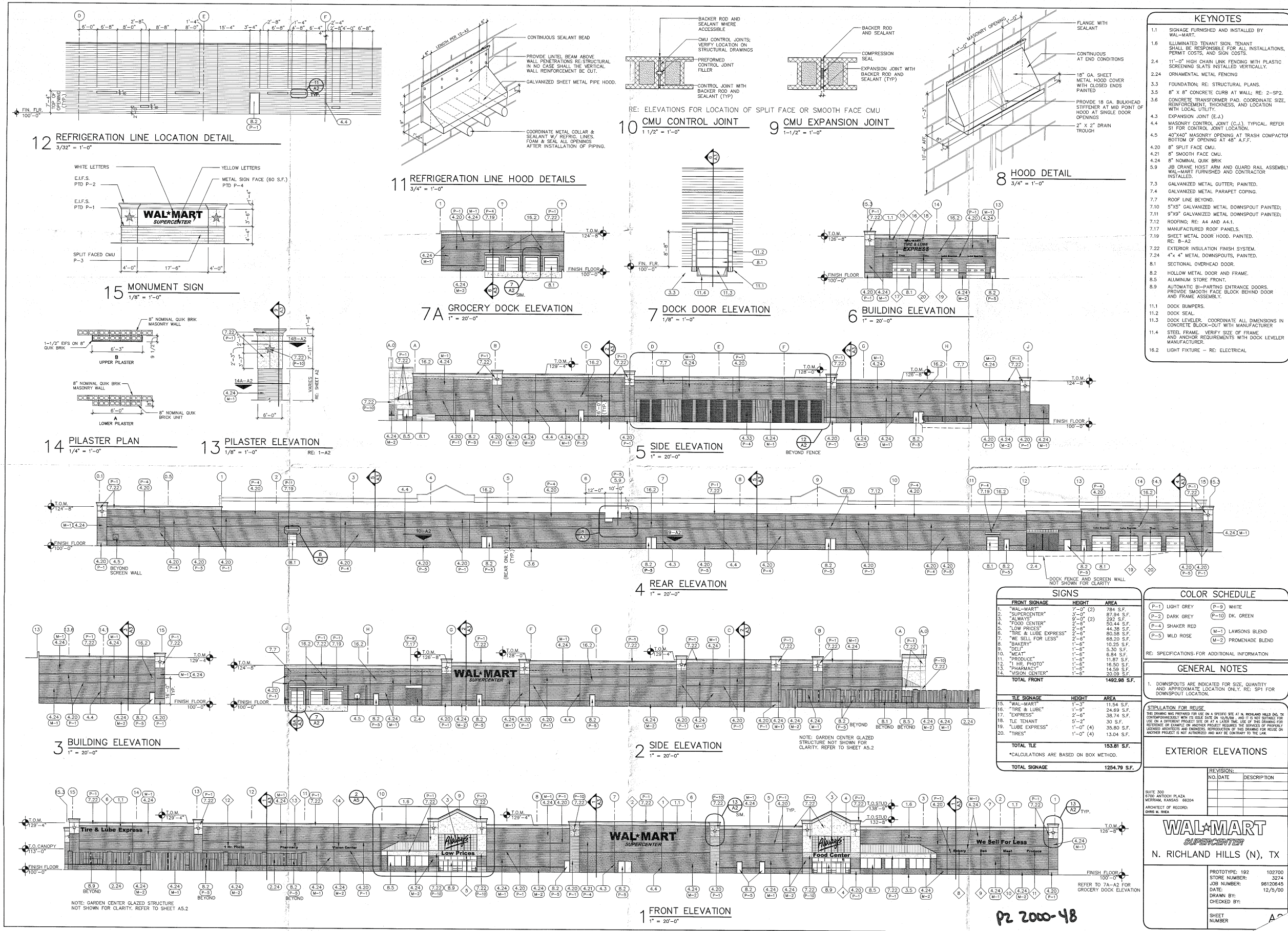
DATE: March 19, 2001

SCALE: 1" = 60'

SHEET: 1 OF 1

I:\Design\9918907\Project\9918907\9918907.dwg Plot No. 19 02:52:32 2001 Dunaway Associates, Inc. CDB

EXHIBIT A - WALMART



- KEYNOTES**
- 1.1 SIGNAGE FURNISHED AND INSTALLED BY WAL-MART.
 - 1.6 ILLUMINATED TENANT SIGN, TENANT SHALL BE RESPONSIBLE FOR ALL INSTALLATIONS, PERMIT COSTS, AND SIGN COSTS.
 - 2.4 11'-0" HIGH CHAIN LINK FENCING WITH PLASTIC SCREENING SLATS INSTALLED VERTICALLY.
 - 2.24 ORNAMENTAL METAL FENCING
 - 3.3 FOUNDATION, RE: STRUCTURAL PLANS.
 - 3.5 8" X 8" CONCRETE CURB AT WALL; RE: 2-SP2.
 - 3.6 CONCRETE TRANSFORMER PAD, COORDINATE SIZE, REINFORCEMENT THICKNESS, AND LOCATION WITH LOCAL UTILITY.
 - 4.3 EXPANSION JOINT (E.J.)
 - 4.4 MASONRY CONTROL JOINT (C.J.), TYPICAL. REFER TO CONTROL JOINT LOCATION.
 - 4.5 40"x40" MASONRY OPENING AT TRASH COMPACTOR BOTTOM OF OPENING AT 48" A.F.F.
 - 4.20 8" SPLIT FACE CMU.
 - 4.21 8" SMOOTH FACE CMU.
 - 4.24 8" NOMINAL QUIK BRK.
 - 5.9 JIB CRANE HOIST ARM AND GUARD RAIL ASSEMBLY, WAL-MART FURNISHED AND CONTRACTOR INSTALLED.
 - 7.3 GALVANIZED METAL GUTTER; PAINTED.
 - 7.4 GALVANIZED METAL PARAPET COPING.
 - 7.7 ROOF LINE BEYOND.
 - 7.10 5"x5" GALVANIZED METAL DOWNSPOUT PAINTED.
 - 7.11 9"x9" GALVANIZED METAL DOWNSPOUT PAINTED.
 - 7.12 ROOFING; RE: A4 AND A4.1.
 - 7.17 MANUFACTURED ROOF PANELS.
 - 7.19 SHEET METAL DOOR HOOD, PAINTED. RE: 8-A2
 - 7.22 EXTERIOR INSULATION FINISH SYSTEM.
 - 7.24 4" X 4" METAL DOWNSPOUTS, PAINTED.
 - 8.1 SECTIONAL OVERHEAD DOOR.
 - 8.2 HOLLOW METAL DOOR AND FRAME.
 - 8.5 ALUMINUM STORE FRONT.
 - 8.9 AUTOMATIC BI-PARTING ENTRANCE DOORS, PROVIDE SMOOTH FACE BLOCK BEHIND DOOR AND FRAME ASSEMBLY.
 - 11.1 DOCK BUMPERS.
 - 11.2 DOCK SEAL.
 - 11.3 DOCK LEVELER, COORDINATE ALL DIMENSIONS IN CONCRETE BLOCK-OUT WITH MANUFACTURER.
 - 11.4 STEEL FRAME, VERIFY SIZE OF FRAME AND ANCHOR REQUIREMENTS WITH DOCK LEVELER MANUFACTURER.
 - 16.2 LIGHT FIXTURE - RE: ELECTRICAL.

SIGNS

FRONT SIGNAGE	HEIGHT	AREA
1. "WAL-MART"	7'-0" (2)	784 S.F.
2. "SUPERCENTER"	3'-0"	87.94 S.F.
3. "ALWAYS"	9'-0" (2)	292 S.F.
4. "FOOD CENTER"	2'-0"	50.44 S.F.
5. "LOW PRICES"	2'-0"	44.38 S.F.
6. "TIRE & LUBE EXPRESS"	2'-0"	80.58 S.F.
7. "WE SELL FOR LESS"	2'-0"	68.20 S.F.
8. "BAKERY"	1'-0"	10.25 S.F.
9. "DELJ"	1'-0"	5.30 S.F.
10. "MEAT"	1'-0"	6.84 S.F.
11. "PRODUCE"	1'-0"	11.87 S.F.
12. "1 HR. PHOTO"	1'-0"	16.50 S.F.
13. "PHARMACY"	1'-0"	14.59 S.F.
14. "VISION CENTER"	1'-0"	20.09 S.F.
TOTAL FRONT		1492.98 S.F.

TILE SIGNAGE	HEIGHT	AREA
15. "WAL-MART"	1'-3"	11.54 S.F.
16. "TIRE & LUBE"	1'-9"	24.69 S.F.
17. "EXPRESS"	2'-0"	38.74 S.F.
18. TILE TENANT	5'-2"	30 S.F.
19. "LUBE EXPRESS"	1'-0" (4)	35.80 S.F.
20. "TIRES"	1'-0" (4)	13.04 S.F.
TOTAL TILE		153.61 S.F.
*CALCULATIONS ARE BASED ON BOX METHOD.		
TOTAL SIGNAGE		1254.79 S.F.

COLOR SCHEDULE

(P-1) LIGHT GREY	(P-9) WHITE
(P-2) DARK GREY	(P-10) DK. GREEN
(P-4) SHAKER RED	(M-1) LAWSONS BLEND
(P-5) WILD ROSE	(M-2) PROMENADE BLEND

RE: SPECIFICATIONS FOR ADDITIONAL INFORMATION

GENERAL NOTES

1. DOWNSPOUTS ARE INDICATED FOR SIZE, QUANTITY AND APPROXIMATE LOCATION ONLY. RE: SP1 FOR DOWNSPOUT LOCATION.

STIPULATION FOR REUSE

THE DRAWING WAS PREPARED FOR USE ON A SPECIFIC SITE AT N. RICHLAND HILLS, TX. IT IS NOT BEING REUSED FOR ANOTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. ANY REUSE OF THIS DRAWING FOR ANY OTHER PROJECT IS NOT AUTHORIZED AND MAY BE CONTRARY TO THE LAW.

EXTERIOR ELEVATIONS

REVISION NO.	DATE	DESCRIPTION

SUITE 300
6700 ANTIOCH PLAZA
NORMAN, KANSAS 66204
ARCHITECT OF RECORD:
DREW H. REKA

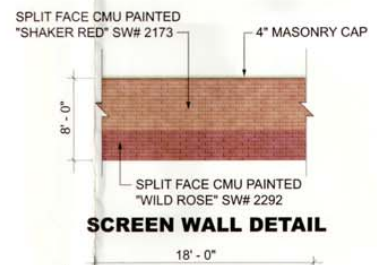
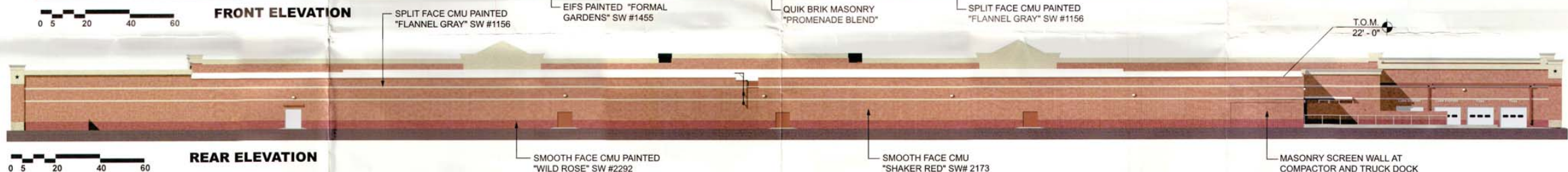
WAL-MART SUPERCENTER
N. RICHLAND HILLS (N), TX

PROTOTYPE: 192 102700
STORE NUMBER: 3274
JOB NUMBER: 98120645
DATE: 12/9/00
DRAWN BY:
CHECKED BY:
SHEET NUMBER

Johnson

P2 2000-48

EXHIBIT A - WALMART



North Richland Hills (N), TX
Material Calculations

Front Elevation		
EIFS	2,737.35 S.F.	17.77%
Glass	896.60 S.F.	5.82%
Kalwall	492.00 S.F.	3.19%
Quik Brik	9,250.05 S.F.	60.04%
Split Face CMU	901.33 S.F.	5.85%
Fencing	1,129.77 S.F.	7.33%
Total	15,407.10 S.F.	100.00%

Left Elevation		
EIFS	1,429.08 S.F.	13.20%
Quik Brik	8,021.08 S.F.	74.04%
Split Face CMU	520.58 S.F.	4.81%
Fencing	861.65 S.F.	7.95%
Total	10,832.39 S.F.	100.00%

Right Elevation		
EIFS	1,503.64 S.F.	12.20%
Quik Brik	8,786.40 S.F.	71.30%
Split Face CMU	2,032.77 S.F.	16.50%
Total	12,322.81 S.F.	100.00%

Rear Elevation		
EIFS	486.52 S.F.	3.19%
Split Face CMU	14,193.51 S.F.	92.97%
Overhead Doors	587.10 S.F.	3.84%
Total	15,267.13 S.F.	100.00%



EXHIBIT B - DAVIS RETAIL

- BUILDING 6,000 SQUARE FEET OR GREATER SHALL BE 100% FIRE SPRINKLED. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE BUILDING AND FIRE DEPARTMENTS.
- FIRE LANES SHALL BE DESIGNED AND CONSTRUCTED PER CITY STANDARDS.
- HANDICAPPED PARKING AREAS SHALL BE DESIGNED AND PROVIDED PER CITY STANDARDS AND SHALL COMPLY WITH REQUIREMENTS OF THE CURRENT, ADOPTED UNIFORM BUILDING CODE.
- FIVE-FOOT WIDE SIDEWALKS SHALL BE PROVIDED 2.5 FEET OFF OF THE PROPERTY LINE WITHIN THE RIGHTS-OF-WAY, UNLESS A SIDEWALK EASEMENT IS PROVIDED FOR A MEANDERING SIDEWALK OR AN ALTERNATIVE DESIGN IS APPROVED BY THE CITY. BARRIER-FREE RAMP, PER CITY STANDARDS, SHALL BE PROVIDED ON SIDEWALKS AT ALL CURB CROSSINGS.
- MECHANICAL UNITS, DUMPSTERS AND TRASH COMPACTORS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
- ALL SIGNAGE CONTINGENT UPON APPROVAL BY BUILDING INSPECTION DEPARTMENT.
- APPROVAL OF THE SITE PLAN IS NOT FINAL UNTIL ALL ENGINEERING PLANS ARE APPROVED.
- OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED ACCORDING WITH ZONING ORDINANCE.
- BUILDING FACADES WITHIN THIS DEVELOPMENT SHALL BE COMPATIBLE, AS PROVIDED IN THE RETAIL CORNER DESIGN GUIDELINES.
- OUTDOOR LIGHTING SHALL COMPLY WITH ILLUMINATION STANDARDS WITHIN SECTION 6-466 OF THE CODE OF ORDINANCES.
- PLEASE CONTACT THE BUILDING INSPECTION DEPARTMENT TO DETERMINE THE TYPE OF CONSTRUCTION AND OCCUPANCY GROUP.
- ALL ELECTRICAL TRANSMISSION, DISTRIBUTION AND SERVICE LINES MUST BE UNDERGROUND.
- USES SHALL CONFORM IN OPERATION, LOCATION, AND CONSTRUCTION TO THE FOLLOWING PERFORMANCE STANDARDS IN SECTION 3-1300 OF THE ZONING CODE, NOISE, SMOKE AND PARTICULATE MATTER, ODOROUS MATTER, FIRE OR EXPLOSIVE HAZARD MATERIAL, TOXIC AND NOXIOUS MATTER, VIBRATION AND/OR OTHER PERFORMANCE STANDARDS.
- BASE ON BOUNDARY SURVEY PLAN PREPARED BY LAND SURVEYOR OF ST. TEXAS.
- ALL ROOF MOUNTED EQUIPMENT WILL BE SCREENED BY A PARAPET WALL, OR OTHER MEANS.

WATER METER SCHEDULE

SYMBOL	TYPE	SIZE	SEWER
	DOMESTIC	1/2"	18"x4" DROP CORNER
	IRRIGATION	1/2"	N/A

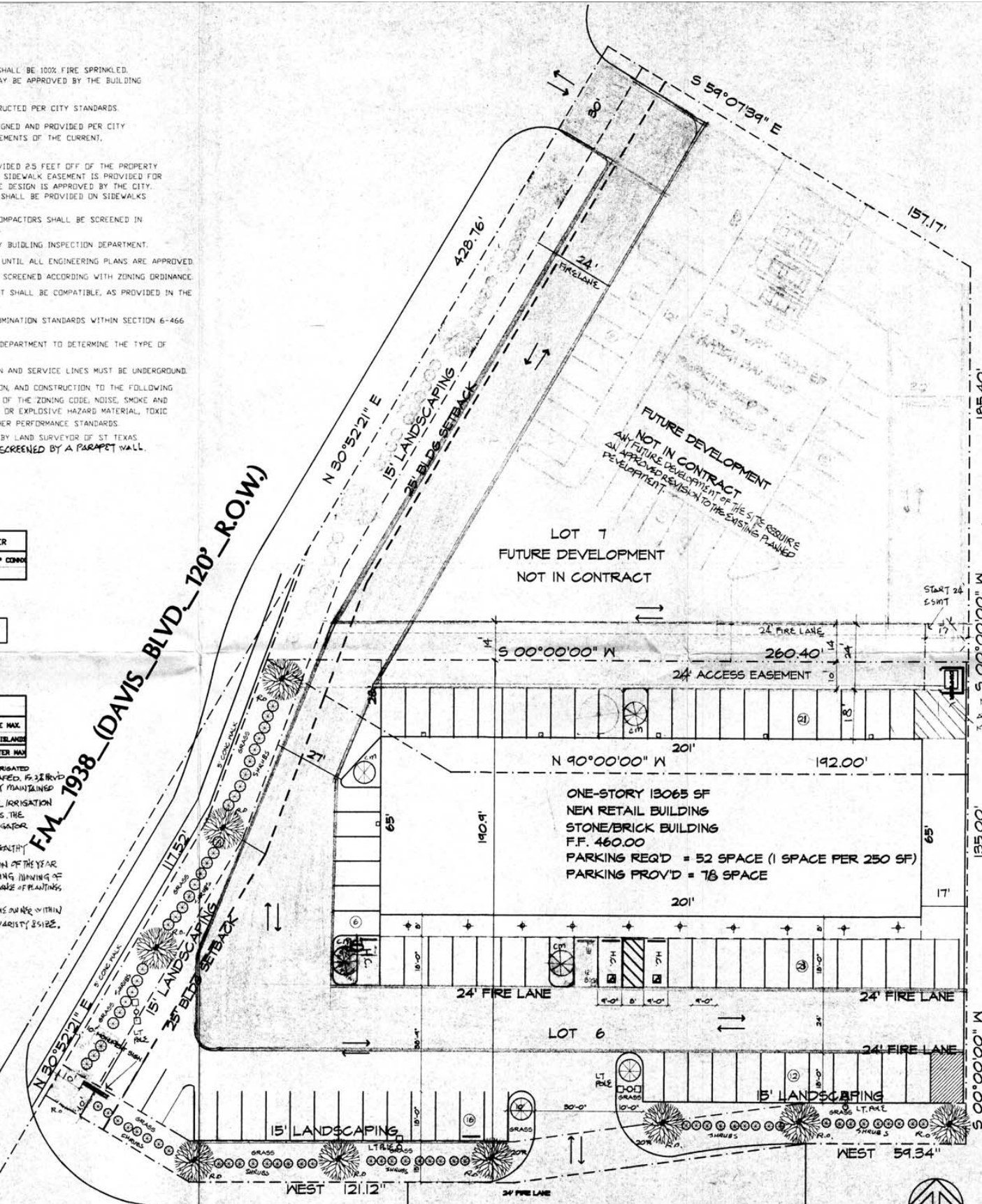
INSTALL 2-1/2" TAPPING BLEEVES
1-2" METER COUPLER
1-2" METER GROMMET

WATER METER & SERVICE TO BE INSTALLED BY CITY WATER DEPT. AT OWNERS EXPENSE

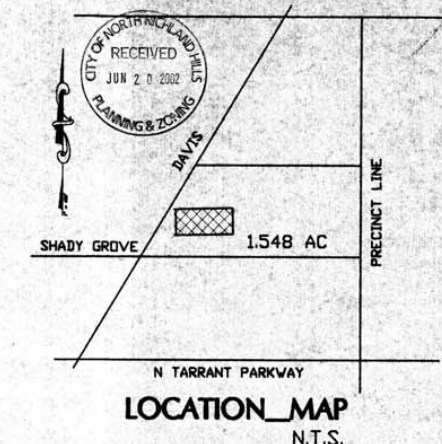
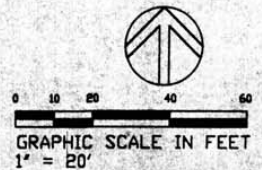
LANDSCAPING SCHEDULE

NUMBER	TYPE	SIZE	REMARKS
1B	LANCASH TREES	3" CALIPER	8' 30" SPACE MAX.
2	ORNAMENT TREES	2" CALIPER	8' PARKING ISLANDS
3C	SHRUBS-HELLY	3 GAL 2" HIGH 8" ON CENTER MAX	

- NOTE: ALL LANDSCAPING AREAS NEED FULL SPRINKLE IRRIGATED MINIMUM 1/2" OF THE LOTTING TO BE LANDSCAPED. PER REVIEW
- ALL REQUIRED LANDSCAPE AREAS SHALL BE PERMANENTLY MAINTAINED AND SHALL BE IRRIGATED WITH AN AUTOMATIC COVERED IRRIGATION SYSTEM EQUIPPED WITH RAIN AND FREEZE SENSOR CONTROLS. THE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED IRRIGATOR OR MASTER PLUMBER.
 - ALL PLANT MATERIALS SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS APPROPRIATE FOR THE SEASON OF THE YEAR. THE PROPERTY OWNER IS RESPONSIBLE FOR REGULAR WEEDING, MOWING OF GRASS, IRRIGATION, FERTILIZING, PRUNING AND OTHER MAINTENANCE OF PLANTINGS AS NEEDED.
 - PLANT MATERIALS WHICH DIE SHALL BE REPLACED BY THE OWNER WITHIN A SIX MONTH PERIOD WITH PLANT MATERIALS OF SIMILAR VARIETY & SIZE.



SITE PLAN
1" = 20'
LANDSCAPING PLAN



LEGEND

- FIRE HYDRANT
- EXIST'G 8" WATER LINE
- PROP'D 2" WATER LINE
- EXIST'G 8" SANITARY SEWER LINE
- PROP'D 4" SANITARY SEWER LINE

SITE DATA SUMMARY TABLE

ZONING	GB RETAIL
PROPOSE USE	GENERAL RETAIL STORE
SITE	1.172 ACRES @ LOT 6
BUILDING SQ.FTG.	13,065 SF
BUILDING HEIGHT	1-STORY, 20 FEET
LOT COVERAGE	55,405 SQ.FT.
FLOOR AREA RATIO	0.235 (23.5%)
OCCUPANCY LOAD	150 PERSON
PARKING REQ'D	52 (1 SPACE PER 250 SF)
RETAIL PLUS 1 SPACE FOR 100 SF RESTAURANT)	
PARKING PROV'D	78
HANDICAPPED PARKING REQ'D	2 SPACE
HANDICAPPED PARKING PROV'D	3 SPACE (1 VAN ACCESS)
INTERIOR LANDSCAPING REQ'D	3 TREES
INTERIOR LANDSCAPING PROV'D	3 TREES (15.2% LS AREAS)
TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE	500 SQ.FT. 3,600 SF PROV'D
FIRE SPRINKLER	NO
DESIGN LIVE LOAD	ROOF 20 PSF WIND 20 PSF

SITE PLAN

LOT 6 - BLOCK 1
WAL-MART ADDITION

OWNER: GUIDON GREGG INVESTMENTS, INC.
c/o GUIDON GREGG, III
3838 OAK LAWN AVE.
DALLAS, TX 75219

ENGINEER: Wang Engineering, Inc.
1200 East Executive
Ste. 98
Richardson, TX 75081

MAY 28, 2002

WANG
STRUCTURAL
ENGINEERING

WANG
ENGINEERING, INC.
1200 E EXECUTIVE DR
Ste. 98
Richardson, Texas 75081
(972) 497-8900
FAX: (972) 497-2928
Project Number
2002000105
Date Issued
05-08-2002
Revision
00-00-2002

A_NEW_13065_SF_N_RICHLAND_HILS_RETAIL_CENTER
GUIDON_GREGG_III_INVESTMENTS
FM_1938_(DAVIS_BLDV) & PRECINCT_LINE_RD.



5/28/02 09/11/02
Sheet Number

PR 2000-3881 C1

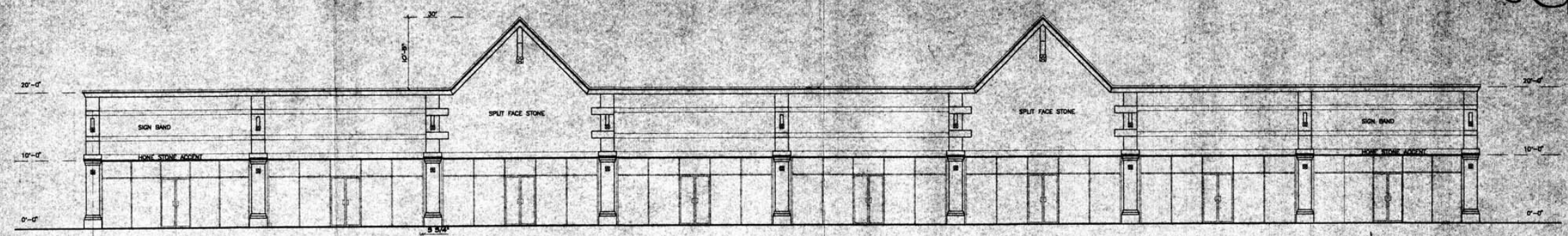
EXHIBIT B - DAVIS RETAIL

P 2000-38R1

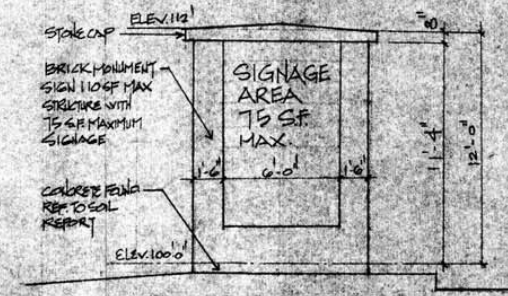


WANG
STRUCTURAL
ENGINEERING

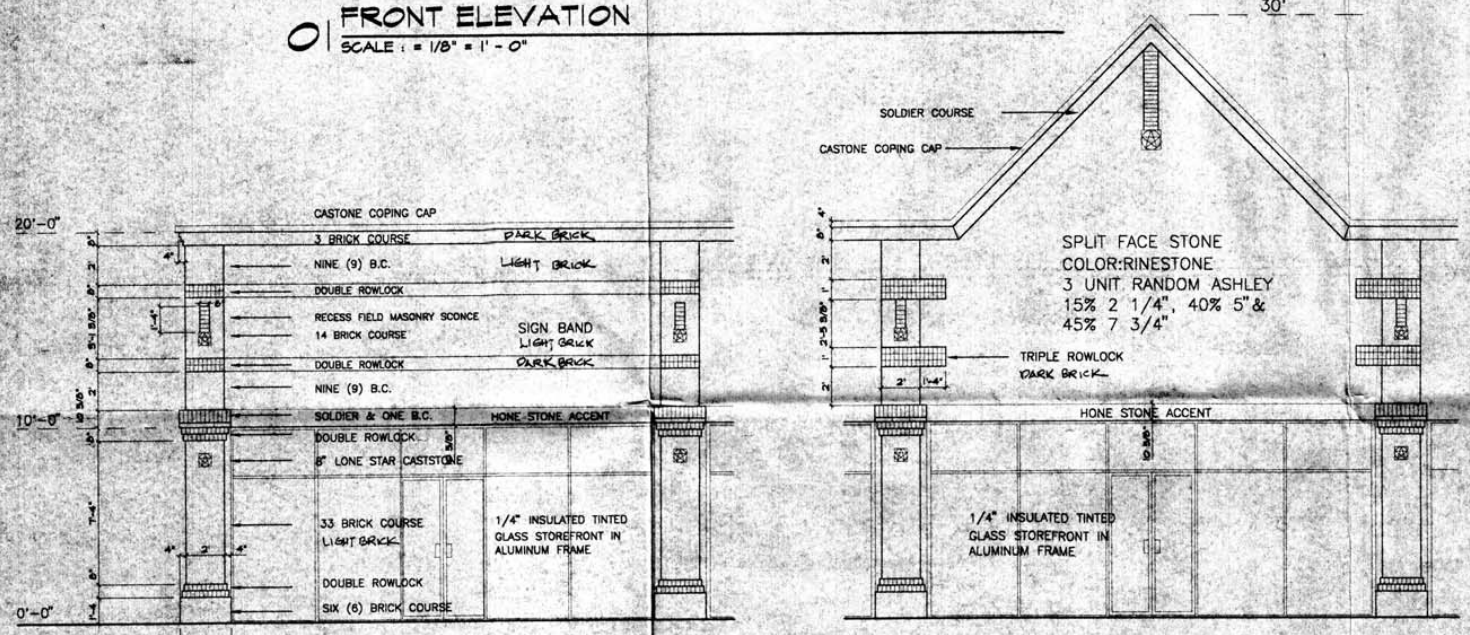
WANG
1200 S. HOUSTON ST.
HOUSTON, TEXAS 77002
713-621-1111
FAX 713-621-1112



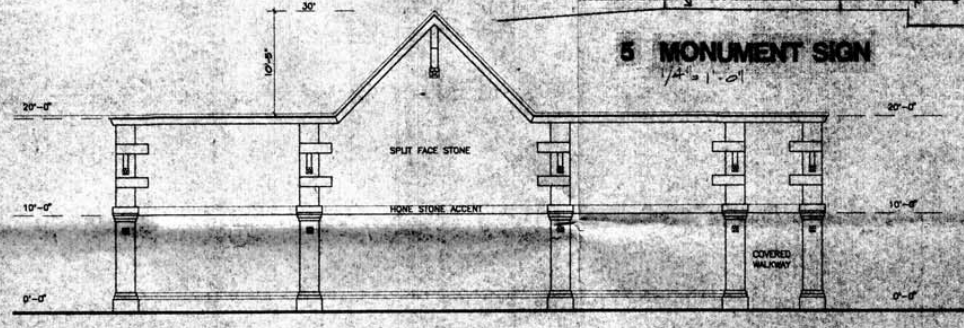
1 FRONT ELEVATION
SCALE: 1/8" = 1'-0"



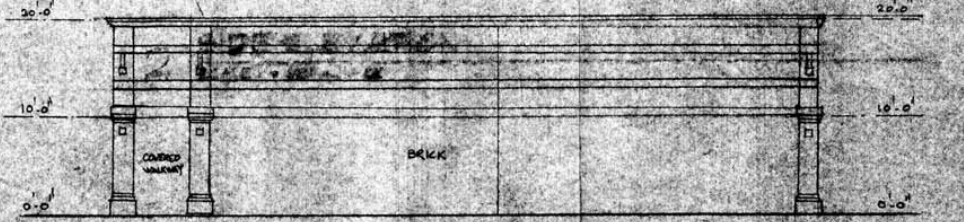
5 MONUMENT SIGN
1/4" = 1'-0"



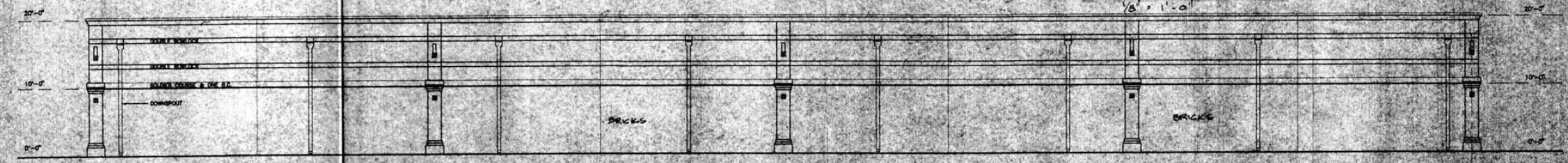
3 TYPICAL BRICK PATTERN ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
1/8" = 1'-0"



6 EAST ELEVATION
1/8" = 1'-0"



4 REAR ELEVATION
SCALE: 1/8" = 1'-0"

A_NEW_13065_SF_N_RICHLAND_HILLS_RETAIL_CENTER
GUION_GREGG_III_INVESTMENTS
FM 1938 (DAVIS BLVD) & PRECINCT LINE RD



WANG
STRUCTURAL
ENGINEERING

AI

EXHIBIT C - FUEL CENTER

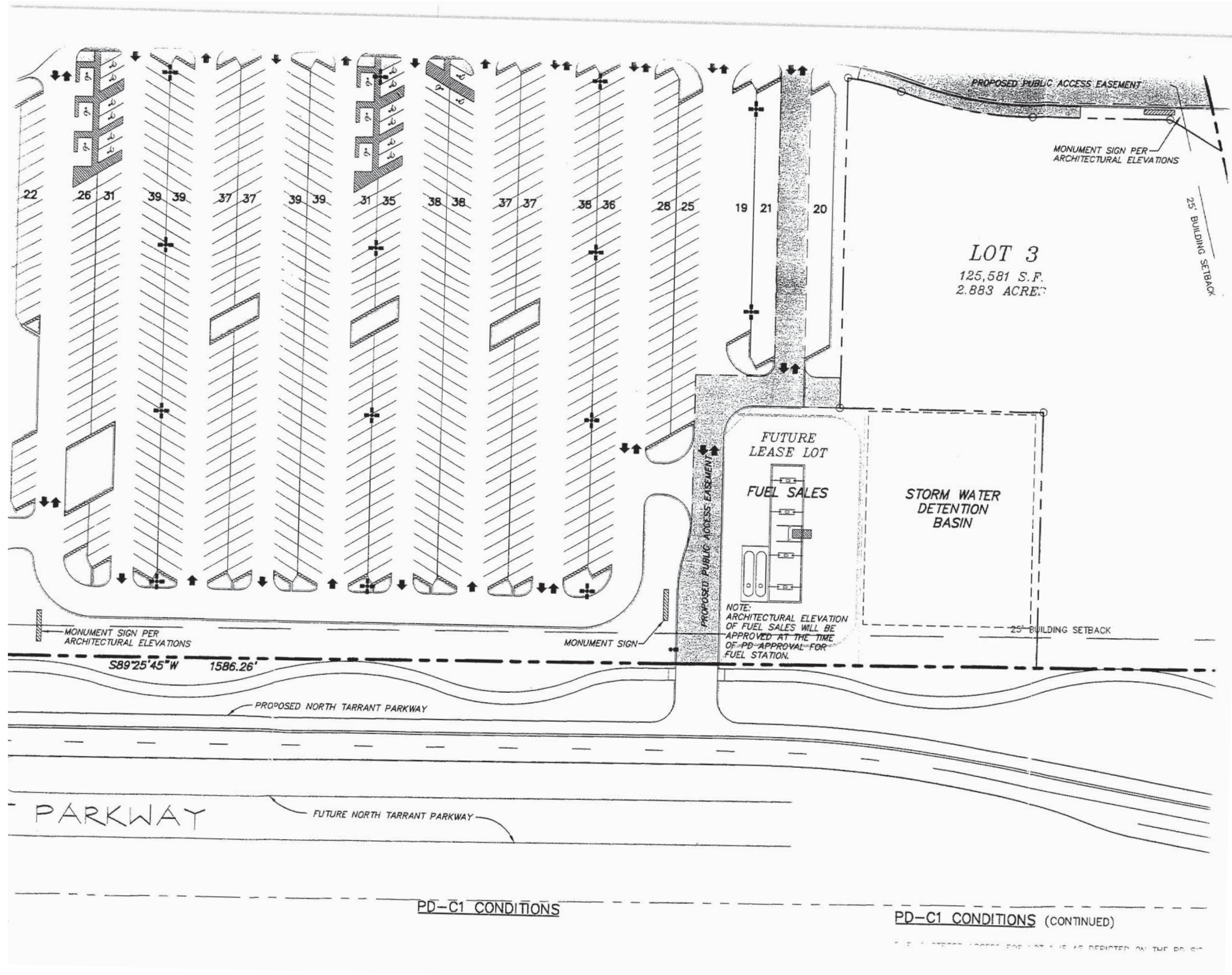
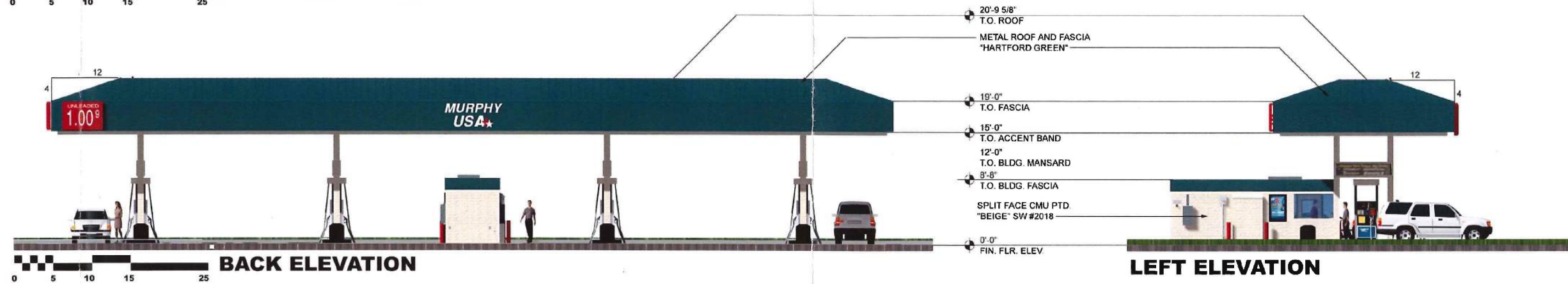
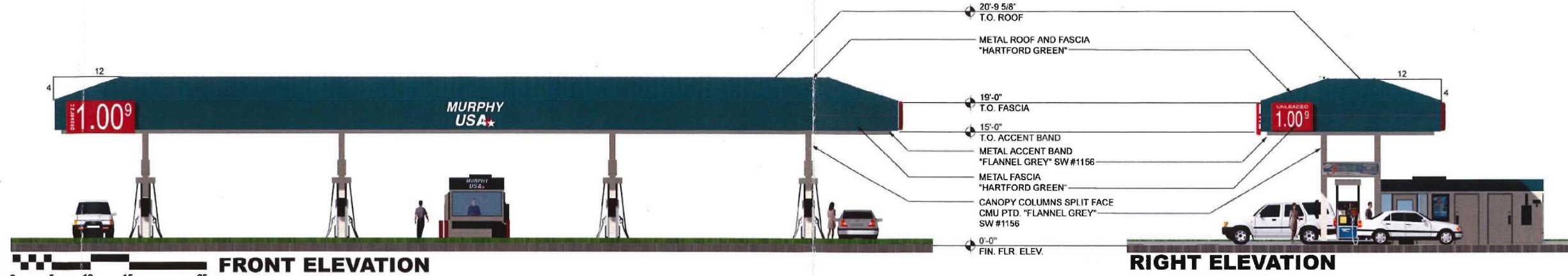


EXHIBIT C - FUEL CENTER



QTY.	SIGNAGE	SIZE	AREA	TOTAL AREA
1	LG. GAS PRICE SIGN	51 3/4" x 108 7/8"	36.50 S.F.	39.50 S.F.
2	SM. GAS PRICE SIGN	45" x 83 5/8"	19.88 S.F.	39.76 S.F.
2	LG. "MURPHY USA SIGN"	LETTERS ONLY	10.25 S.F.	20.50 S.F.
1	SM "MURPHY USA SIGN"	13" x 36 5"	3.30 S.F.	3.30 S.F.
TOTAL SIGNAGE				103.06 S.F.

SIGN KEY



LARGE MURPHY USA SIGN
LOCATION: FRONT AND BACK OF CANOPY



LARGE GAS PRICE SIGN
LOCATION: FRONT OF CANOPY



SMALL GAS PRICE SIGN
LOCATION: ENDS OF CANOPY



SMALL MURPHY USA SIGN
LOCATION: FRONT OF CASH BOOTH



FOR APPROVAL

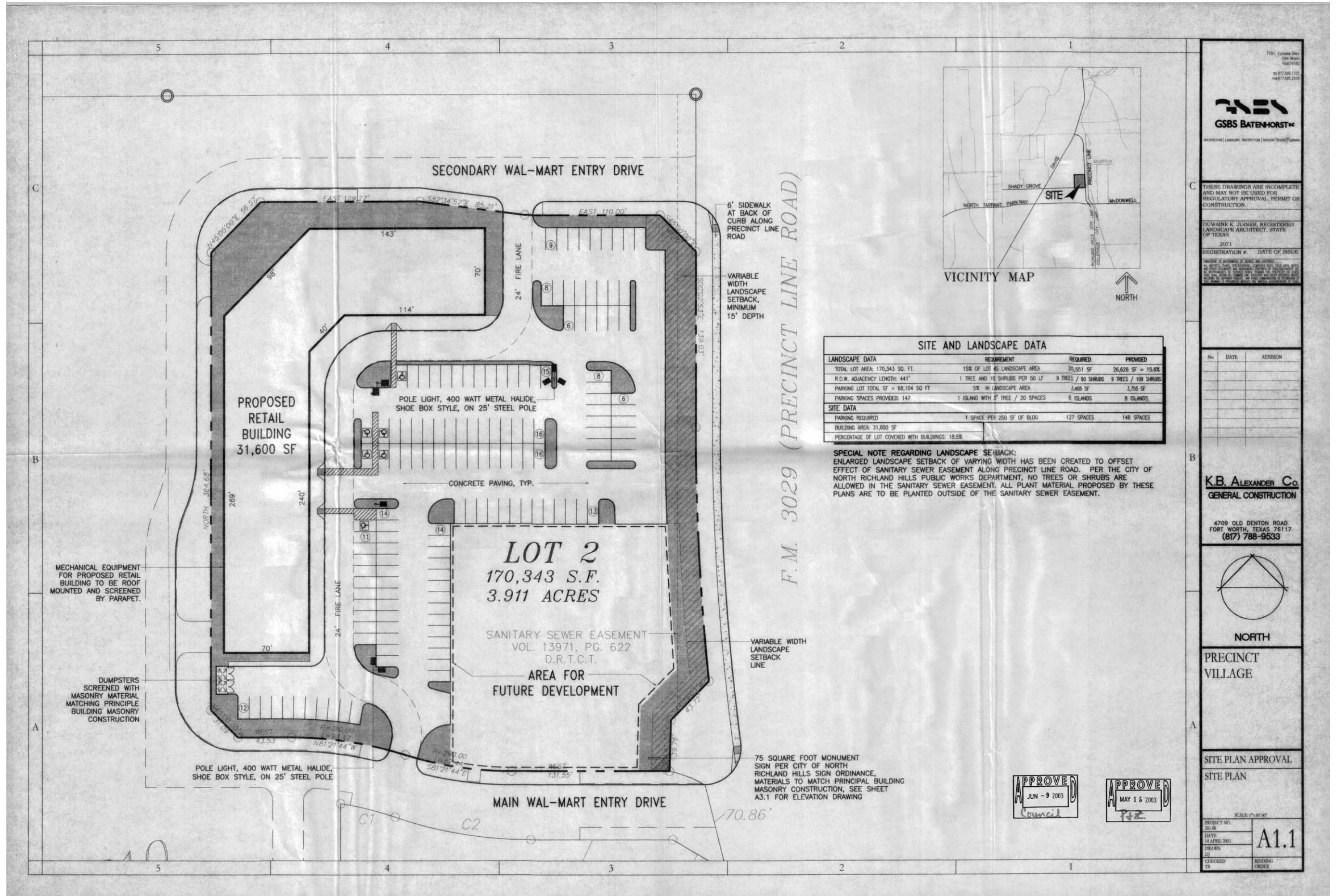
BOYDIHAL: _____

PHASE 1: _____

CA/PA: _____

North Richland Hills, TX
PZ 2000-38 R2 05/14/02

EXHIBIT D - PRECINCT RETAIL



SITE AND LANDSCAPE DATA

LANDSCAPE DATA	REQUIREMENT	REQUIRED	PROVIDED
TOTAL LOT AREA: 170,343 SQ. FT.	15% OF LOT AS LANDSCAPE AREA	25,551 SF	26,626 SF = 15.6%
R.O.W. ADJACENCY LENGTH: 441'	1 TREE AND 10 SHRUBS PER 50 LF	9 TREES / 90 SHRUBS	9 TREES / 109 SHRUBS
PARKING LOT TOTAL SF = 68,104 SQ FT	5% IN LANDSCAPE AREA	3,405 SF	3,755 SF
PARKING SPACES PROVIDED: 147	1 ISLAND WITH 3" TREE / 20 SPACES	8 ISLANDS	8 ISLANDS
SITE DATA			
PARKING REQUIRED	1 SPACE PER 250 SF OF BLDG	127 SPACES	148 SPACES
BUILDING AREA: 31,600 SF			
PERCENTAGE OF LOT COVERED WITH BUILDINGS: 18.5%			

SPECIAL NOTE REGARDING LANDSCAPE SETBACK:
 ENLARGED LANDSCAPE SETBACK OF VARYING WIDTH HAS BEEN CREATED TO OFFSET EFFECT OF SANITARY SEWER EASEMENT ALONG PRECINCT LINE ROAD. PER THE CITY OF NORTH RICHLAND HILLS PUBLIC WORKS DEPARTMENT, NO TREES OR SHRUBS ARE ALLOWED IN THE SANITARY SEWER EASEMENT. ALL PLANT MATERIAL PROPOSED BY THESE PLANS ARE TO BE PLANTED OUTSIDE OF THE SANITARY SEWER EASEMENT.

7291 Columbia Blvd
 Fort Worth, TX 76117
 (817) 353-1222
 fax (817) 353-2816

GSBS BATENHORST
 ARCHITECTURE | LANDSCAPE ARCHITECTURE | INTERIOR DESIGN | PLANNING

THESE DRAWINGS ARE INCOMPLETE AND MAY NOT BE USED FOR REGULATORY APPROVAL, PERMIT OR CONSTRUCTION.

DUWAINNE K. JOINER, REGISTERED LANDSCAPE ARCHITECT, STATE OF TEXAS
 2071
 REGISTRATION # _____ DATE OF ISSUE _____

No.	DATE	REVISION

K.B. ALEXANDER Co.
 GENERAL CONSTRUCTION

4709 OLD DENTON ROAD
 FORT WORTH, TEXAS 76117
 (817) 788-9533

NORTH

PRECINCT VILLAGE

SITE PLAN APPROVAL
 SITE PLAN

SCALE: 1"=40'

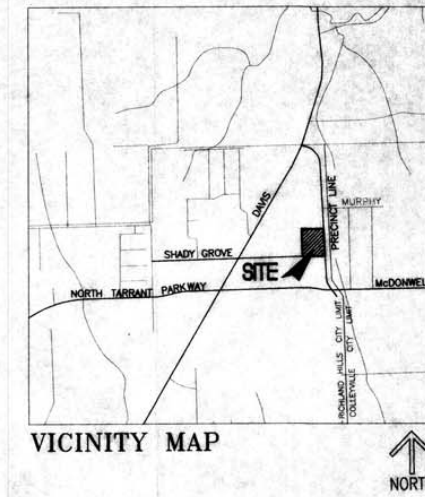
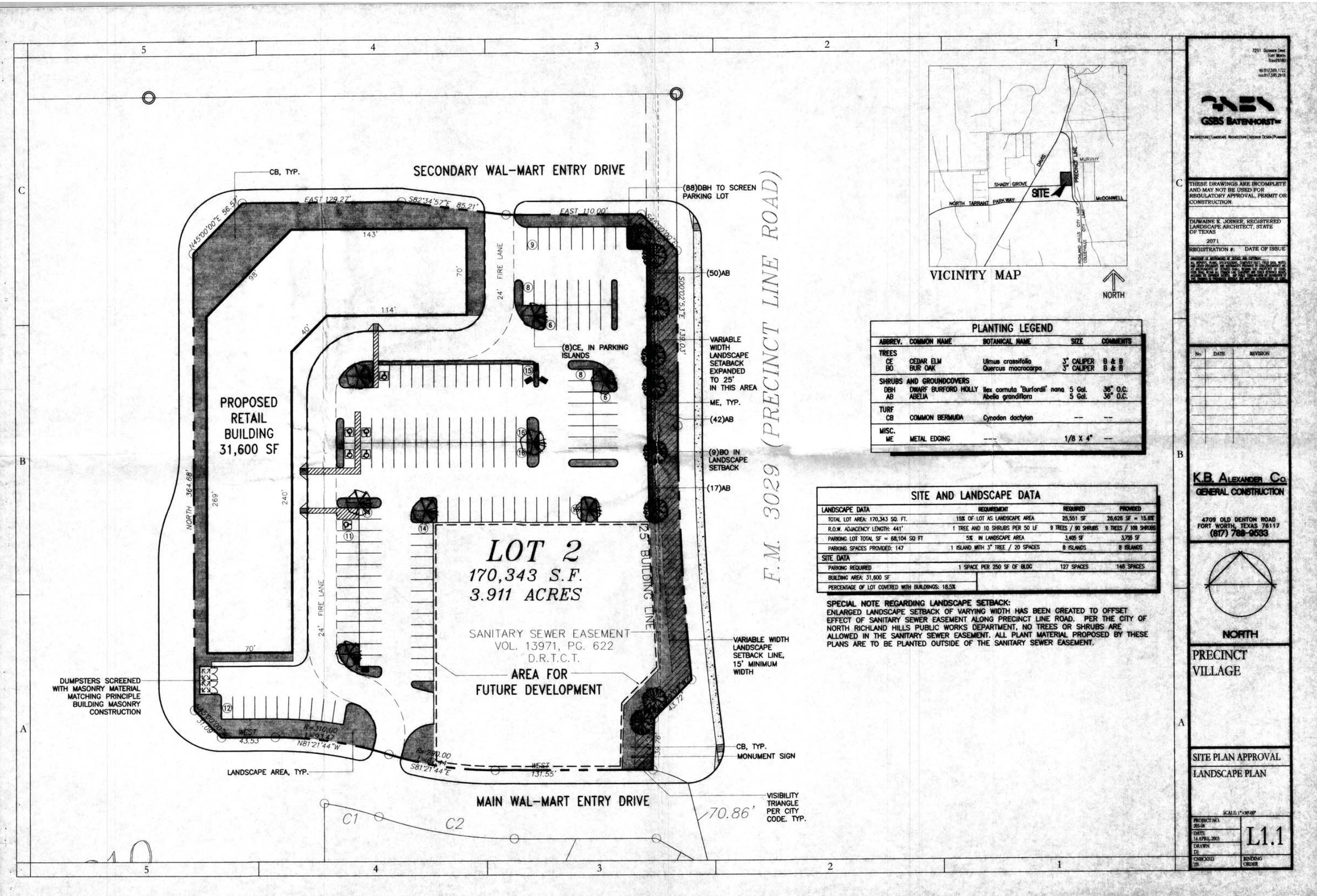
PROJECT NO. 203-06
 DATE: 14 APRIL 2003
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]

A1.1

APPROVE
 JUN - 9 2003
 Council

APPROVE
 MAY 15 2003
 [Signature]

EXHIBIT D - PRECINCT RETAIL



PLANTING LEGEND

ABBREY.	COMMON NAME	BOTANICAL NAME	SIZE	COMMENTS
CE	CEDAR ELM	Ulmus crassifolia	3" CALIPER	B & B
BO	BUR OAK	Quercus macrocarpa	3" CALIPER	B & B
DBH	DWARF BURFORD HOLLY	Ilex cornuta 'burfordii' nano	5 Gal.	36" O.C.
AB	ABELIA	Abelia grandiflora	5 Gal.	36" O.C.
CB	COMMON BERMUDA	Cynodon dactylon	---	---
ME	METAL EDGING	---	1/8 X 4"	---

SITE AND LANDSCAPE DATA

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7251 Quince Oak
 Fort Worth
 Texas 76117
 (817) 261-1722
 (817) 261-2918

GSBS BATHENHORST
 PROFESSIONAL LANDSCAPE ARCHITECTURE | INTERIOR DESIGN | PLANNING

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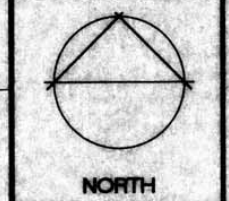
DUNWAIN K. JOINER, REGISTERED LANDSCAPE ARCHITECT, STATE OF TEXAS
 2071

REGISTRATION #: DATE OF ISSUE

No.	DATE	REVISION

K.B. ALEXANDER Co.
 GENERAL CONSTRUCTION

4709 OLD DENTON ROAD
 FORT WORTH, TEXAS 76117
 (817) 788-9583



PRECINCT VILLAGE

SITE PLAN APPROVAL
 LANDSCAPE PLAN

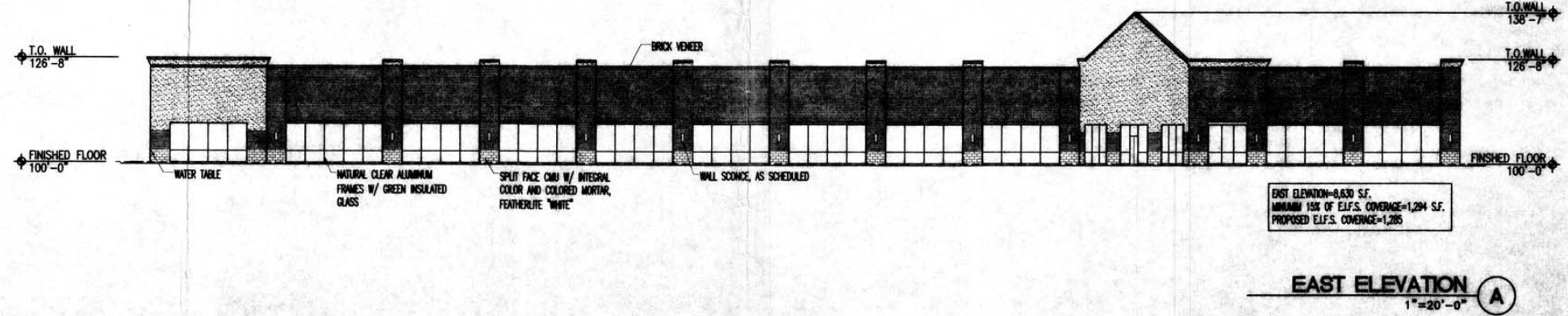
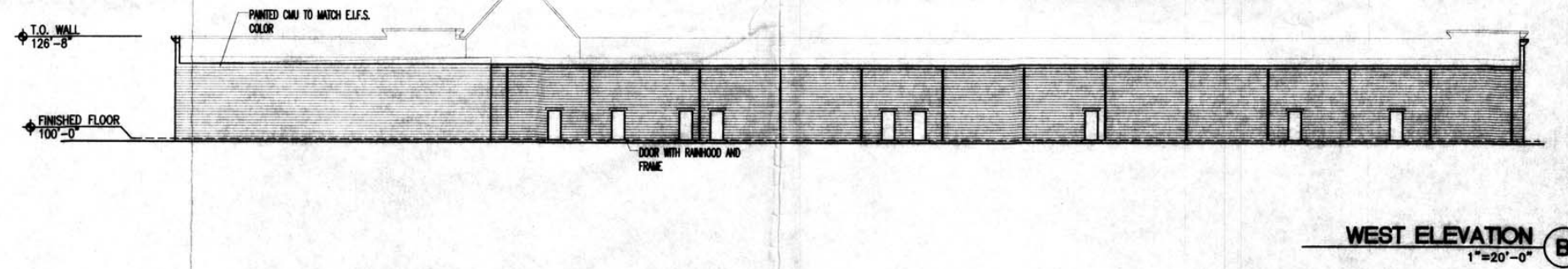
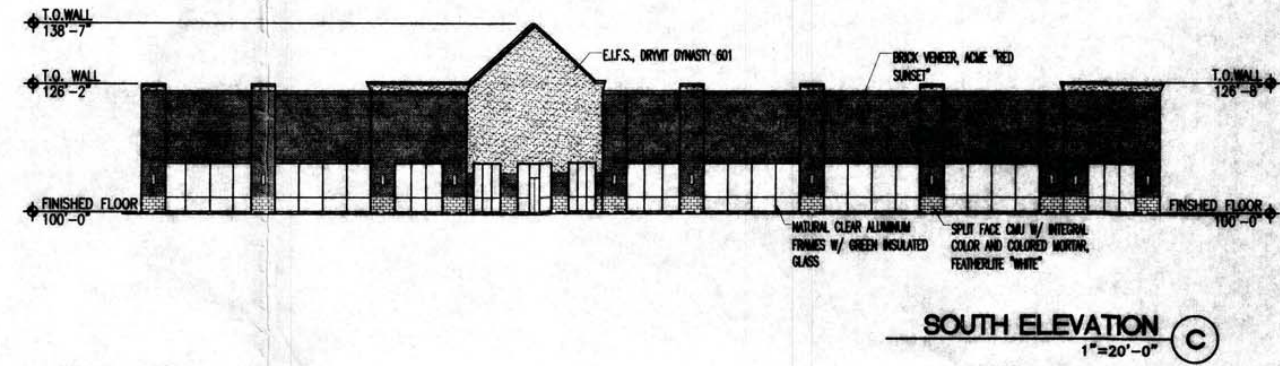
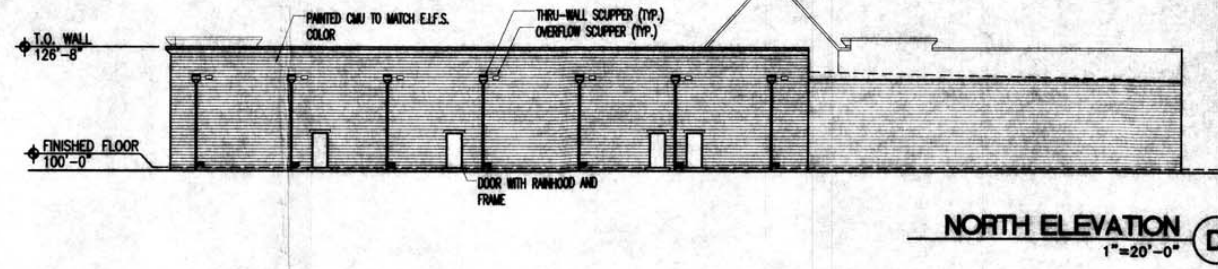
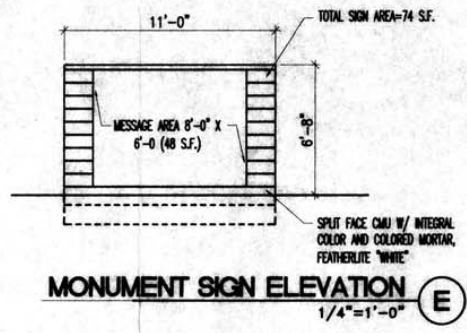
SCALE: 1" = 30'-0"

PROJECT NO. 2004
 DATE: 14 APRIL 2003
 DRAWN: DJ
 CHECKED: TB

L1.1

ISSUED FOR ORDER

EXHIBIT D - PRECINCT RETAIL



EAST ELEVATION-0.630 S.F.
MINIMUM 15% OF ELF.S. COVERAGE=1,294 S.F.
PROPOSED ELF.S. COVERAGE=1,285

7221 Colony Oak
Fort Worth
TX 76117
TEL: 817-585-1733
FAX: 817-595-2914

GSBS BATHORST
Architect | Landscape Architect | Interior Design | Planner

THESE DRAWINGS ARE INCOMPLETE AND MAY NOT BE USED FOR REGULATORY APPROVAL, PERMIT OR CONSTRUCTION.

THESE DRAWINGS ARE INCOMPLETE AND MAY NOT BE USED FOR REGULATORY APPROVAL, PERMIT OR CONSTRUCTION.

NO.	DATE	REVISION

K.B. ALEXANDER Co.
GENERAL CONSTRUCTION

4709 OLD DENTON ROAD
FORT WORTH, TEXAS 76117
(817) 788-9533

PRECINCT VILLAGE

SITE PLAN APPROVAL
ELEVATIONS

SCALE: AS NOTED

PROJECT NO. 203-B	A3.1
DATE 24 APRIL 2005	
DRAWN AC	
CHECKED TB	
ISSUED ORDER	

EXHIBIT E - WOODFOREST PLAZA

SITE PLAN INFORMATION

PERCENTAGE OF LOT COVERED WITH BUILDINGS - 25.97%

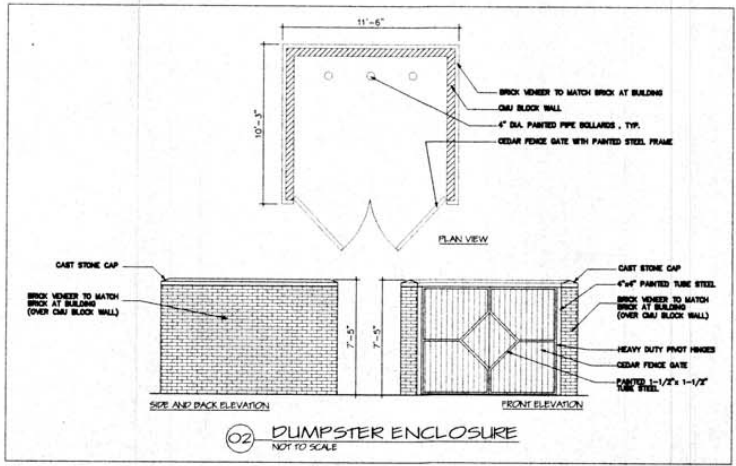
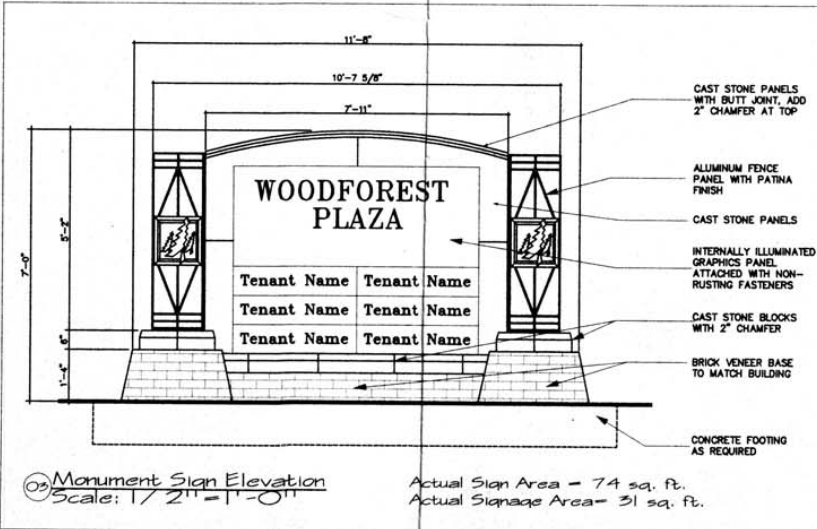
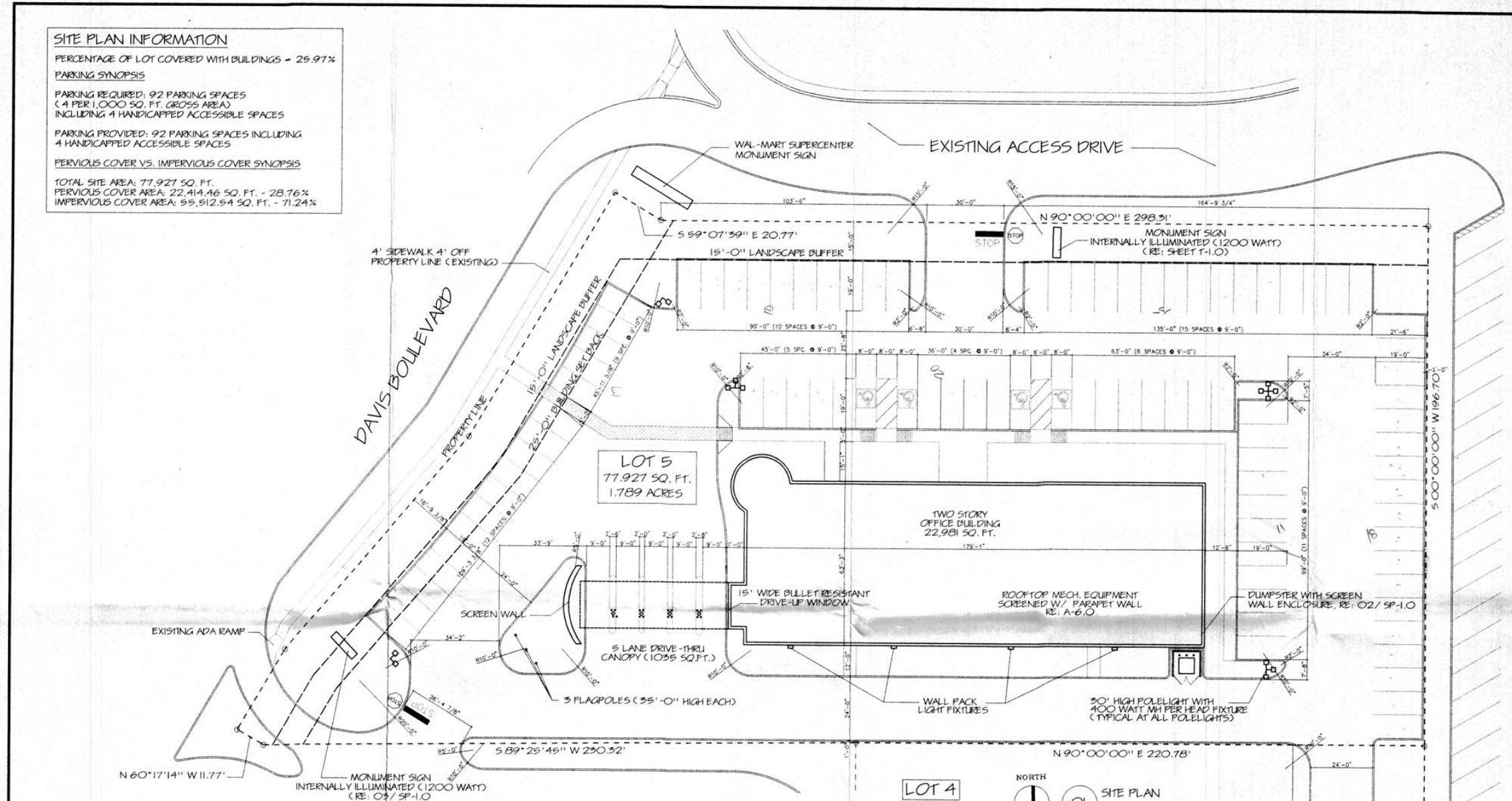
PARKING SYNOPSIS

PARKING REQUIRED: 92 PARKING SPACES
(4 PER 1,000 SQ. FT. GROSS AREA)
INCLUDING 4 HANDICAPPED ACCESSIBLE SPACES

PARKING PROVIDED: 92 PARKING SPACES INCLUDING
4 HANDICAPPED ACCESSIBLE SPACES

PERVIOUS COVER VS. IMPERVIOUS COVER SYNOPSIS

TOTAL SITE AREA: 77,927 SQ. FT.
PERVIOUS COVER AREA: 22,414.46 SQ. FT. - 28.76%
IMPERVIOUS COVER AREA: 55,512.54 SQ. FT. - 71.24%



SLI DESIGN, INC.

ARCHITECTURE • PLANNING • INTERIOR DESIGN
10900 OLD KATY ROAD
HOUSTON, TEXAS 77043
713-468-4850
www.sligroup.com

WOODFOREST NATIONAL BANK

WOODFOREST PLAZA
NORTH RICHLAND HILLS, TEXAS

PROJECT NUMBER: 8261

ISSUED FOR CLIENT APPROVAL	DATE
ISSUED FOR BIDDING	
ISSUED FOR PERMIT	
ISSUED FOR CONSTRUCTION	
APPROVED BY CLIENT	

REVISIONS		
MARK	DESCRIPTION	DATE

The information, ideas, designs, details, layouts, techniques, features, arrangements, plans, equipment, illustrations, alterations, tolerances, concepts, specifications, instructions, technology or embodiments, represented, contained, ordered, defined or otherwise related to or taught by herein, either expressly, inherently or by implication, are the confidential and proprietary information of SLI Design, Inc. and shall not be used for any purpose other than the specific project or undertaking identified on the drawing title block or legend for which they are used and have been prepared by SLI Design, Inc. Any other reproduction, disclosure or use of any portion of the work created and proprietary information of SLI Design, Inc. shall be a breach of the obligation of confidence created by the acceptance of this drawing from SLI Design, Inc. for a specific project or Contract. Any copying, duplicating, reproducing, circulation, alteration, modification, revision or change to this drawing, in any form, without the prior written consent or approval of SLI Design, Inc., shall be undertaken without receipt of such prior written approval. This drawing is issued by SLI Design, Inc. for the limited purpose of complying with a specific Contract. The drawing remains the property of SLI Design, Inc. and shall be returned upon request or completion of the contract, unless specifically authorized by Contract, under which it was issued.



APPROVE
APR 12 2004
Council

DRAWING TITLE	Site Plan
DRAWN BY	CD
CHECKED BY	TB
APPROVED BY	TB
SHEET NO.	SP-1.0

with addition
Stipulation regarding landscape plan.

EXHIBIT E - WOODFOREST PLAZA

LANDSCAPE CONSTRUCTION SPECIFICATIONS:

- General Contractor to bring all areas to final grade using a gradable soil and/or sand mix and boxblade.
- Prepare all new planting beds by removing all rocks, concrete and construction debris and fill in 3" of new acidic Mixed Soil and pre-emergent herbicide such as Pennant or Eptam at the recommended rates, then rake all bed areas smooth prior to planting. Install 1/8" x 4" green steel landscape edging only where new planting beds meet turf. When end of edging butts up against paving trim exposed corner at 45 degree angle for pedestrian safety.
- Grade all planting beds to edges of beds and away from buildings prior to planting for positive drainage away from foundations.
- Fertilize all new trees, shrubs and groundcovers with Osmocote (or equal) time-release fertilizer.
- Mulch all new planting beds and trees with a 2" (avg.) layer of shredded hardwood topdress mulch as from Letco.
- Double-Stake all specified trees (see plant list) with 2 (7' tall) painted metal T-Posts, multi-strand aluminum wire and clear poly-vinyl tubing.
- Root-Stimulate all new trees with Superthrive brand root-stimulator (or equal) as per manufacturers recommendations.
- Plant sizes shown are the minimum acceptable. Plants will be inspected and measured for conformance. Plants specified with container size only shall be of better than locally accepted nursery standards. Obviously undersized, misshapen, weak or inadequately rooted plants will be rejected. The owner's decision will be final in matters concerning plant size, condition and health. Plants larger in size than specified may be used if approved by the Landscape Architect or the Owner, but the use of larger plants will not increase the contract amount.
- Handwater all new plantings thoroughly, immediately after planting.
- Fine grade all new turf areas (by hand if necessary) prior to installation of grass. This is for a nice smooth turf-bed as well as for normal drainage purposes.
- Solid sod to be 99 percent pure Common Bermuda. Sod to be rolled immediately after wetting and installation.
- Landscape contractor is responsible for keeping jobsite neat, clean and safe at all times in reference to their landscape work.
- All required landscape areas shall be permanently maintained and shall be irrigated.
- All plant material shall be maintained in a healthy and growing condition as appropriate for the season of the year. The property owner is responsible for regular weeding, mowing of grass, irrigation, fertilizing, pruning and other maintenance of all plantings as needed.
- Plant materials which die shall be replaced by the property owner within a six-month period with plant material of similar variety and size.

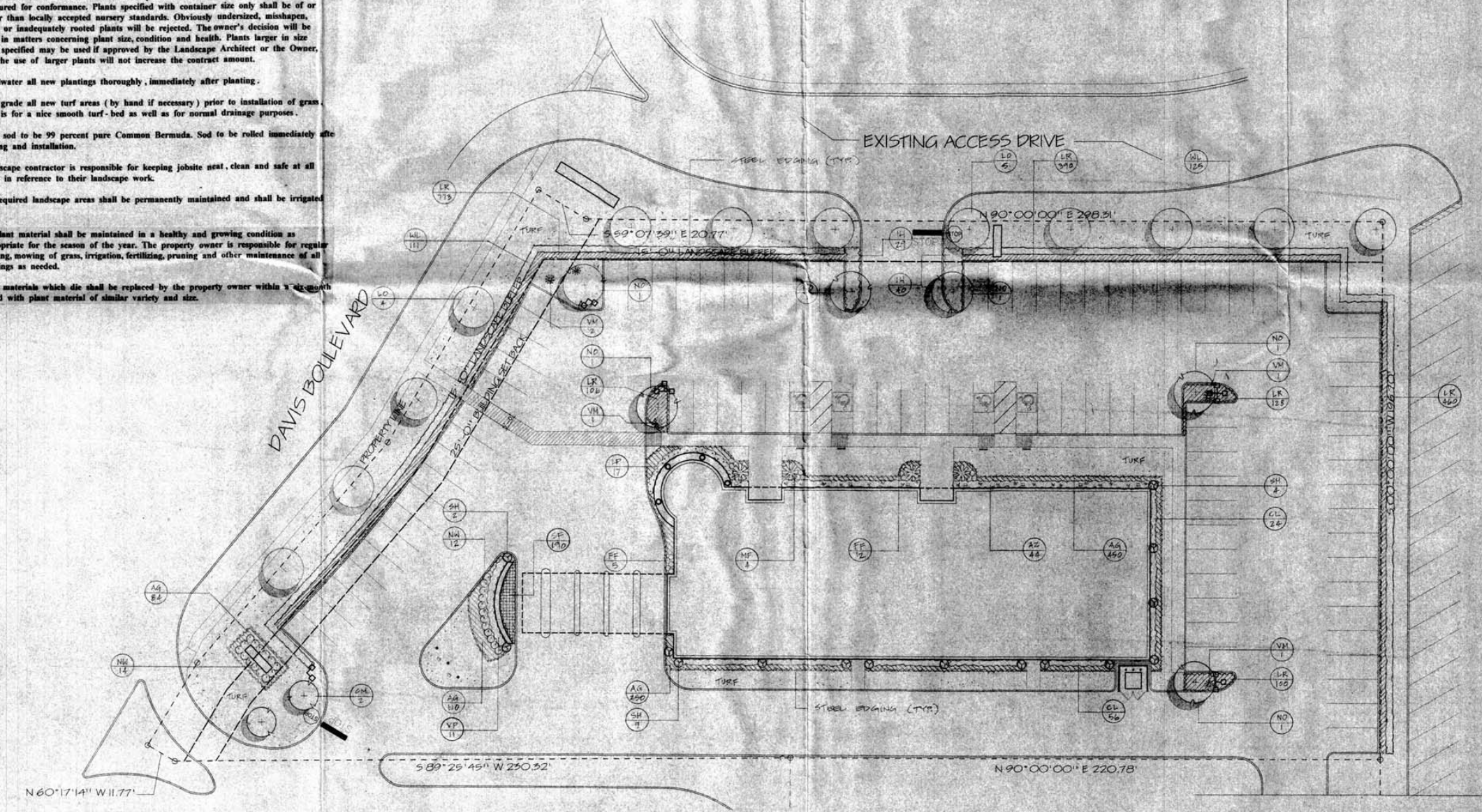
CITY OF NORTH RICHLAND HILLS

LANDSCAPE ANALYSIS FORM

A. Landscape Setback Trees	570 lin. ft. / 50	=	12 Large Trees required
B. Parking Lot Trees	81 new parking spaces / 20	=	4 Parking Lot Trees required
C. Total Tree Requirement		=	16 Total Large Trees required
D. Landscape Setback Shrubs	570 lin. ft. / 50 x 10	=	114 Setback Shrubs required

PLANT LIST

Quant	Symbol	Plant Type	Size	Notes
1	AG	Azalea	1 gal	15" o.c. full
44	AZ	Azalea, red formosa	5 gal	3' o.c. 24" min. ht.
80	CL	Clayson	5 gal	2' 4" o.c. 24" min. ht.
2	CM	Crape Myrtle, watermelon red	30 gal	multi-trunk, double-staked
17	FF	Forsythia	1 gal	18" o.c. full
69	IH	Clara Indian Hawthorn	5 gal	2' 3" o.c. 12" min. ht.
17	LP	Loropetalum	5 gal	2' 3" o.c. 12" min. ht.
12	LO	Live Oak	65 gal, 3" cal.	single-trunk, double-staked
1967	LR	Liriodendron, big blue	1 gal	13" o.c. full
4	MF	Mediterranean Fan Palm	30 gal	multi-trunk 5 min. ht.
6	NO	Nuttall Oak	65 gal, 3" cal.	single-trunk, double-staked
20	NW	Nearly Wild Shrub Rose	5 gal	over 12" min. ht.
160	SF	Seasonal Flowers	2" pots	3' o.c. full healthy, blooming
15	SH	Savannah Holly	15 gal	full to ground 5' min. ht.
5	VM	Variegated Miscanthus	5 gal	wide-bracted variety, full
11	VP	Variegated Phloxianthus	5 gal	3' o.c. 24" min. ht.
236	WY	Waxleaf Ligustrum	5 gal	2' 4" o.c. 24" min. ht., full
	TURF	St. Augustine	Sq. Yd	Solid sod, rolled
	EDG	Steel landscape edging	Lin. Ft.	4" x 1/8" painted green



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10500 OLD KATY ROAD
HOUSTON, TEXAS 77043
713-463-8888
www.sli-design.com

WOODFOREST NATIONAL BANK

WOODFOREST PLAZA
8408 DAVIS BOULEVARD
NORTH RICHLAND HILLS, TX 76180

PROJECT NUMBER: 8261

ISSUED FOR CLIENT APPROVAL	DATE
ISSUED FOR BIDDING	
ISSUED FOR PERMIT	
ISSUED FOR CONSTRUCTION	
APPROVED BY CLIENT	

REVISIONS		
MARK	DESCRIPTION	DATE

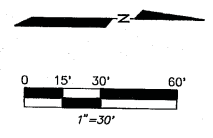
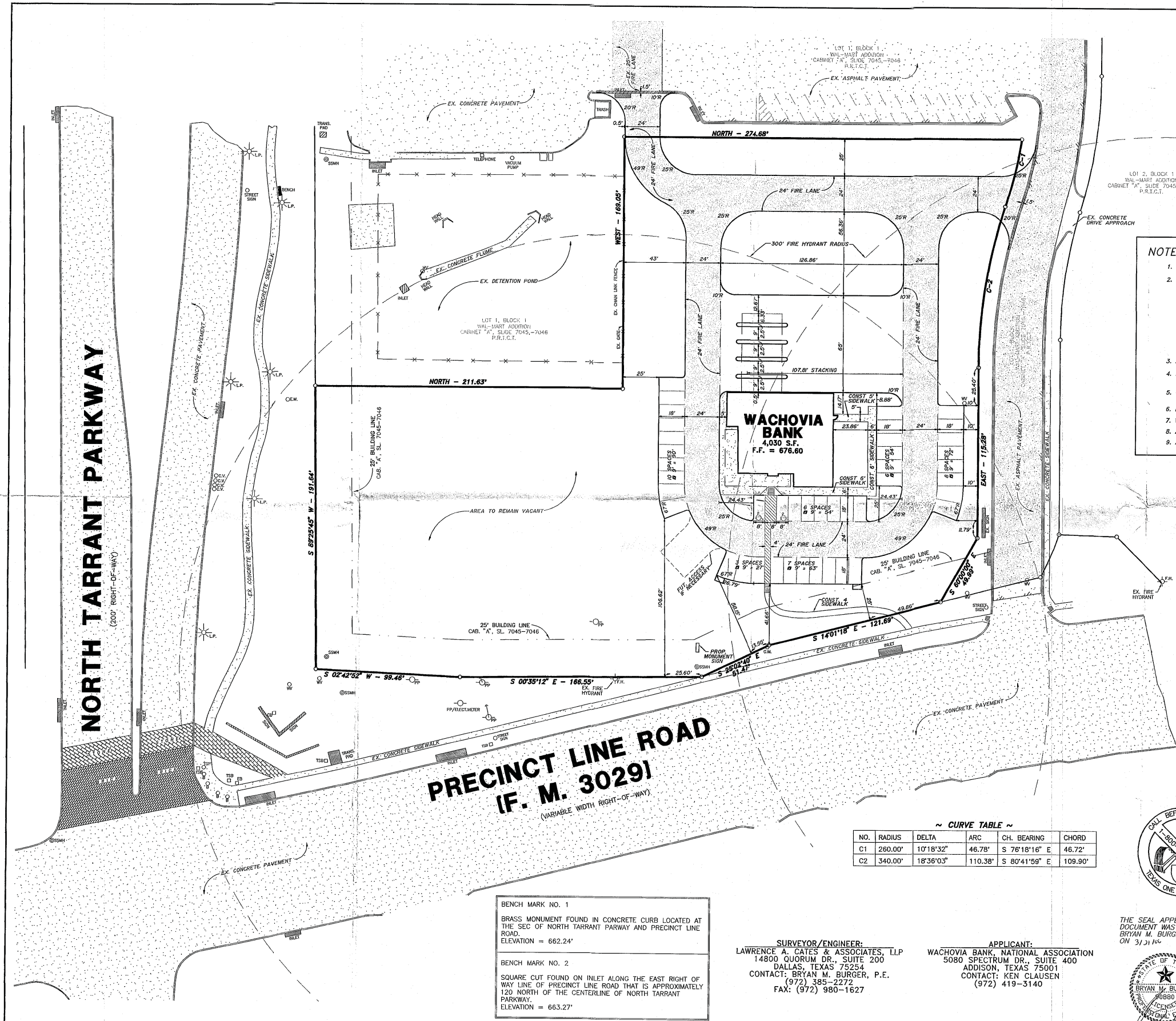
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DRAWING TITLE	Landscape Plan
DRAWN BY	CD
CHECKED BY	TB
APPROVED BY	TB
SHEET NO.	L-1.0

LANDSCAPE PLAN
SCALE: 1" = 20'-0"

EXHIBIT F - WACHOVIA BANK



NOTES:

1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. TOPOGRAPHIC BOUNDARY SURVEY, INCLUDING PROPERTY LINE, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS PROVIDED BY:
DAVID PETREE
11015 MIDWAY ROAD
DALLAS, TEXAS 75229
(214) 358-4500
LAWRENCE A. CATES & ASSOCIATES, LLP WILL NOT BE HELD RESPONSIBLE FOR ITS ACCURACY OR FOR DESIGN ERRORS OR OMISSIONS RESULTING FROM POTENTIAL SURVEY INACCURACIES.
3. ALL RADII ARE 2' UNLESS OTHERWISE NOTED.
4. REFER TO ARCHITECTURAL PLANS FOR SIDEWALK BETWEEN BLDG. AND CURB & EXACT BUILDING DIMENSIONS
5. CONTRACTOR WILL BE RESPONSIBLE FOR NOTIFYING DESIGN ENGINEER OF ANY BENCHMARK DISCREPANCIES.
6. BUILDING IS PARALLEL AND PERPENDICULAR TO THE NORTH & WEST PROPERTY LINES.
7. WACHOVIA USES A TRASH SERVICE IN LIEU OF A DUMPSTER.
8. ALL ONSITE SITE LIGHTING SHALL MEET CITY OF NORTH RICHLAND HILLS ORDINANCES.
9. ALL ONSITE SIGNAGE SHALL MEET CITY OF NORTH RICHLAND HILLS ORDINANCES.

SITE TABULATIONS		
EXISTING ZONING: "PD-C1" COMMERCIAL		
PROPOSED USE: BANK		
LOT AREA: LOT 1 (BANK)	2.8828 Ac.	123,576 S.F.
BUILDING AREAS:		
LOT 1 (BANK)		4,030 S.F.
BUILDING HEIGHTS:		
LOT 1 (BANK)		22' SINGLE STORY
PARKING:	REQ.	AVAIL.
LOT 1 (BANK) (4,030 S.F. @ 1:300)	14	42
HANDICAP PARKING:		
LOT 1	2	2
LOT COVERAGE:		
LOT 1 (BANK)	0.032:1	3.2%

SITE PLAN
APPROVED ON 4-10-06
EXPIRES ON 10-10-07

- LEGEND**
- FH FIRE HYDRANT
 - CHSLED "X" SET
 - CHSLED "Y" FOUND
 - I.R.F. IRON ROD FOUND (SIZE AS NOTED)
 - I.R.S. IRON ROD SET (SIZE AS NOTED)
 - U.P. OVERHEAD UTILITY POLE W/ GUY
 - U.E. UNDERGROUND ELECTRIC OR TELEPHONE
 - L.P. LIGHT POLE
 - S.M. SANITARY SEWER MANHOLE
 - S.C. SAN. SWR. CLEAN OUT
 - G.V. GAS VALVE
 - W.V. WATER VALVE
 - T. TREE
 - ▨ SAWCUT & REMOVE EX. PAVT
 - ACCESSIBLE SPACE
 - VAN ACCESSIBLE PARKING SPACE
 - ▬ FIRE LANE

~ CURVE TABLE ~

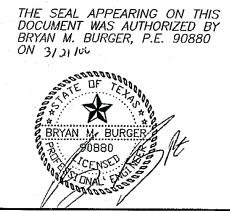
NO.	RADIUS	DELTA	ARC	CH. BEARING	CHORD
C1	280.00'	10°18'32"	46.78'	S 76°18'16" E	46.72'
C2	340.00'	18°38'03"	110.38'	S 80°41'59" E	109.90'

BENCH MARK NO. 1
BRASS MONUMENT FOUND IN CONCRETE CURB LOCATED AT THE SEC OF NORTH TARRANT PARKWAY AND PRECINCT LINE ROAD.
ELEVATION = 662.24'

BENCH MARK NO. 2
SQUARE CUT FOUND ON INLET ALONG THE EAST RIGHT OF WAY LINE OF PRECINCT LINE ROAD THAT IS APPROXIMATELY 120' NORTH OF THE CENTERLINE OF NORTH TARRANT PARKWAY.
ELEVATION = 663.27'

SURVEYOR/ENGINEER:
LAWRENCE A. CATES & ASSOCIATES, LLP
14800 QUORUM DR., SUITE 200
DALLAS, TEXAS 75254
CONTACT: BRYAN M. BURGER, P.E.
(972) 385-2272
FAX: (972) 980-1627

APPLICANT:
WACHOVIA BANK, NATIONAL ASSOCIATION
5080 SPECTRUM DR., SUITE 400
ADDISON, TEXAS 75001
CONTACT: KEN CLAUSEN
(972) 419-3140



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NORTH RICHLAND HILLS
PZ 2000-38 R5

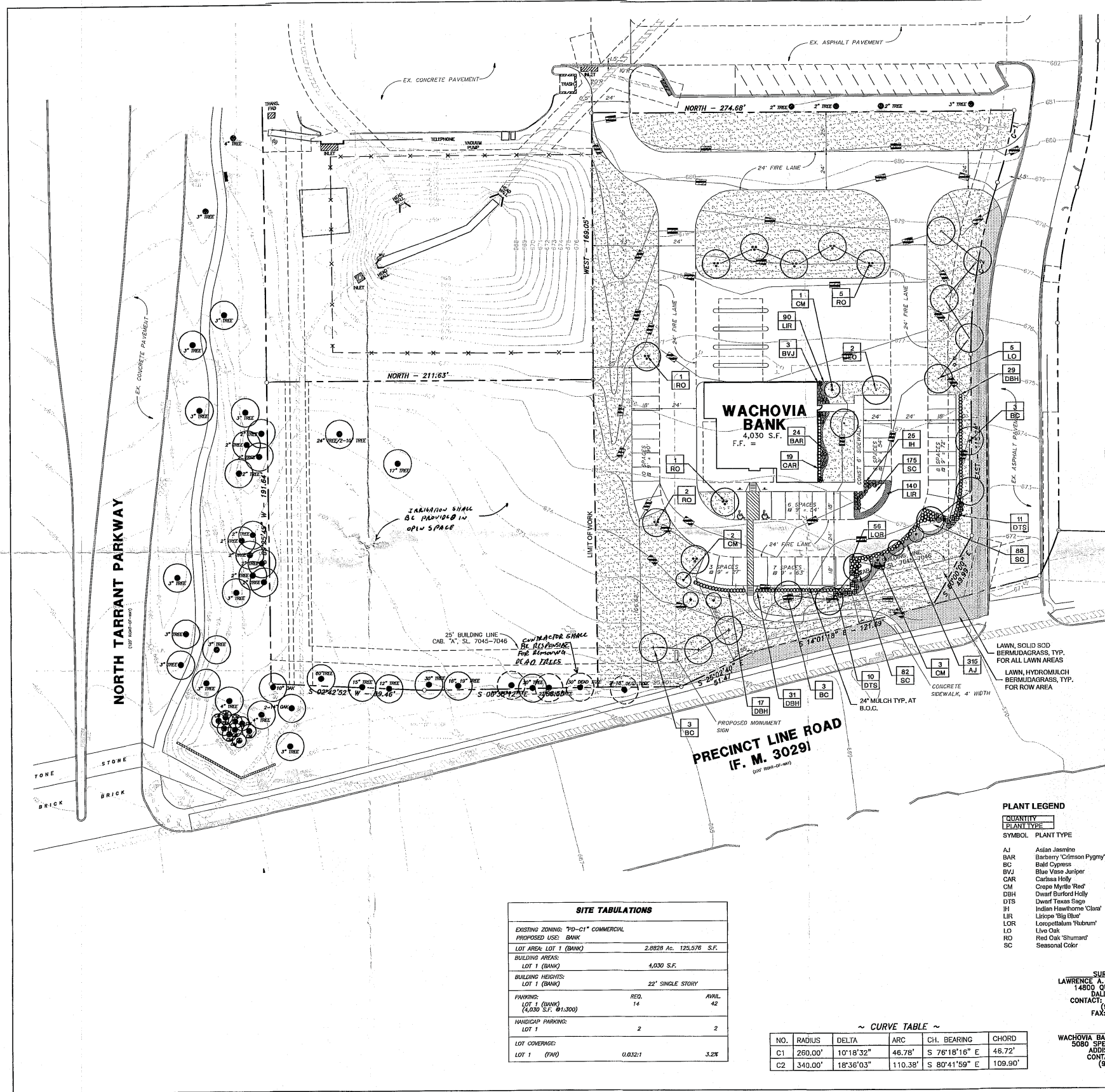
REV.	DATE	REMARKS

SITE PLAN
WACHOVIA BANK

N.W.C. N. TARRANT PARKWAY AND PRECINCT LINE ROAD
THE CITY OF NORTH RICHLAND HILLS, TEXAS
LAWRENCE A. CATES & ASSOC., LLP
14800 QUORUM DR., SUITE 200 (972) 385-2272
DALLAS, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
BMB	CAC	01/06	1" = 30'	D.P.	25086 SITE	C-4

EXHIBIT F - WACHOVIA BANK



LANDSCAPE TABULATIONS

SITE LANDSCAPE
Requirements: At least 15% of the total area shall be landscaped (Total Lot Area: 125,576 s.f.)

Required	Provided
25,032 s.f. (19%)	41,308 s.f. (developed area) 41,258 s.f. (undeveloped area)

STREET FRONTAGE
Requirements: There shall be a 15'-0" wide landscape setback adjacent to all public street right-of-ways. The landscape setback shall contain a minimum of one (1) tree, 3" cal., per 50 L.F. of street frontage. Shrubs planted for parking lot screening may be used to satisfy this requirement.

Required	Provided
(5) trees, 3" cal. (50) shrubs, 24" HL	(5) trees, 3" cal. (5) ornamental trees, 8' ht. (114) shrubs, 24" HL

PRECINCT LINE. (227.16 L.F. TO LIMIT OF WORK)

Required	Provided
(5) trees, 3" cal. (50) shrubs, 24" HL	(5) trees, 3" cal. 2,236 s.f. (12.7%)

PARKING LOT SCREEN
Requirements: There shall be a minimum 30" HL screen adjacent to the parking lot. Shrubs shall be 24" off the back of curb, a minimum 24" HL and 36" c.c.

Required	Provided
24" HL screen	(114) shrubs, 24" HL

PARKING LOT LANDSCAPE
Requirements: One (1) tree, 3" cal., per 20 parking spaces. No parking space shall be more than 100' from a large tree. All landscaped islands shall contain at least one (1) tree, 3" cal., and groundcover. All parking lots shall be at least 5% landscaped.
(Parking Lot Area: 42 spaces; 17,668 s.f.)

Required	Provided
(3) trees, 3" cal. 880 s.f. (5%)	(5) trees, 3" cal. 2,236 s.f. (12.7%)

GENERAL LAWN NOTES

1. Fine grade areas to achieve final contours indicated on civil plans.
2. Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
3. All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
4. Contractor shall provide (2") two inches of imported topsoil on all areas to receive lawn. ADD ALTERNATE.
5. Imported topsoil shall be natural, friable soil from the region, known as bottom land soil, free from lumps, clay, toxic substances, roots, debris, vegetation, stones, containing no salt and black to brown in color.
6. All lawn areas to be fine graded, irrigation trenches completely sealed, and finish grade approved by the Owner's Construction Manager or Architect prior to installation.
7. All rocks 3/4" diameter and larger, dirt clods, sticks, concrete spalls, etc. shall be removed prior to placing topsoil and any lawn installation.

SOLID SOD NOTES

1. Fine grade areas to achieve final contours indicated. Leave areas to receive topsoil 3" below final grade in planting areas and 1" below final grade in turf areas.
2. Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
3. All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
4. Contractor to coordinate with on-site Construction Manager for availability of existing topsoil.
5. Plant sod by hand to cover indicated area completely. Ensure edges of sod are touching. Top dress joints by hand with topsoil to fill voids.
6. Roll grass areas to achieve a smooth, even surface, free from irregular undulations.
7. Water sod thoroughly as sod operation progresses.
8. Contractor shall maintain all lawn areas until final acceptance. This shall include, but not be limited to: mowing, watering, weeding, cultivating, cleaning and replacing dead or bare areas to keep plants in a vigorous, healthy condition.
9. Contractor shall guarantee establishment of an acceptable turf area and shall provide replacement from local supply if necessary.
10. If installation occurs between September 1 and March 1, all sod areas to be over-seeded with Winter Ryegrass, at a rate of (4) pounds per one thousand (1000) square feet.

LANDSCAPE NOTES

1. Contractor shall verify all existing and proposed site elements and notify Architect of any discrepancies. Survey data of existing conditions was supplied by others.
2. Contractor shall locate all existing underground utilities and notify Architect of any conflicts. Contractor shall exercise caution when working in the vicinity of underground utilities.
3. Contractor is responsible for obtaining all required landscape and irrigation permits.
4. Contractor to provide a minimum 2% slope away from all structures. No steel to be installed adjacent to sidewalks or curbs.
5. All planting beds and lawn areas to be separated by steel edging. No steel to be installed adjacent to sidewalks or curbs.
6. All landscape areas to be 100% irrigated with an underground automatic irrigation system and shall include rain and freeze sensors.
7. All lawn areas to be Solid Sod Bermudagrass, unless otherwise noted on the drawings.

MAINTENANCE NOTES

1. The Owner, tenant and their agent, if any, shall be jointly and severally responsible for the maintenance of all landscape.
2. All landscape shall be maintained in a neat and orderly manner at all times. This shall include mowing, edging, pruning, fertilizing, watering, weeding and other such activities common to landscape maintenance.
3. All landscape areas shall be kept free of trash, litter, weeds and other such material or plants not part of this plan.
4. All plant material shall be maintained in a healthy and growing condition as is appropriate for the season of the year.
5. All plant material which dies shall be replaced with plant material of equal or better value.
6. Contractor shall provide separate bid proposal for one year's maintenance to begin after final acceptance.

PLANT LIST

TREES	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
	Lagerstroemia indica 'Red'	Crape Myrtle 'Red'	6	7" HL	B&B, 3-5 cane, no cross caning, banded container grown, 13" HL 5-6" spread min.
	Quercus shumardii	Red Oak 'Shumard'	9	3" cal.	container grown, 13" HL 5-6" spread min.
	Quercus virginiana	Live Oak	7	3" cal.	container grown, 13" HL 5-6" spread min.
	Taxodium distichum	Bald Cypress	9	3" cal.	container grown, 13" HL 5-6" spread min.

SHRUBS/GROUND COVER	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
	Berberis sp. 'Crimson Pygmy'	Berberis 'Crimson Pygmy'	24	5 gal.	container, full 20" spread, 24" o.c.
	Ilex cornuta 'Cassia'	Cassia Holly	19	5 gal.	container, full 20" spread, 24" o.c.
	Ilex cornuta 'Burfordii nana'	Dwarf Burford Holly	77	24" HL	container, full 20" spread, 24" o.c.
	Leucophyllum sp. 'Green Cloud'	Dwarf Texas Sage	21	7 gal.	container, full 24" spread min.
	Liriodendron 'Big Blue'	Liriodendron 'Big Blue'	230	4" pots	container, full top of cont. 12" o.c.
	Loropetalum chinensis 'Rubrum'	Loropetalum 'Rubrum'	56	5 gal.	container, full 20" spread, 24" o.c.
	Juniperus chinensis 'Blue Vase'	Blue Vase Juniper	3	10 gal.	container, full to base
	Raphiolepis indica 'Coral'	Indian Hawthorne 'Coral'	25	5 gal.	container, full 20" spread, 24" o.c.
	Trachelospermum asiaticum	Asian Jasmine	315	4" pots	container, (3) 12" runners min. 12" o.c.
	Cynodon dactylon	Common Bermudagrass	345	4" pots	solid sod, refer to notes
		Seasonal Color			container, full plant, 12" o.c.

NOTE: ALL TREES TO HAVE STRAIGHT TRUNKS AND BE MATCHING WITH VARIETIES

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated.

SITE TABULATIONS

EXISTING ZONING:	T10-C1 COMMERCIAL	
PROPOSED USE:	BANK	
LOT AREA: LOT 1 (BANK)	2,8828 Ac.	129,578 S.F.
BUILDING AREAS:		
LOT 1 (BANK)	4,030 S.F.	
BUILDING HEIGHTS:		
LOT 1 (BANK)	22' SINGLE STORY	
PARKING:	REQ.	AVAIL.
LOT 1 (BANK) (4,030 S.F. @ 1:300)	14	42
HANDICAP PARKING:		
LOT 1	2	2
LOT COVERAGE:		
LOT 1 (BANK)	0.032:1	3.2%

~ CURVE TABLE ~

NO.	RADIUS	DELTA	ARC	CH. BEARING	CHORD
C1	260.00'	10°18'32"	46.78'	S 76°18'16" E	46.72'
C2	340.00'	18°36'03"	110.38'	S 80°41'59" E	109.90'

SURVEYOR/ENGINEER:
LAWRENCE A. CATES & ASSOCIATES, LLP
14800 QUORUM DR., SUITE 200
DALLAS, TEXAS 75244
CONTACT: BRYAN M. BURGER, P.E.
(972) 385-2272
FAX: (972) 980-1527

OWNER:
WACHOVIA BANK NATIONAL ASSOCIATION
5080 SPECTRUM DR., SUITE 400
ADDISON, TEXAS 75001
CONTACT: KEN GJALSSEN
(972) 419-3140

SMT
landscape architects, inc.
1709 N. Giffin Street
Dulles, Texas 75002
Tel 214.871.0003
Fax 214.871.0545
Email smt@smtdallas.com

LANDSCAPE PLAN

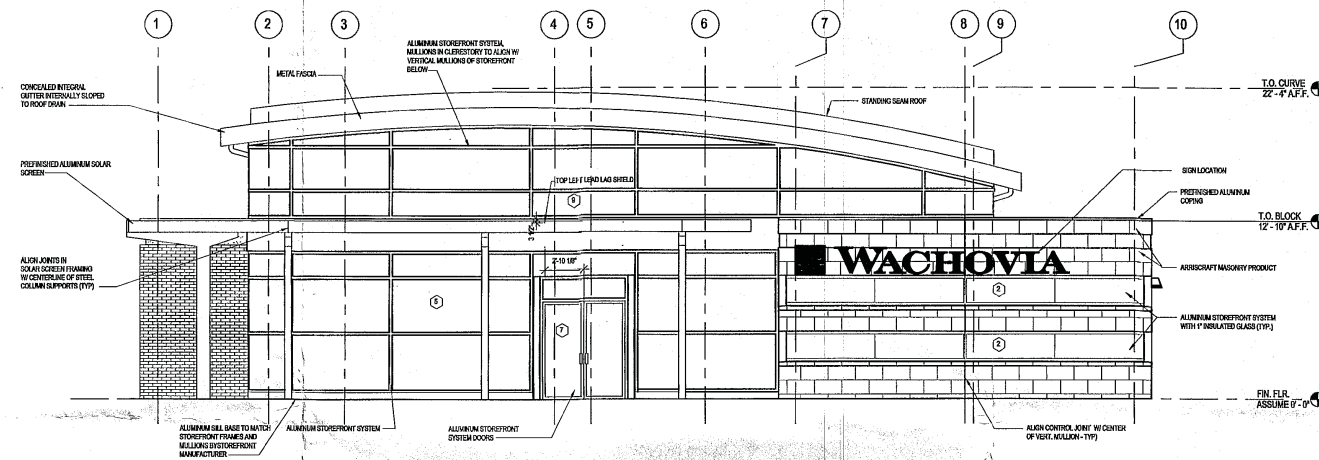
WACHOVIA BANK

N.W.C. N. TARRANT PARKWAY AND PRECINCT LINE ROAD
THE CITY OF NORTH RICHLAND HILLS, TEXAS

LAWRENCE A. CATES & ASSOC., LLP
14800 QUORUM DR., SUITE 200 (972) 385-2272
CONSULTING ENGINEERS
DALLAS, TEXAS

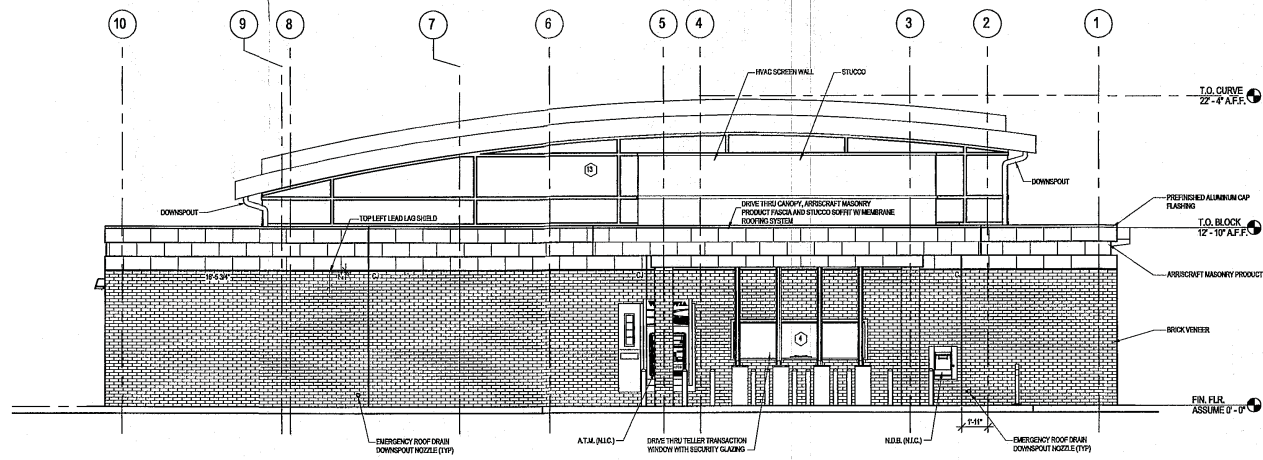
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
BDA	BDA	1/30/06	1" = 30'	D.P.	25086 SITE	L. 1

EXHIBIT F - WACHOVIA BANK



NOTE: STORAGE BY OWNER, SEE BRANDING PACKAGE
 PERCENTAGE OF MASONRY ON THIS ELEVATION = 100%

2 WEST ELEVATION
 SCALE: 1/8" = 1'-0"



NOTE: STORAGE BY OWNER, SEE BRANDING PACKAGE
 PERCENTAGE OF MASONRY ON THIS ELEVATION = 100%, MECHANICAL SCREEN WALL EXCLUDED FROM THIS CALCULATION.

1 EAST ELEVATION
 SCALE: 1/8" = 1'-0"

LITTLE
 OVERSIZED ARCHITECTURAL CONSULTING

5815 Westpark Drive Charlotte, NC 28217
 T: 704.525.8850 F: 704.561.8700
 www.littleonline.com

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PROJECT NAME
**WACHOVIA
 TARRANT Pkwy. &
 PRECINCT LINE Rd.,
 NORTH RICHLAND
 HILLS,
 TEXAS**

PROJECT TEAM
 PRINCIPAL IN CHARGE
 N. Everhart, AIA, CDT, LEED
 PROJECT MANAGER
 Kathryn E. S. Rabuse, AIA

DRAWN BY
 JN

NO.	REVISION	DATE
1	City Comments	03.07.06

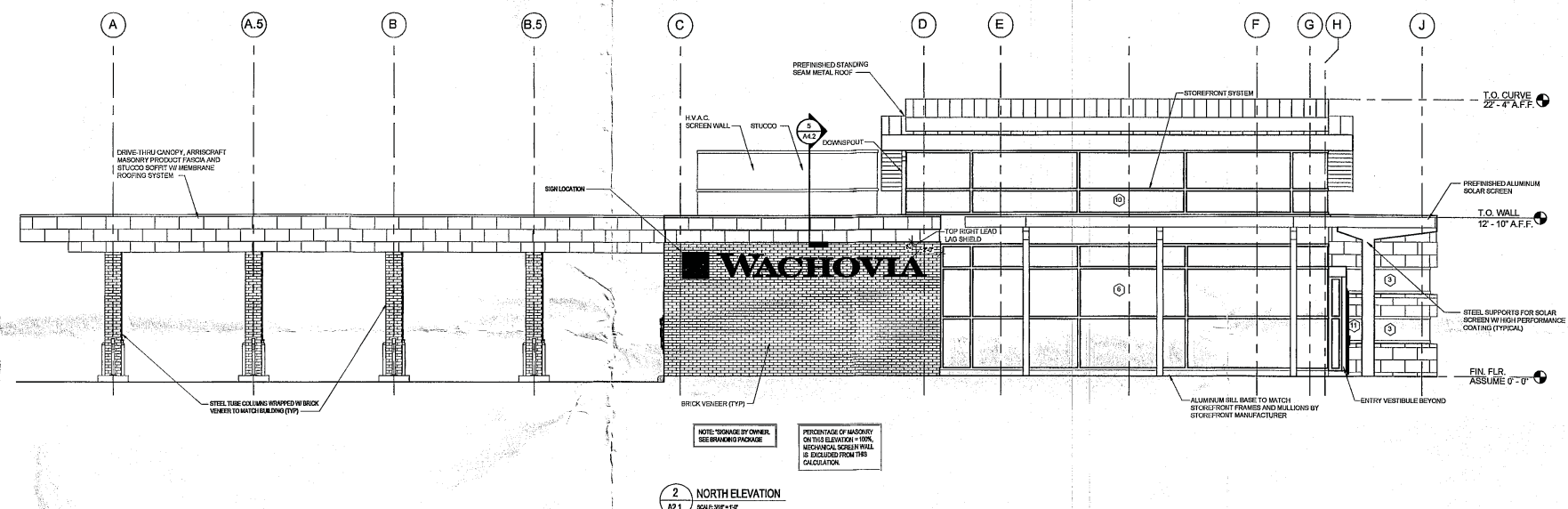
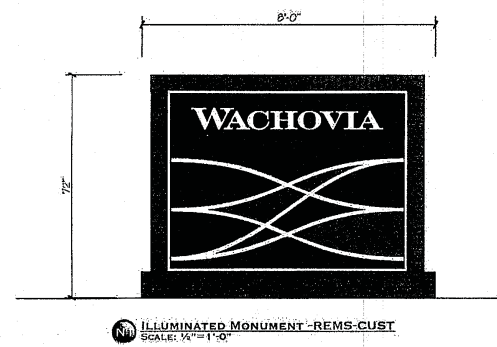
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**EXTERIOR
 ELEVATIONS**

PROJECT NO.
 141-1658-00

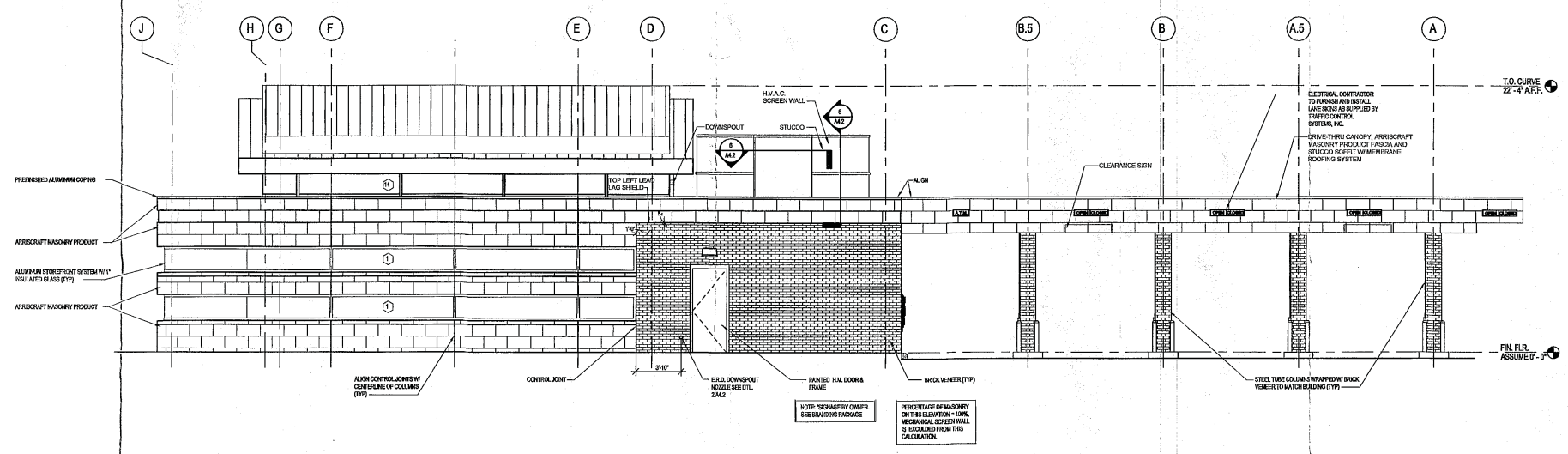
ISSUE DATE
 1.27.2006

SHEET NUMBER
A2.0

EXHIBIT F - WACHOVIA BANK



2 NORTH ELEVATION
SCALE: 3/8"=1'-0"



1 SOUTH ELEVATION
SCALE: 3/8"=1'-0"

LITTLE
DIVERSIFIED ARCHITECTURAL CONSULTING
5815 Westpark Drive Charlotte, NC 28217
T: 704.525.6350 F: 704.581.8700
www.littleonline.com
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PROJECT NAME
WACHOVIA
TARRANT Pkwy. &
PRECINCT LINE Rd.,
NORTH RICHLAND
HILLS,
TEXAS

PROJECT TEAM
PRINCIPAL IN CHARGE
N. Everhart, AIA, CDT, LEED
PROJECT MANAGER
Kathryn E. S. Rabuse, AIA
DRAWN BY
JN

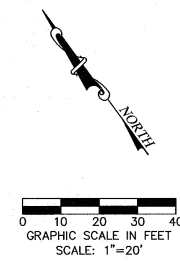
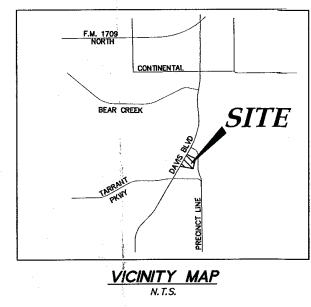
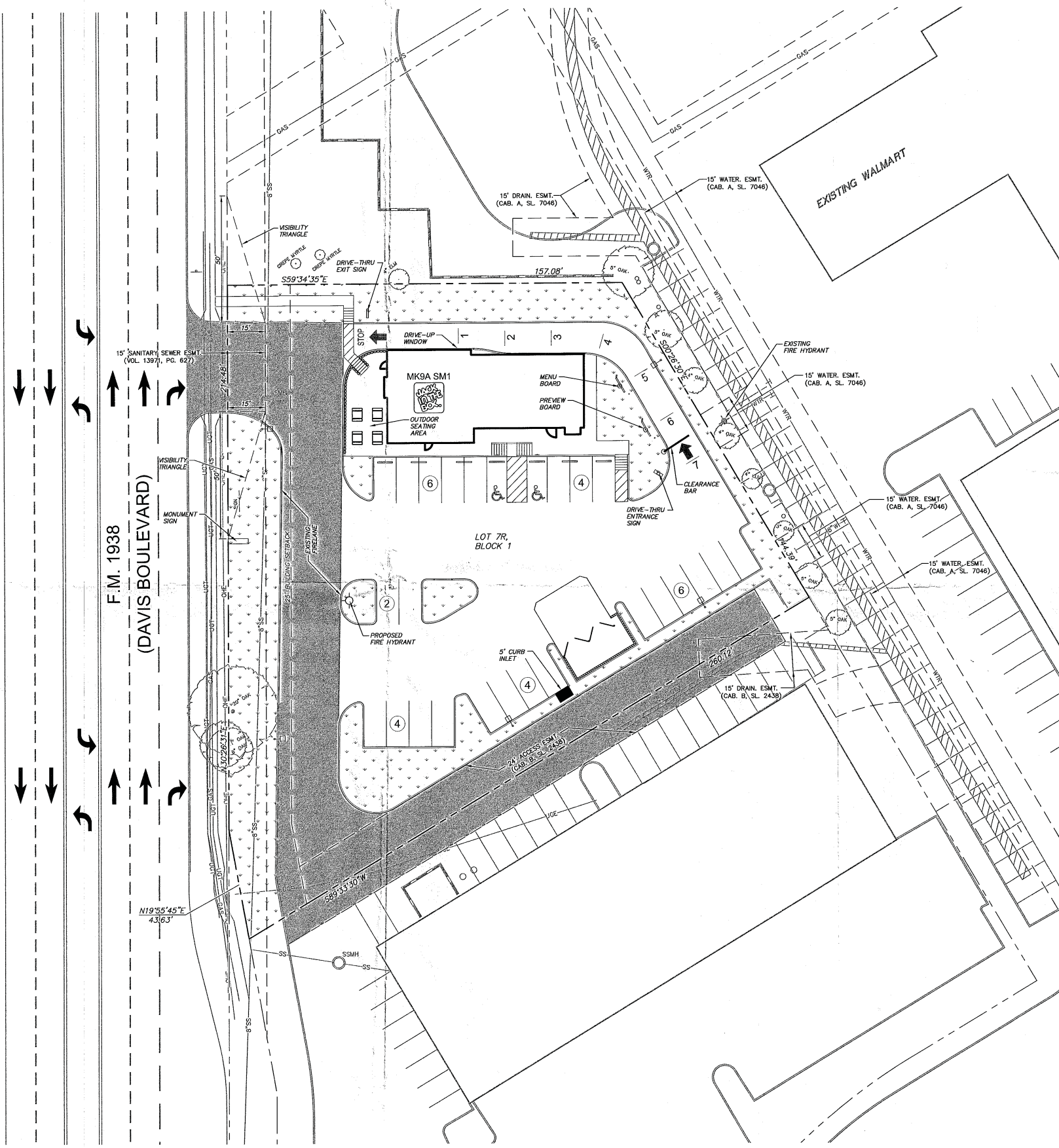
REVISIONS		
NO.	REASON	DATE
1	City Comments	03.07.06

SHEET TITLE
EXTERIOR
ELEVATIONS

PROJECT NO.
141-1658-00

ISSUE DATE 1.27.2006 **SHEET NUMBER** A2.1

EXHIBIT G - JACK IN THE BOX

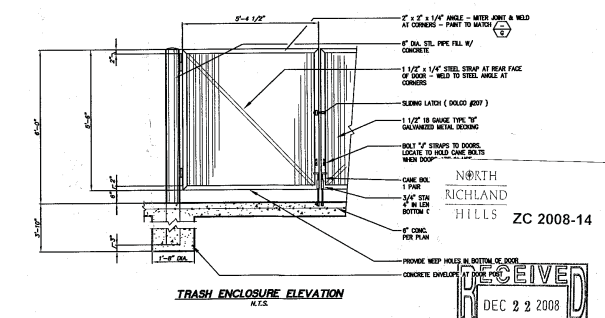
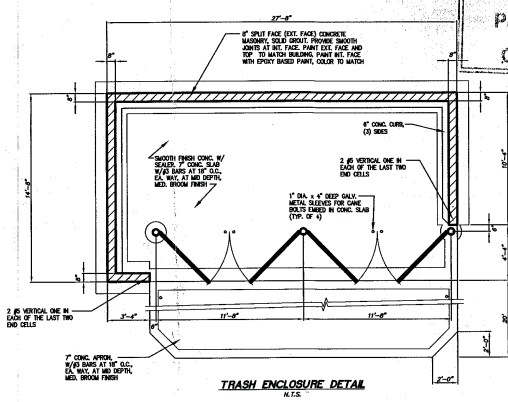


LEGEND & ABBREVIATIONS

- EXISTING FIRE LANE
- LANDSCAPE AREA
- EXISTING CONCRETE

SITE INFORMATION

BUILDING AREA	2,420 SF
OUTDOOR SEATING AREA	375 SF
LOT AREA	39,838 SF; 0.915 ACRES
LOT COVERAGE	5.95%
IMPERVIOUS AREA	10,907 SF
ZONING	PD-36
CURRENT USE	VACANT
PROPOSED USE	RESTAURANT W/ DRIVE THRU
REQUIRED PARKING	28 SPACES (1/100 BUILDING SF + 1/100 OUTDOOR SEATING SF)
PROPOSED PARKING	28 SPACES



VESTED 11/26/08
P&Z 1/15/09
CC 2/9/09

RECEIVED
DEC 22 2008

Architecture Engineering DEPARTMENT

9330 BALBOA AVENUE
SAN DIEGO, CA 92123
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These drawings attached are intended to assist the architect in preparing site-visit construction documents provided that such use does not conflict with rules governing architects in the state where the work is to be performed. They are not to be modified to comply with all applicable codes and site-specific conditions.

DATES

RELEASE: OCT 12, 2007
P.M. UPDATES: OCT 6, 2008

SUBMITTAL DATE:

1: _____
2: _____
3: _____

BID: _____

CONSTRUCTION: _____

REVISIONS

△	
△	
△	
△	
△	
△	

icon Consulting Engineers, Inc.
Civil Engineers - Designers - Planners
Bicentennial Financial Center
250 W. Southlake Blvd., Suite 117
Southlake, TX 76092
Phone: (817) 552-8210
Fax: (817) 552-3126

LICENSED PROFESSIONAL ENGINEER
DAVID C. GREGORY
89296
12-21-08

SITE INFORMATION

MK TYPE: MARK 9A SM1
JOB #: J4788

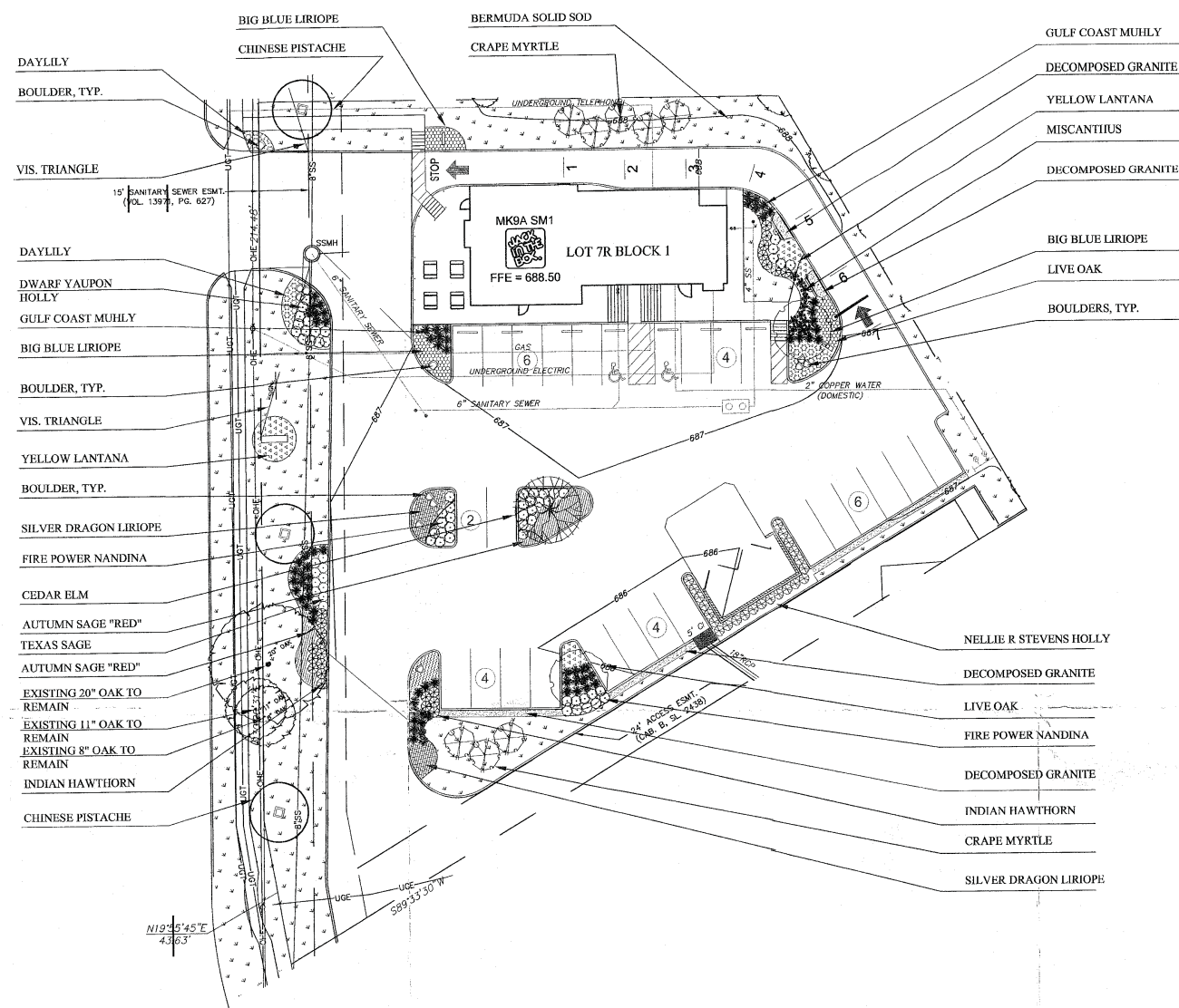
ADDRESS:
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NORTH RICHLAND HILLS, TX

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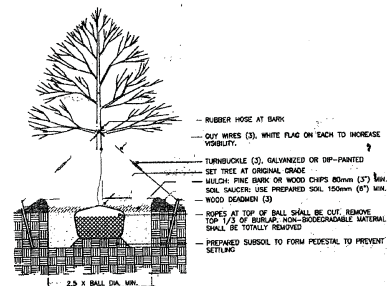
SITE PLAN
Lot 7R, Block 1
SP-1

NORTH
RICHLAND
HILLS
ZC 2008-14

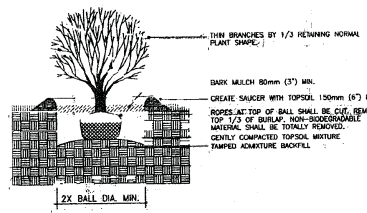
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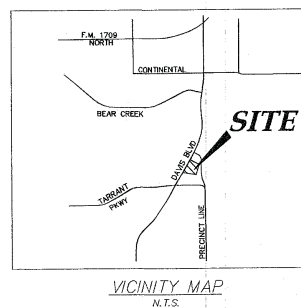
A PLANTING PLAN
SCALE: 1"=20'-0"



B TREE PLANTING DETAIL
SCALE: N.T.S.



C SHRUB PLANTING DETAIL
SCALE: N.T.S.



SITE DATA

REQUIRED LANDSCAPE AREA 15% SITE AREA 39,9837 S.F.
REQUIRED: 5,975.55 S.F. PROVIDED: 11,032 S.F.

5% OF PARKING REQUIRED TO BE LANDSCAPING.
REQUIRED: 1,263 S.F. PROVIDED: 4,225 S.F.

FRONTAGE TREES REQUIRED: 1 TREE PER 50 L.F. OF FRONTAGE.
238.11 L.F. OF FRONTAGE
REQUIRED: 5.16 OR 6 PROVIDED: 3 EXISTING TREES FOR THREE CREDITS
AND THREE NEW TREES TOTAL PROVIDED 6

FRONTAGE SHRUBS REQUIRED: 10 SHRUBS PER 50 L.F. OF FRONTAGE.
238.11 L.F. OF FRONTAGE
REQUIRED: 51.6 OR 52 PROVIDED: 52

PARKING TREES REQUIRED
1 TREE PER 20 PARKING SPOTS. 26 SPOTS = 1.3 OR 2 TREES REQUIRED
PROVIDED: 3 TREES AND THREE CRAPEMYRTLES

THERE ARE NOT ANY PARKING SPACES OUTSIDE OF 100 L.F. OF A TREE

Ironwood Design Group
of TEXAS
316 E. H.W. HIGHWAY
Crawfordsville, Texas 76001
Office: (817) 329-7643
Fax: (817) 329-7647

11-13-08

NOTE:

A AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSOR WILL BE PROVIDED.

(12) 1 TON BOULDERS TO BE INSTALLED 1/2 TO 1 INTO THE GROUND TO GIVE A NATURAL APPEARANCE.

SYM.	COMMON / BOTANICAL NAME	QTY.	SIZE	SPACING	CONDITION / REMARKS
⊗	'RED' CRAPE MYRTLE LASERSTROBIA INDICA	8	8" HT		CONTAINER GROWN OR B&B, FULL, MATCHING, MULTI TRUNKED, 3 CANES MINIMUM 'RED' IN COLOR
⊙	CEDAR ELM ULMUS CRASSIFOLIA	1	3" CAL.		CONTAINER GROWN, MATCHING, 12' HEIGHT SINGLE TRUNKED, FULL, 6' SPREAD
⊙	LIVE OAK QUERCUS VIRGINIANA	2	3" CAL.		15' HT. CONTAINER GROWN OR B&B, MATCHED SINGLE TRUNKED, FULL, HEALTHY
⊙	CHINESE PISTACHE PISTACIA CHINENSIS	2	3" CAL.		15' HT. CONTAINER GROWN OR B&B, MATCHED SINGLE TRUNKED, FULL, HEALTHY

SYM.	COMMON / BOTANICAL NAME	QTY.	SIZE	SPACING	CONDITION / REMARKS
⊙	DECOMPOSED GRANITE	275	S.F.		3' DEPTH WEED BARRIER TO BE INSTALLED UNDERNEATH GRANITE
⊙	TEXAS SAGE LEUCOPHYLLUM FRUTESCENS	11	#5	36" O.C.	PLANT TO BE WELL ROOTED, FULL, MATCHING 24" X 24"
⊙	HOLLY 'NELLIE R STEVENS' ILEX X 'NELLIE R STEVENS'	23	4' HT.		CONTAINER GROWN, WELL ROOTED, FULL TO THE GROUND, MATCHING, HEIGHT AND SPREAD 8' X 4'
⊙	DWARF YAUPON HOLLY ILEX VOMITORIA 'NANA'	39	#5	36" O.C.	PLANT TO BE WELL ROOTED, FULL, MATCHING 24" X 24"
⊙	STEEL EDGE	1150	L.F.		3' DEPTH
⊙	BERMUDA SOLID SOD CYNODON DACTYLON	9500	S.F.		SEE MAN. SPEC.
⊙	BED PREP/ COMPOST	3,750	S.F.		TILL 3' DEPTH
⊙	MULCH	3,750	S.F.		3' DEPTH NOT SHREDDED, MUST BE CHUNKS 1/2 - 1" IN DIA.
⊙	DAYLILY HEMEROCALLIS SPP.	170	#1	12" O.C.	PLANT TO BE WELL ROOTED, FULL, MATCHING ORANGE IN COLOR
⊙	FIRE POWER NANDINA NANDINA DOMESTICA 'FIRE POWER'	15	#5	36" O.C.	PLANT TO BE WELL ROOTED, FULL, MATCHING 24" X 24"
⊙	INDIAN HAWTHORN 'SPRING RAPTURE' RHAPHIOLEPSIS INDICA	23	#5	36" O.C.	PLANT TO BE WELL ROOTED, FULL, MATCHING 18" X 24"
⊙	GULF COAST MUHLY GRASS MUHLBERGIA LINDENMEYER	73	#5	36" O.C.	PLANT TO BE WELL ROOTED, FULL, MATCHING 24" X 24"
⊙	MISCANTHUS	11	#5	36" O.C.	PLANT TO BE WELL ROOTED, FULL, MATCHING 24" X 24"
⊙	BIG BLUE LIRIOPE LIRIOPE MUSCARI 'BIG BLUE'	215	#1	12" O.C.	FULL POTS, NOT ROOT BOUND
⊙	SILVER DRAGON LIRIOPE LIRIOPE MUSCARI 'SILVER DRAGON'	150	#1	12" O.C.	FULL POTS, NOT ROOT BOUND,
⊙	AUTUMN SAGE 'RED' SALVIA GREGGII	250	#1	12" O.C.	PLANT TO BE WELL ROOTED, FULL, MATCHING
⊙	AUTUMN SAGE 'PURPLE' SALVIA GREGGII	55	#1	12" O.C.	PLANT TO BE WELL ROOTED, FULL, MATCHING
⊙	YELLOW LANTANA LANTANA SPP.	215	#1	12" O.C.	FULL POTS, AT LEAST 3 RUNNERS PER POT RUNNERS MUST BE 8" IN LENGTH

Architecture Engineering DEPARTMENT

9330 BALBOA AVENUE
SAN DIEGO, CA 92123
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These designs created are intended to be used in accordance with the specifications and standards provided herein and shall not be used for any other purpose without the prior written consent of the architect. Any use for any other purpose shall be at the user's risk.

DATES

RELEASE: _____
P.M. UPDATES: _____
SUBMITTAL DATE: _____
1: _____
2: _____
3: _____

BID: _____
CONSTRUCTION: _____

REVISIONS

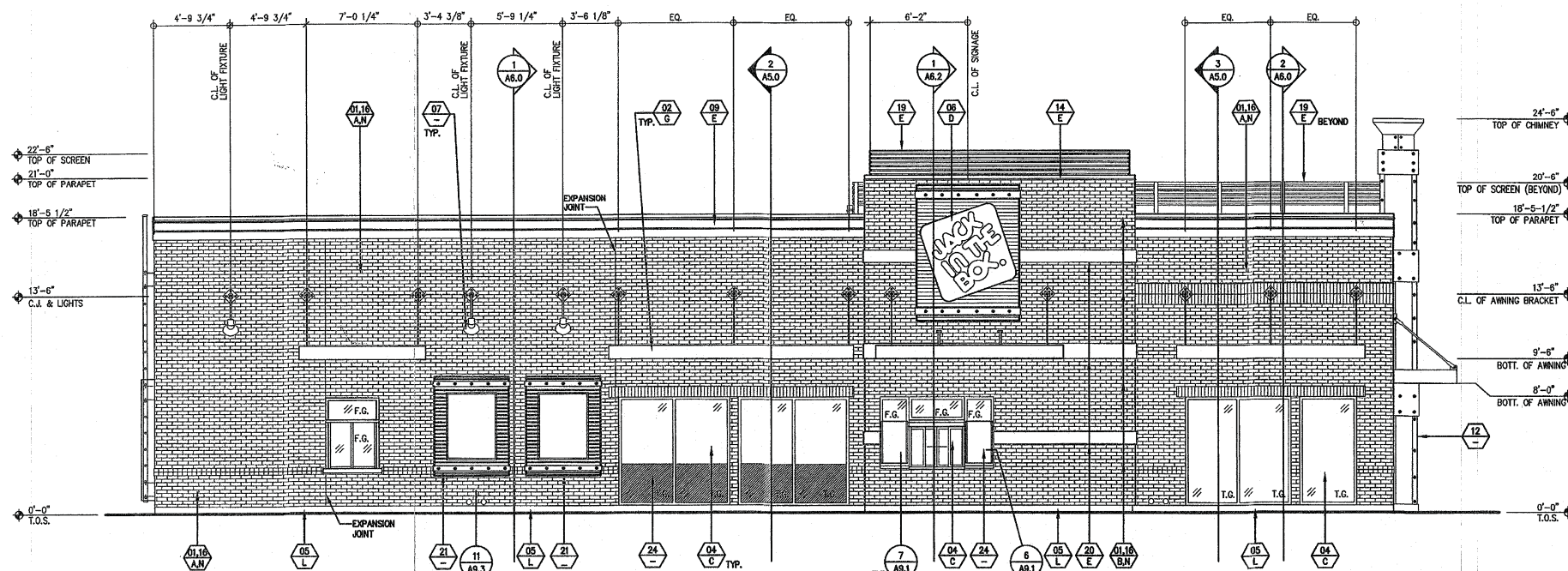
△ 12-04-08 NRH Comm.
△ _____
△ _____
△ _____
△ _____
△ _____

icon
Consulting Engineers, Inc.
Civil Engineers - Designers - Planners
Bicentennial Financial Center
250 W. Southlake Blvd., Suite 117
Southlake, TX 76092
Phone: (817) 562-6210
Fax: (817) 562-5126

SITE INFORMATION

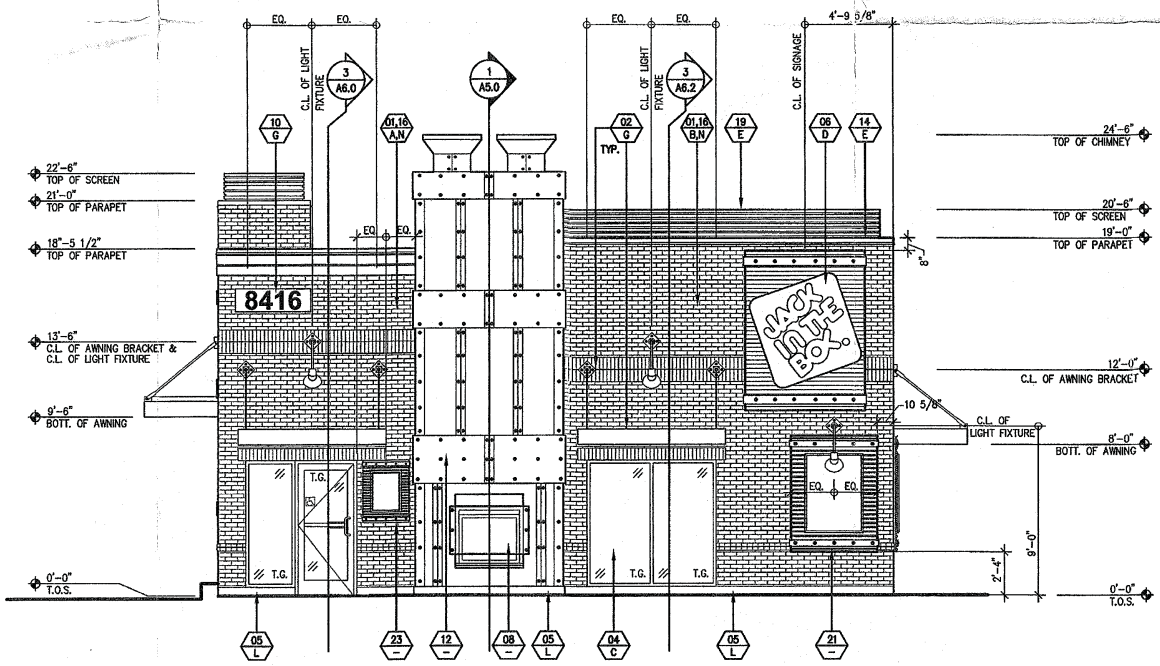
PK TYPE: MARK 9A SMI
JOB #: J4788
ADDRESS: DAVIS BOULEVARD
NORTH RICHLAND HILLS, TX
DRAWN BY: DSM
PROJECT #: S027-15
SCALE: _____

EXHIBIT G - JACK IN THE BOX



NORTH ELEVATION

SCALE: 1/4"=1'-0"



WEST ELEVATION

SCALE: 1/4"=1'-0"

EXTERIOR FINISH SCHEDULE USE CHECKED BOX ONLY

01 MATERIAL/FINISH COLOR ANTI-GRAFFITI COATING: DUMOND CPU647 GRAFFITI BARRIER COAT BY DUMOND CHEMICALS INC. (212) 869-6350 COLOR: CLEAR

- MATERIAL/FINISH:**
- 01 BRICK (SEE SPECIFICATIONS)
 - 02 METAL AWNING & SUPPORT (BY SIGN CONTRACTOR)
 - 03 24" x 36" S.S. FLASHING AT GREASE RECOVERY TAP IN
 - 04 ALUMINUM STOREFRONT SYSTEM (SEE SPECS FOR MORE INFORMATION)
 - 1" CLEAR INSULATED GLASS
 - 1/4" CLEAR GLASS
 - 1" CLEAR INSULATED GLASS W/ SOLARBAN 60 COATING
 - ANTI-GRAFFITI FILM
 - 05 SLAB
 - 06 INTERNALLY ILLUMINATED SIGNAGE W/ CORRUGATED PANEL (O.F.O.I., NOT A PART OF THIS PERMIT)
 - 07 WALL MOUNTED LIGHT FIXTURE, SEE DETAIL 16/A9.3 FOR ATTACHMENT.
 - 08 SELF CONTAINED, FIREPLACE (EQ12)
 - 09 PREFORMED GALVANIZED METAL FASCIA
 - 10 12" HIGH BUILDING ADDRESS LETTERS (AS REQUIRED PER LOCAL JURISDICTION)
 - 11 MAIN ELECTRICAL SERVICE
 - 12 PREFORMED GALVANIZED METAL CLADDING (EQ13)
 - 12A PREFORMED DECORATIVE CAP (EQ14)
 - 13 HOLLOW METAL DOORS AND FRAMES, MISCELLANEOUS TRIM
 - 14 GALVANIZED METAL COPING
 - 15 CO2 FILL BOX METAL COVER
 - 16 MORTAR
 - 17 NOT USED
 - 18 ROOF LADDER WITH SECURITY COVER
 - 19 PREFORMED GALVANIZED METAL SCREEN
 - 20 GALVANIZED METAL TRIM
 - 21 DISPLAY POSTER PANEL, SEE DETAIL 18/A9.3 (EQ31)
 - 22 NOT USED
 - 23 ENTRANCE DISPLAY POSTER PANEL, ALIGN TOP WITH TOP OF DOOR. (EQ31A)
 - 24 DRIVE-THRU WINDOW TREATMENT AND DISPLAY PANEL (EQ32)

- COLOR:**
- A ACME "STEEL GRAY"
 - B ACME "MEDIUM RED"
 - C STANDARD STOREFRONT; #33 BLACK ANODIZED
 - D WHITE TEXT ON RED BACKGROUND WITH CORRUGATED SURROUND TRIM
 - E DARK GRAY - GALV. FINISH
 - F COLOR/FINISH TO MATCH ADJACENT SURFACE
 - G COLOR TO MATCH SHERWIN WILLIAMS: SW 6990 "CAVAR".
 - H MIL FINISH ALUMINUM
 - J SHERWIN WILLIAMS A-100 EXTERIOR GLOSS LATEX: SW 7074 "SOFTWARE" (PAINT ALL SIDES OF DOOR)
 - K SHERWIN WILLIAM EXTERIOR ACCENTS COLOR: SW 6990 "CAVAR"
 - L NATURAL CONCRETE, GRAY
 - M STAINLESS STEEL
 - N "LIGHT GRAY"

- NOTES:**
1. ALL SIGNAGE IS UNDER SEPARATE SUBMITTAL AND PERMIT (N.I.C.).
 2. NOT USED
 3. ALL BRICK ACCESSORIES, FLASHINGS ETC. SHALL BE PAINTED TO MATCH ADJACENT SURFACES. (U.N.O.)
 4. ALL EXTERIOR WALL OPENINGS FOR RECEPTACLES, HOSE BIBS, ETC. SHALL BE SEALED. SEE FLOOR PLAN, GENERAL NOTES, AND SPECIFICATIONS FOR ADDITIONAL NOTES.



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SAN DIEGO, CA 92123
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DATES

RELEASE: 11/03/2008

P.M. UPDATES:

SUBMITTAL DATE:

1: _____

2: _____

3: _____

BID: _____

CONSTRUCTION: _____

REVISIONS

△	
△	
△	
△	
△	



SITE INFORMATION

MK TYPE: MARK 9A SM1

JOB #: J4788

ADDRESS:
8416 DAVIS BOULEVARD
NORTH RICHLAND HILLS, TX

DRAWN BY: BLW

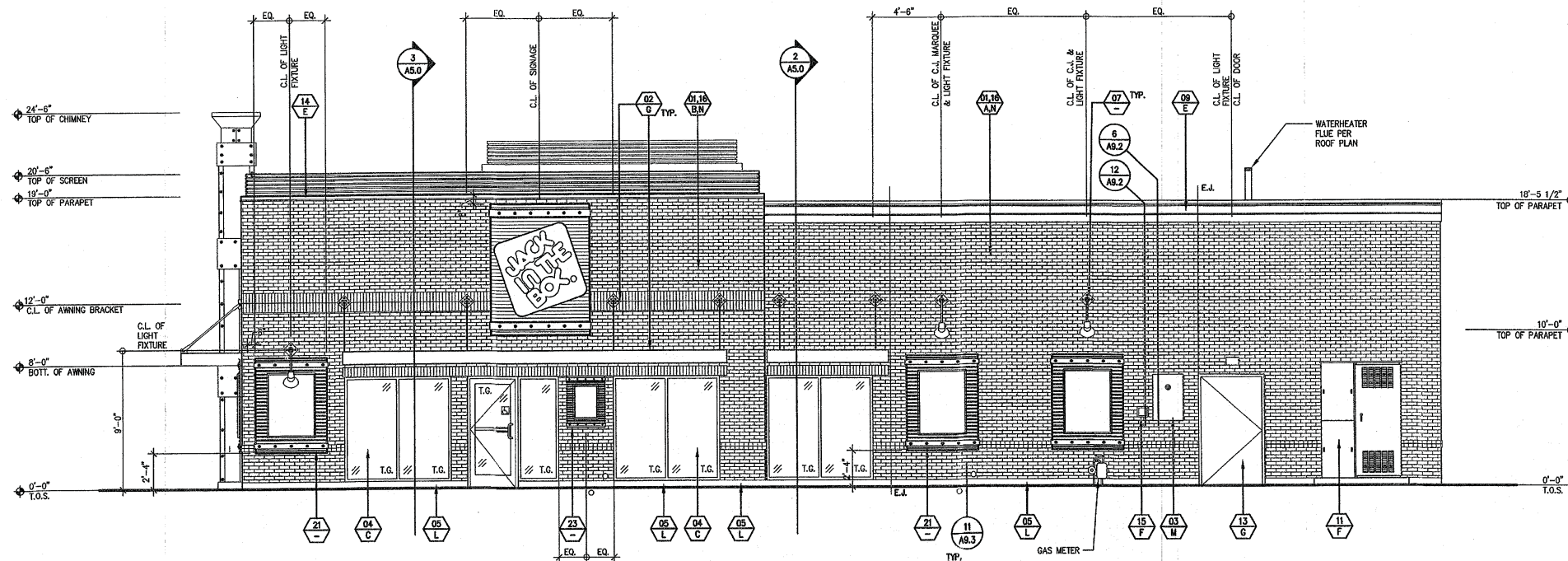
PROJECT #: 08-127

SCALE: AS NOTED

EXTERIOR ELEVATIONS

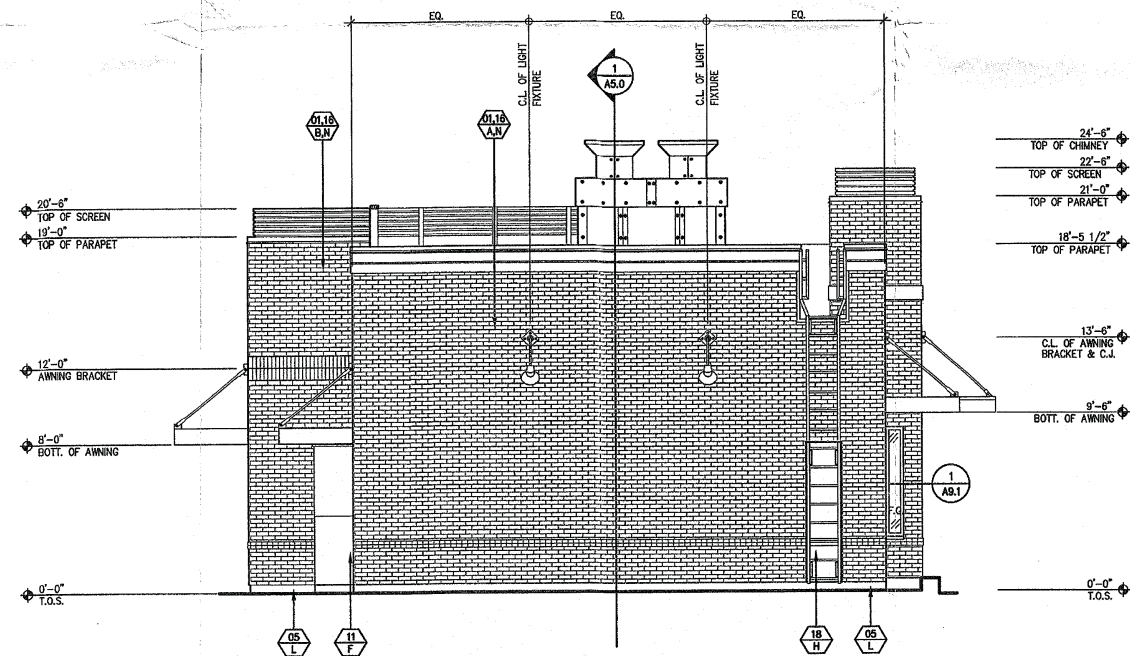
A4.0

EXHIBIT G - JACK IN THE BOX



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"

NOTE:
SEE SHEET A4.0 FOR ADDITIONAL
EXTERIOR FINISH INFORMATION AND
DETAILS (TYP.)

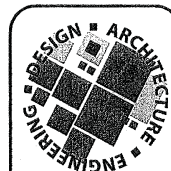
EXTERIOR FINISH SCHEDULE USE CHECKED BOX ONLY

MATERIAL/FINISH COLOR ANTI-GRAFFITI COATING: DUMOND CPU647 GRAFFITI BARRIER COAT BY DUMOND CHEMICALS INC. (212) 869-6350 COLOR: CLEAR

- MATERIAL/FINISH:**
- 01 BRICK (SEE SPECIFICATIONS)
 - 02 METAL AWNING & SUPPORT (BY SIGN CONTRACTOR)
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 - 04 ALUMINUM STOREFRONT SYSTEM (SEE SPECS FOR MORE INFORMATION)
 - 1" CLEAR INSULATED GLASS
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 - L NATURAL CONCRETE, GRAY
 - M STAINLESS STEEL
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- NOTES:**
1. ALL SIGNAGE IS UNDER SEPARATE SUBMITTAL AND PERMIT (N.I.C.).
 2. NOT USED
 3. ALL BRICK ACCESSORIES, FLASHINGS ETC. SHALL BE PAINTED TO MATCH ADJACENT SURFACES. (U.N.O.).
 4. ALL EXTERIOR WALL OPENINGS FOR RECEPTACLES, HOSE BIBS, ETC. SHALL BE SEALED. SEE FLOOR PLAN, GENERAL NOTES, AND SPECIFICATIONS FOR ADDITIONAL NOTES.



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SAN DIEGO, CA 92123
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These drawings attached are intended to assist the architect in preparing the construction documents provided that such use does not conflict with other governing architects in the state where the work is to be performed. They will need to be modified to comply with all applicable codes and site-specific conditions.

DATES

RELEASE: 11/03/2008
P.M. UPDATES:
SUBMITTAL DATE:
1:
2:
3:
BID:
CONSTRUCTION:

REVISIONS

△	
△	
△	
△	
△	



SITE INFORMATION

MARK TYPE: MARK 9A SM1
JOB #: J4788
ADDRESS:
8416 DAVIS BOULEVARD
NORTH RICHLAND HILLS, TX

DRAWN BY: ELW

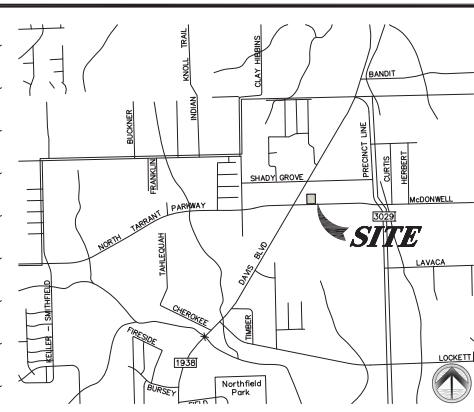
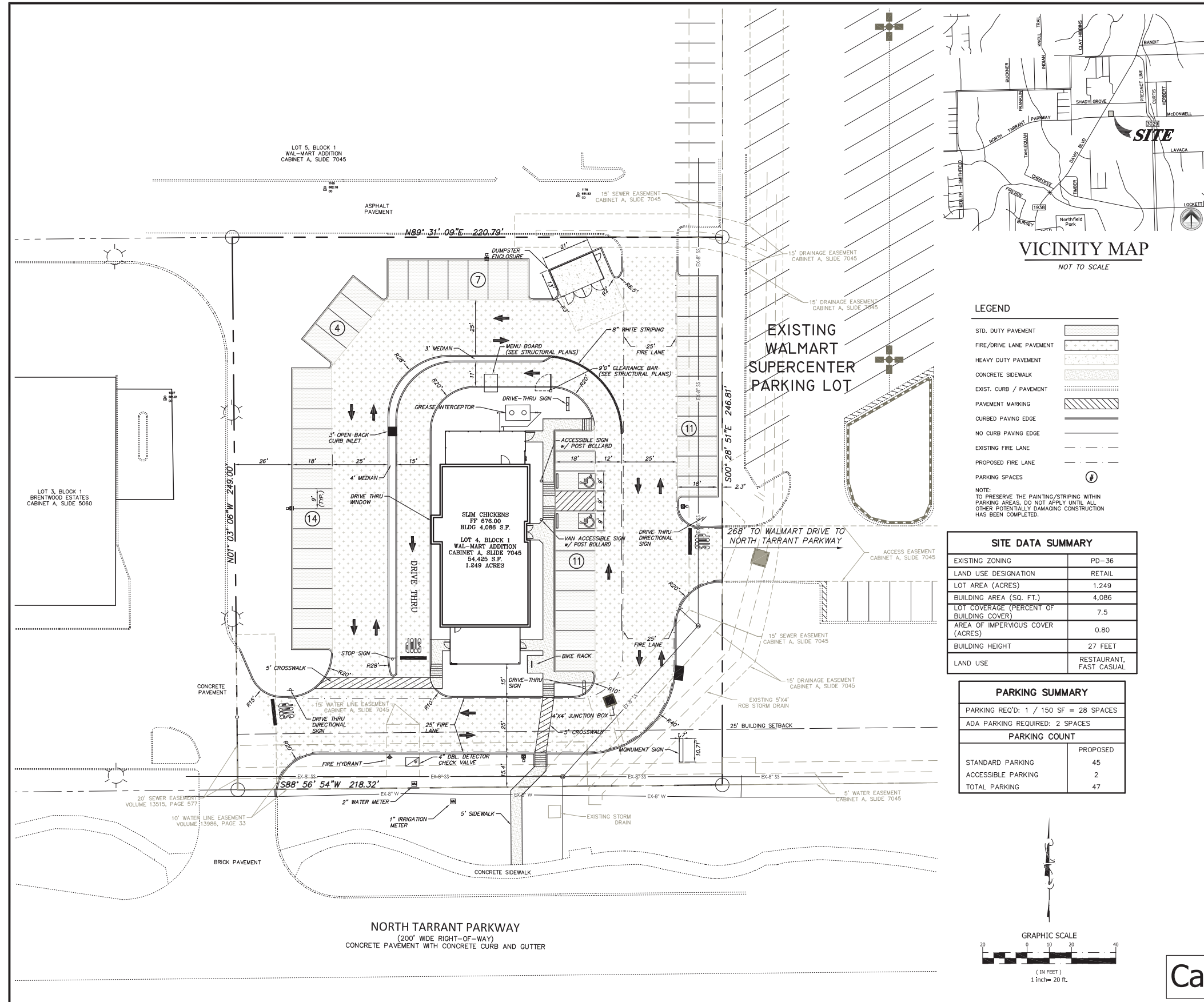
PROJECT #: 08-127

SCALE: AS NOTED

EXTERIOR ELEVATIONS

A4.1

EXHIBIT H - SLIM CHICKENS



VICINITY MAP
NOT TO SCALE

LEGEND

STD. DUTY PAVEMENT	[Symbol]
FIRE/DRIVE LANE PAVEMENT	[Symbol]
HEAVY DUTY PAVEMENT	[Symbol]
CONCRETE SIDEWALK	[Symbol]
EXIST. CURB / PAVEMENT	[Symbol]
PAVEMENT MARKING	[Symbol]
CURBED PAVING EDGE	[Symbol]
NO CURB PAVING EDGE	[Symbol]
EXISTING FIRE LANE	[Symbol]
PROPOSED FIRE LANE	[Symbol]
PARKING SPACES	[Symbol]

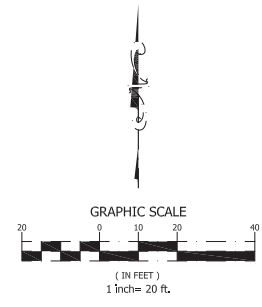
NOTE:
TO PRESERVE THE PAINTING/STRIPING WITHIN PARKING AREAS, DO NOT APPLY UNTIL ALL OTHER POTENTIALLY DAMAGING CONSTRUCTION HAS BEEN COMPLETED.

SITE DATA SUMMARY

EXISTING ZONING	PD-36
LAND USE DESIGNATION	RETAIL
LOT AREA (ACRES)	1.249
BUILDING AREA (SQ. FT.)	4,086
LOT COVERAGE (PERCENT OF BUILDING COVER)	7.5
AREA OF IMPERVIOUS COVER (ACRES)	0.80
BUILDING HEIGHT	27 FEET
LAND USE	RESTAURANT, FAST CASUAL

PARKING SUMMARY

PARKING REQ'D: 1 / 150 SF = 28 SPACES	
ADA PARKING REQUIRED: 2 SPACES	
PARKING COUNT	
STANDARD PARKING	45
ACCESSIBLE PARKING	2
TOTAL PARKING	47



WARNING TO CONTRACTOR:
CALL 811 (TEXAS 811) OR OTHER UTILITY LOCATING SERVICES 48 HOURS PRIOR TO CONSTRUCTION ACTIVITY. DUNAWAY ASSOC., L.P. IS NOT RESPONSIBLE FOR KNOWING ALL EXISTING UTILITIES OR DEPICTING EXACT LOCATIONS OF UTILITIES ON DRAWINGS.

CRITICAL:
LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE AND ARE BASED ON PUBLIC RECORDS. THE CONTRACTOR IS COMPLETELY RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES, BOTH HORIZONTALLY AND VERTICALLY, BEFORE THE COMMENCEMENT OF ANY CONSTRUCTION.

UTILITY RELOCATION NOTE:
IF ANY EXISTING UTILITY POLES, POWER POLES, GUY WIRES, TELEPHONE UTILITIES, ETC. ARE FOUND TO BE IN CONFLICT WITH THESE CONSTRUCTION PLANS, THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANY AND COORDINATE THE RELOCATION OF ANY/OR ALL SUCH UTILITIES (NO SPECIAL PAY).

CONTRACTOR ADVISORY:
THE CONTRACTOR, AND HIS AGENTS (SUB-CONTRACTOR, ENGINEER, SURVEYOR, ETC.) ARE COMPLETELY RESPONSIBLE FOR THE VERIFICATION OF THE ACCURACY OF THE DIMENSION CONTROL FURNISHED HEREIN. THE OWNER, AND HIS AGENTS, ARE NOT RESPONSIBLE FOR THE ACCURACY OF THE COORDINATES FURNISHED. THE CONTRACTOR IS REQUIRED TO VERIFY ALL OF THE COORDINATES FOR ACCURACY AND CONFIRM THE LOCATIONS OF ALL UTILITIES TO BE CONSTRUCTED, BOTH HORIZONTALLY AND VERTICALLY. DISCREPANCIES FOUND BY THE CONTRACTOR SHALL BE REPORTED IN WRITING, TO THE OWNER IMMEDIATELY FOR RECONCILIATION.

PROJECT BENCHMARKS:
NORTH RICHLAND HILLS GEODETIC CONTROL STATIONS:
GPS-28
GPS-30
GPS-31

SITE BENCHMARKS:
SITE BM #1:
BOX WITH "X" SET ON TOP OF CURB AT MIDPOINT OF CURVE AT NORTHWEST CORNER OF LOT 4, BLOCK 1, WAL-MART ADDITION. ELEVATION=681.17'
SITE BM #2:
5/8" IRON ROD WITH RED PLASTIC CAP STAMPED "TRAVERSE POINT" LOCATED APPROXIMATELY 12.4' NORTH OF AN ACCESS EASEMENT AND 9.6' WEST OF THE EAST PROPERTY LINE OF LOT 4, BLOCK 1, WAL-MART ADDITION. ELEVATION=676.25'

REVISIONS

NO.	DATE	DESCRIPTION

SITE PLAN

SLIM CHICKENS RESTAURANT

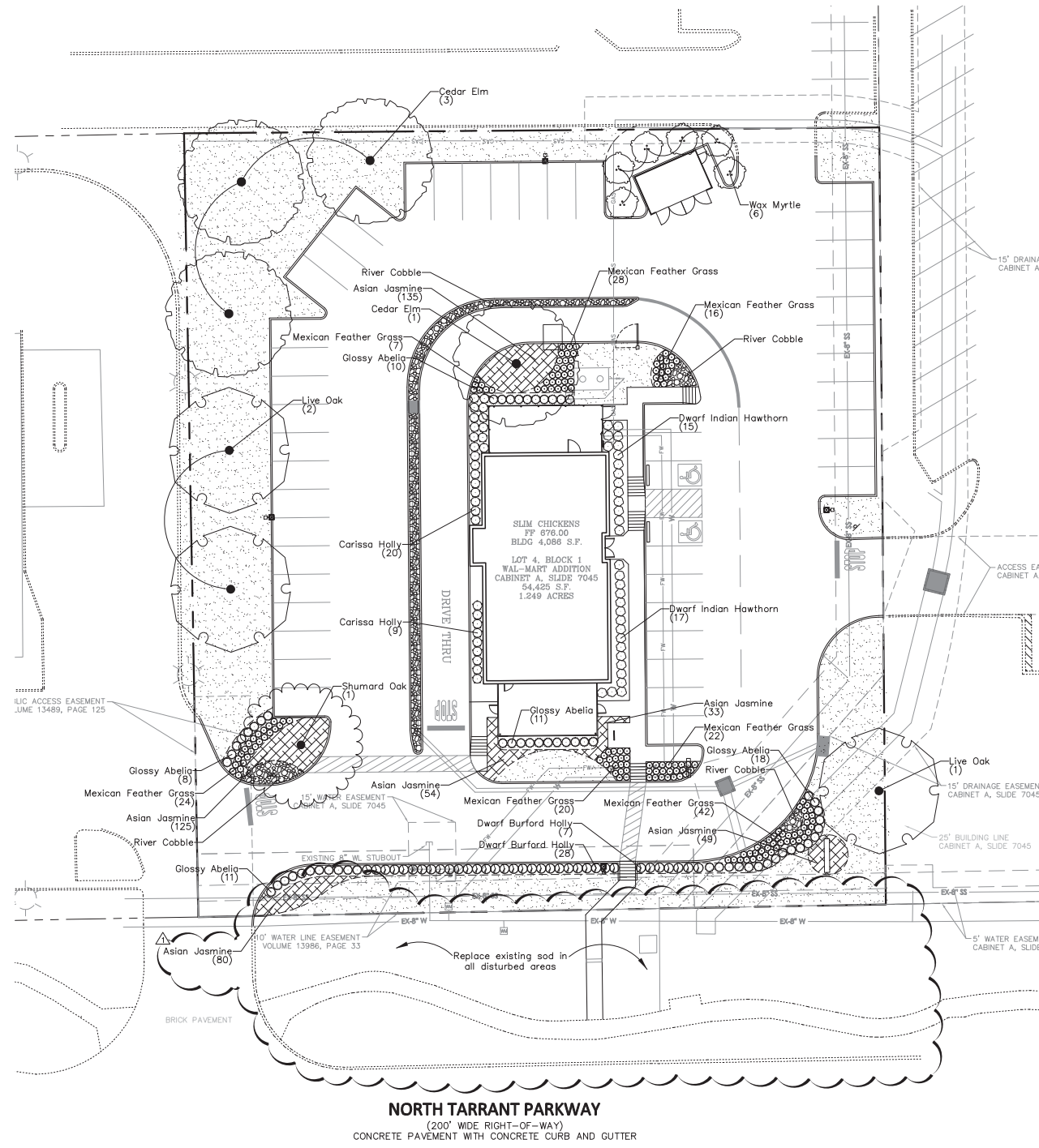
9005 NORTH TARRANT PARKWAY
NORTH RICHLAND HILLS, TEXAS

APPLICANT/ENGINEER
DUNAWAY ASSOCIATES
CHRIS BIGGERS
CBIGGERS@DUNAWAY-ASSOC.COM
(817) 632-4709
550 BAILEY AVENUE, SUITE 400
FORT WORTH, TEXAS 76107

JOB NO. B002228.001
DRAWN BY: G3W
DESIGNED BY: G3W
CHECKED BY: CMB
DATE: FEBRUARY 2016
SHEET: C4.0

Case ZC 2015-24

EXHIBIT H - SLIM CHICKENS



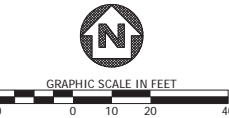
PLANT SCHEDULE

LARGE TREES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	CONT.	HEIGHT	SPREAD
	4	CEDAR ELM	ULMUS CRASSIFOLIA	4"	65 GAL	10' - 12'	6' - 8'
	3	LIVE OAK	QUERCUS VIRGINIANA	4"	65 GAL	10' - 12'	6' - 8'
	1	SHUMARD OAK	QUERCUS SHUMARDII	4"	65 GAL	10' - 12'	6' - 8'
ORNAMENTAL TREES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	CONT.	HEIGHT	SPREAD
	6	WAX MYRTLE	MYRICA CERIFERA	3" MULT-TRUNK	15 GAL	4' - 6'	3' - 5'
SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HEIGHT	SPREAD	SPACING
	28	CARISSA HOLLY	ILEX CORNUTA 'CARISSA'	5 GAL	24"-30"	18"-24"	36" OC.
	35	DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	5 GAL	30"-36"	24"-26"	36" OC.
	32	DWARF INDIAN HAWTHORN	RHAPHIOLEPIS INDICA 'ENCHANTRESS'	5 GAL	24"-26"	24"-26"	36" OC.
	50	GLOSSY ABELIA	ABELIA X GRANDIFLORA 'EDWARD GOUCHER'	5 GAL	24"-30"	24"-26"	36" OC.
	158	MEXICAN FEATHER GRASS	STIPA TENUISSIMA	1 GAL	12"-15"	12" - 15"	24"
GROUND COVERS	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HEIGHT	SPREAD	SPACING
	476	ASIAN JASMINE	TRACHELOSPERMUM ASIATICUM	1 GAL	4"-6"	6"-10"	18" OC.
ROCK / GRAVEL	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HEIGHT	SPREAD	SPACING
		RIVER COBBLE	ARIZONA RIVER COBBLE LARGE	3" - 6"	NA	NA	NA
SOD/SEED	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HEIGHT	SPREAD	SPACING
		ZOYSIA GRASS	ZOYSIA	SOLID SOD	NA	NA	NA

*RIVER COBBLE SHALL BE 'ARIZONA RIVER COBBLE - LARGE' AS SUPPLIED BY WHIZ-Q STONE (WWW.WHIZ-Q.COM)

SITE DATA

	REQUIRED	PROVIDED
Lot Area	54,425 sf.	
Landscape Area Percentage		
Landscape 15% of total lot area	8,164 sf.	16,320 sf.
Landscape Setback	15'	15' Min.
One large tree for every 50' of frontage N. Tarrant Pkwy. 218' / 50'	5 Large Trees	Frontage in easement 5 Large 4" caliper Trees planted interior to site
Ten small shrubs for every 50' of frontage N. Tarrant Pkwy. 218' / 50' (x10)	44 Small Shrubs	106 Small Shrubs *Additional Shrubs planted for screening
Parking Lot Screening from R.O.W. Parking area, drives and drive thru to be screened from N. Tarrant	30' Ht. Screening Shrubs Min. 3' oc.	30' Ht. Screening Shrubs Min. 3' oc. *Additional Shrubs planted for screening
Landscaping of Parking Lots One large tree for every 20 spaces 47 spaces / 20	3 Large Trees	3 Large Trees
Parking Lots to have 5% Landscape Area 17,143 parking area x 5%	857 sf.	9,863 sf.
Provide shrubs at north and south patio to screen drive-thru north 31' / 3' oc. south 31' / 3' oc.	10 Small Shrubs 10 Small Shrubs	10 Small Shrubs 10 Small Shrubs



FOR PLANTING NOTES & DETAILS
SEE SHEET C8.1

Case ZC 2015-24

REVISIONS

NO.	DATE	DESCRIPTION
1	3/14/16	REMOVE LANDSCAPE FROM RIGHT OF WAY.

LANDSCAPE PLAN

DUNAWAY
250 Bailey Avenue • Suite 202 • Fort Worth, Texas 76107
(817) 888-7111

SLIM CHICKENS RESTAURANT
9005 NORTH TARRANT PARKWAY
NORTH RICHLAND HILLS, TEXAS

REGULATORY LANDSCAPE REVIEW
STATE OF TEXAS
3/18/2016

JOB NO: B002228.001
DRAWN BY: JMM
DESIGNED BY: LPO
CHECKED BY: LPO
DATE: FEBRUARY 2016
SHEET: C8.0

ALL WORK TO BE ACCORDANCE WITH THE LATEST EDITIONS OF THE TEXAS LANDSCAPE ARCHITECTURE BOARD'S PRACTICE MANUAL AND THE TEXAS LANDSCAPE ARCHITECTURE BOARD'S PRACTICE MANUAL. THE TEXAS LANDSCAPE ARCHITECTURE BOARD'S PRACTICE MANUAL IS AVAILABLE AT WWW.TLARB.COM. THE TEXAS LANDSCAPE ARCHITECTURE BOARD'S PRACTICE MANUAL IS AVAILABLE AT WWW.TLARB.COM.

EXHIBIT H - SLIM CHICKENS

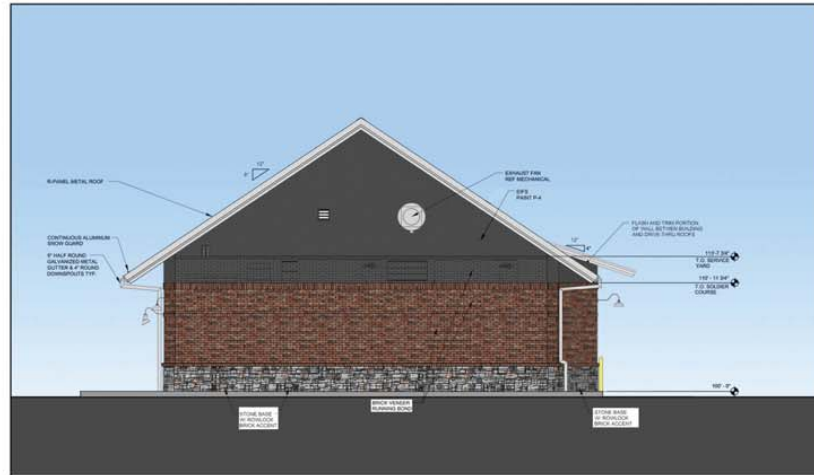


01 SOUTH ELEVATION
SCALE: 1/4"=1'-0"



02 EAST ELEVATION
SCALE: 1/4"=1'-0"



ZC 2015-24



03 NORTH ELEVATION
SCALE: 1/4"=1'-0"



04 WEST ELEVATION
SCALE: 1/4"=1'-0"

MATERIAL KEY	COLOR RGB	NAME	MFG.
P1	237-236-230	PURE WHITE	SHERWIN WILLIAMS
P4	87-86-84	IRON MOUNTAIN	BENJAMIN MOORE
BRICK	161-129-114	SALEM CREEK TUDOR	BLACKSON BRICK
			
STONE	155-156-155	SILVER MIST	BLACKSON BRICK
			



05 FLOOR PLAN
SCALE: 1/8"=1'-0"

ZC 2015-24



FORM STUDIOS INC.
FORM @ FORMFINDING.COM
817-426-3008 VOICE
817-426-3008 FAX
300 BURNETT ST.
SUITE 100
FORT WORTH, TX 76102

JURISDICTION
THE TEXAS BOARD OF ARCHITECTURAL & ENGINEERING PROFESSIONS
P.O. BOX 12337, AUSTIN, TX 78711-2337
P.O. BOX 15123, DALLAS, TX 75215-1523
HAS JURISDICTION OVER INDIVIDUALS LICENSED UNDER THE ARCHITECT'S REGISTRATION LAW, TEXAS CIVIL STATUTES, ARTICLE 248A

THESE ARCHITECTURAL DRAWINGS HAVE BEEN PREPARED FOR ARCHITECTURAL DESIGN ONLY. CIVIL, STRUCTURAL, MECHANICAL, AND OTHER RELATED ENGINEERING DESIGNATED SPECIFICATIONS ARE THE RESPONSIBILITY OF THE RESPECTIVE ENGINEER. COMPLIANCE OF THESE DRAWINGS WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL MEASUREMENTS SHALL BE VERIFIED BY THE CONTRACTOR DURING THE RESPECTIVE WORK.

THESE DRAWINGS, AS INSTRUMENTS OF SERVICE ARE THE EXCLUSIVE PROPERTY OF THE ARCHITECT, AND ARE NOT TO BE USED IN WHOLE OR IN PART WITHOUT THE ARCHITECT'S WRITTEN PERMISSION. UNAUTHORIZED USE OF THESE DRAWINGS WILL SUBJECT THE USER TO LEGAL REMEDY BEING SOUGHT BY FORM STUDIOS INC.

ARCHITECT SEAL



CONTRACTOR'S RESPONSIBILITIES:
1. DRAWINGS ARE ONLY AN APPROXIMATION OF THE ACTUAL CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
3. CONTRACTOR SHALL NOT SCALE DRAWINGS. CONTACT THE ARCHITECT FOR DIMENSIONAL CLARIFICATIONS.

THESE DOCUMENTS SHALL NOT BE USED FOR REGULATORY REVIEW, PERMITTING OR CONSTRUCTION UNLESS A SIGNATURE AND DATE HAS BEEN AFFIXED TO THE SEAL. DO NOT SCALE DRAWINGS. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING CONSTRUCTION.

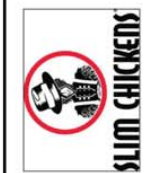
SLIM CHICKENS
9005 NORTH TARRANT PARKWAY
NORTH RICHLAND HILLS, TX 76182
TIM KRAFTSON
(817) 797-7287

PROJECT:

SLIM CHICKENS
NRH STORE

FORM STUDIOS INC.
© FEB 2016

REVISIONS:



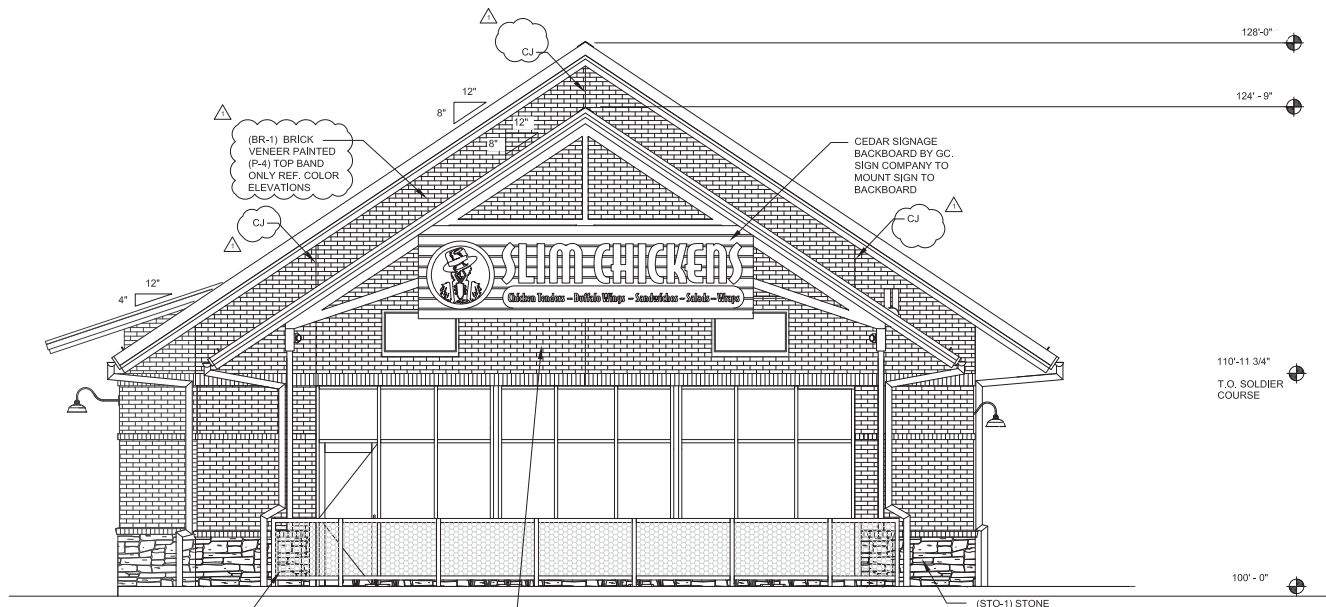
ISSUE FOR SUP PERMIT 11/16/15

SHEET TITLE:
EXTERIOR ELEVATIONS

SHEET:

A2.0

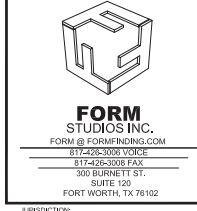
EXHIBIT H - SLIM CHICKENS



02 SOUTH ELEVATION
SCALE: 1/4"=1'-0"

MATERIAL PERCENTAGE CALCULATIONS	
TOTAL AREA:	639.41 FT ²
MASONRY GROUP 'A':	693.41 FT ² - 100.00%

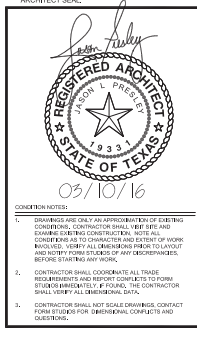
MATERIAL & FINISH SCHEDULE	
MATERIAL	DESCRIPTION
BR	BRICK
EPS	EPS
MTL	METAL PANEL
PT	PAINT
STN	STAIN
STO	STONE
BR-1	(BR-1) BRICK PRODUCT: SALEM CREEK TUDOR MANUFACTURER: BLACKSON (BR-1) BRICK COLOR: AS SPECIFIED SALES REP: Justin Stone justin@blackson(BR-1) BRICK.com MOBILE: (817) 823-5208
STO-1	(STO-1) STONE PRODUCT: SILVER MIST CHOPPED STONE MANUFACTURER: BLACKSON (BR-1) BRICK COLOR: 70/30 BLEND-SILVER MIST/OKLAHOMA STONE SALES REP: Justin Stone justin@blackson(BR-1) BRICK.com MOBILE: (817) 823-5208
MTL	ROOF & GUTTER METAL
MTL-1	PRODUCT: METAL AS SPECIFIED MANUFACTURER: MS METALS OR APPROVED EQUAL COLOR: ACRYLIC COATED GALVALUME
EPS	(EF-1) EPS OR CONTINUOUS INSULATION SYSTEM
EF-1	PRODUCT: STO THERM G CLASSIC OR APPROVED EQUAL MANUFACTURER: STO OR APPROVED EQUAL COLOR & FINISH: TO BE APPROVED BY FORM STUDIOS, INC.
PT	PAINT
PT-4	COLOR: SEE SHEET AS.2 INTERIOR FINISH SCHEDULE LOCATION: EXTERIOR HARDIE PANEL, UNDER SOFFIT AND AS NOTED
STN	STAIN
ST-3	COLOR: CLEAR BASE MANUFACTURER: WOODSCAPES LOCATION: EXTERIOR GATES AT TRASH ENCLOSURE



JURISDICTION: THE TEXAS BOARD OF ARCHITECTURAL REGULATION, P.O. BOX 12337, AUSTIN, TX 78711-2337. P. O. N. E. - 1 5 1 2 3 7 3 0 5 4 9 0 0 HAS JURISDICTION OVER INDIVIDUALS LICENSED UNDER THE ARCHITECT'S REGISTRATION LAW, TEXAS CIVIL STATUTES, ARTICLE 249A.

THESE ARCHITECTURAL DRAWINGS HAVE BEEN PREPARED FOR ARCHITECTURAL DESIGN ONLY. CIVIL, STRUCTURAL, MECHANICAL, AND OTHER RELATED ENGINEERING DESIGNATED OR SPECIFICATIONS ARE THE RESPONSIBILITY OF THE RESPECTIVE ENGINEERS. COMPLIANCE OF THESE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL MEASUREMENTS SHALL BE VERIFIED BY THE CONTRACTOR DURING THE CONSTRUCTION OF THE PROJECT.

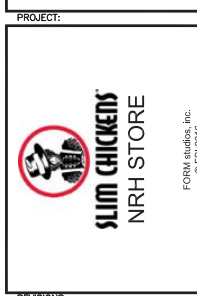
THESE DRAWINGS, AS INSTRUMENTS OF SERVICE, ARE THE EXCLUSIVE PROPERTY OF THE ARCHITECT, AND ARE NOT TO BE USED IN WHOLE OR PART WITHOUT HIS OR HER EXPRESS WRITTEN PERMISSION. UNAUTHORIZED USE OF THESE DRAWINGS SHALL SUBJECT THE USER TO LEGAL REMEDY BEING SOUGHT BY FORM STUDIOS INC.



CONTRACTOR NOTES:
1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING STRUCTURE PRIOR TO CONSTRUCTION. VERIFY ALL DIMENSIONS PRIOR TO LAYOUT AND BEFORE PROCEEDING WITH ANY CONSTRUCTION.
2. CONTRACTOR SHALL COORDINATE ALL TRADES AND REPORT ANY DISCREPANCIES TO FORM STUDIOS INC. IMMEDIATELY UPON DISCOVERY.
3. CONTRACTOR SHALL NOT SCALE DRAWINGS. CONTACT FORM STUDIOS INC. FOR DIMENSIONAL CONTACTS AND QUANTITIES.

THESE DOCUMENTS SHALL NOT BE USED FOR REGULATORY REVIEW. PERMITTING NOT CONSTRUCTION UNTIL A SIGNATURE AND DATE HAS BEEN AFFIXED TO THE SEAL. DO NOT SCALE DRAWINGS. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION.

SLIM CHICKENS
9005 NORTH TARRANT PARKWAY
NORTH RICHLAND HILLS, TX 76182
TIM KRAFTSON
(817) 797-7287

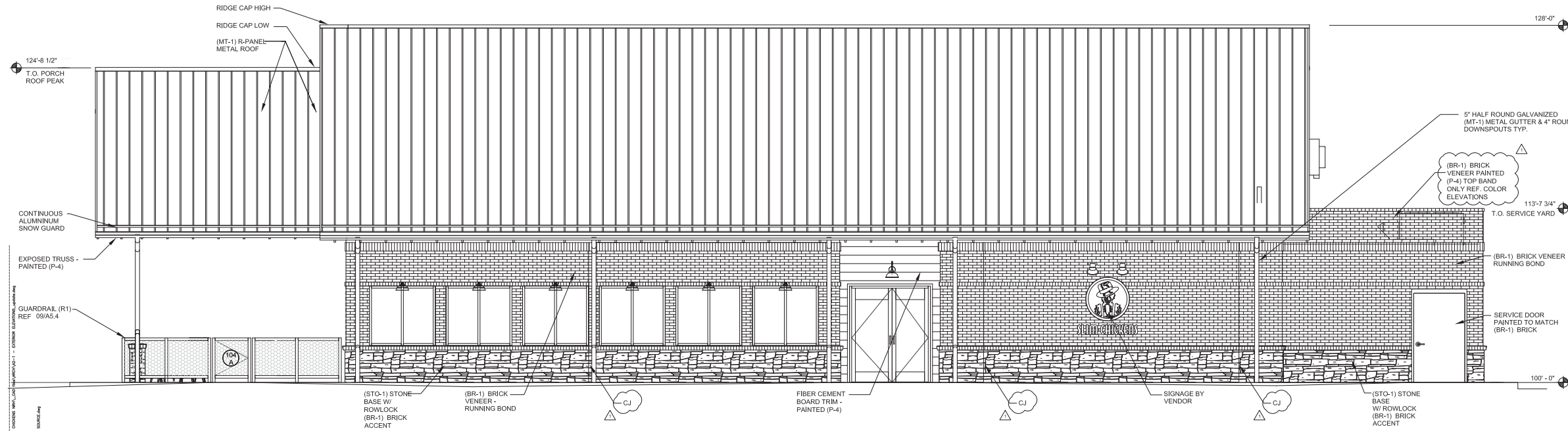


REVISIONS:
1. IFC / OWNER REVISIONS - 03/10/16

ISSUE FOR CONSTRUCTION 03/10/16

SHEET TITLE:
EXTERIOR ELEVATIONS

SHEET:
A2.1

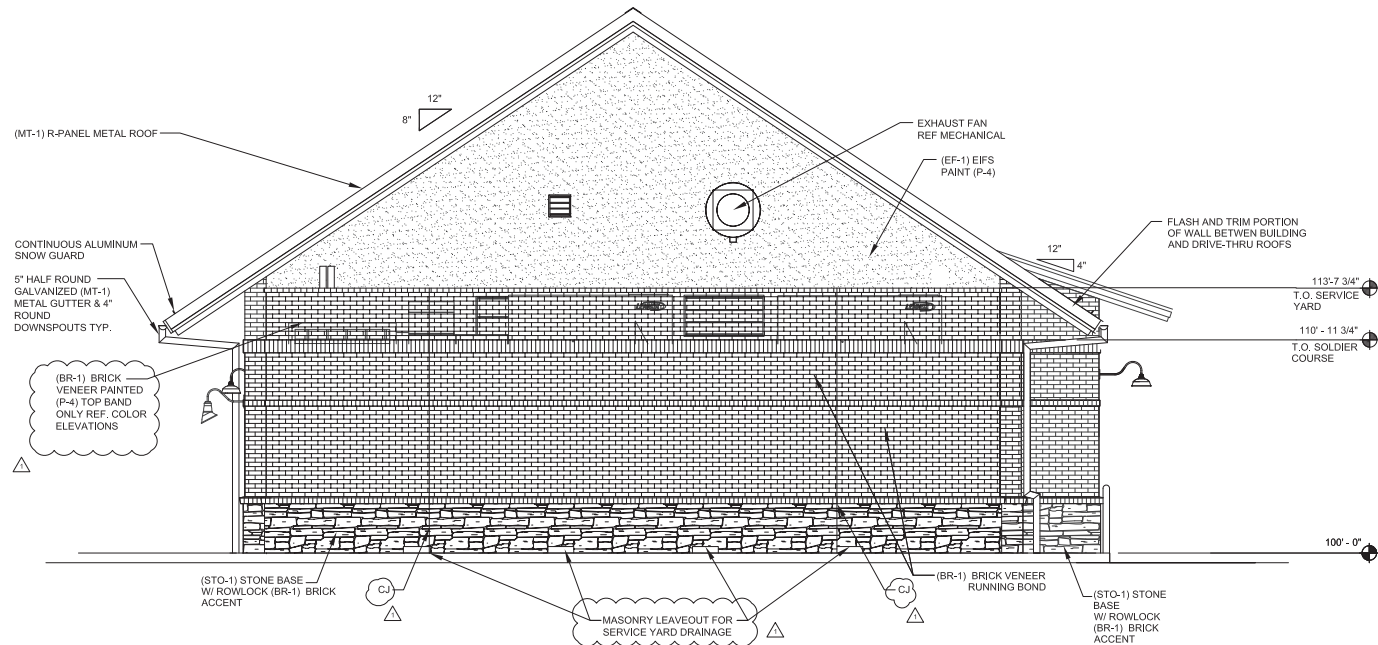


01 MAIN ENTRY ELEVATION
SCALE: 1/4"=1'-0"

MATERIAL PERCENTAGE CALCULATIONS	
TOTAL AREA:	836.71 FT ²
MASONRY GROUP 'A':	766.44 FT ² - 91.60%
ACCENT - HARDI PANEL:	39.21 FT ² - 4.69%
METAL DOOR:	31.06 FT ² - 3.71%

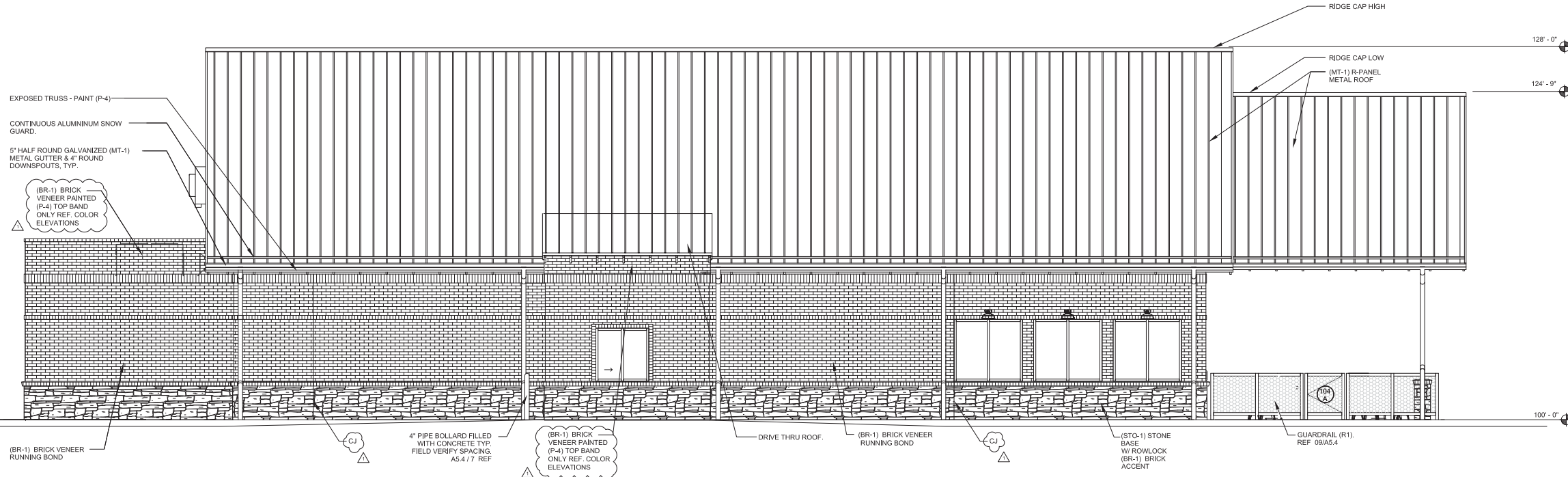
FORM STUDIOS INC. ARCHITECTS
1111 S. GARDNER ST., SUITE 100, FORT WORTH, TX 76102
817-425-5009 VOICE
817-425-0000 FAX
300 BURNETT ST., SUITE 120, FORT WORTH, TX 76102
WWW.FORMSTUDIOS.COM

EXHIBIT H - SLIM CHICKENS



MATERIAL PERCENTAGE CALCULATIONS	
TOTAL AREA:	841.94 FT ²
MASONRY GROUP 'A':	593.94 FT ² - 70.54%
MASONRY GROUP 'B':	248.00 FT ² - 29.46%

02 REAR ELEVATION
SCALE: 1/4"=1'-0"

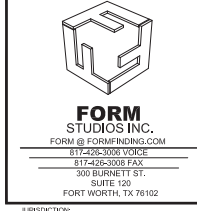


MATERIAL PERCENTAGE CALCULATIONS	
TOTAL AREA:	956.22 FT ²
MASONRY GROUP 'A':	956.22 FT ² - 100.00%

01 DRIVE-THRU ELEVATION
SCALE: 1/4"=1'-0"

MATERIAL & FINISH SCHEDULE

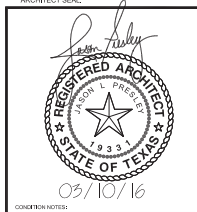
MATERIAL DESCRIPTION	FIN	MT
BR	BRICK	
EF5	EF5	
MTL	METAL PANEL	
PT	PAINT	
STN	STAIN	
STO	STONE	
(BR-1)	BRICK	
(BR-1)	PRODUCT: SALEM CREEK TUDOR COLOR: AS SPECIFIED SALES REP: Justin Stump justin@blackson(BR-1) BRICK.com MOBILE: (817) 823-5208	
(STO)	STONE	
(STO-1)	PRODUCT: SILVER MIST CHOPPED STONE MANUFACTURER: BLACKSON (BR-1) BRICK COLOR: 70/30 BLEND-SILVER MIST/OKLAHOMA STONE SALES REP: Justin Stump justin@blackson(BR-1) BRICK.com MOBILE: (817) 823-5208	
(MTL)	ROOF & GUTTER METAL	
(MTL-1)	PRODUCT: METAL AS SPECIFIED MANUFACTURER: MS METALS OR APPROVED EQUAL COLOR: ACRYLIC COATED GALVALUME	
(EF5)	(EF-1) EF5 OR CONTINUOUS INSULATION SYSTEM	
(EF-1)	PRODUCT: STO THERM CI CLASSIC OR APPROVED EQUAL MANUFACTURER: STO OR APPROVED EQUAL COLOR & FINISH: TO BE APPROVED BY FORM STUDIOS, INC.	
(PT)	PAINT	
(PT-4)	COLOR: SEE SHEET AS.2 INTERIOR FINISH SCHEDULE LOCATION: EXTERIOR HARDIE PANEL, UNDER SOFFIT AND AS NOTED	
(STN)	STAIN	
(ST-3)	COLOR: CLEAR BASE MANUFACTURER: WOODSCAPES LOCATION: EXTERIOR GATES AT TRASH ENCLOSURE	



JURISDICTION: THE TEXAS BOARD OF ARCHITECTURAL REGULATION, P.O. BOX 12337, AUSTIN, TX 78711-2337, P. O. BOX 15123, DALLAS, TX 75215-9800 HAS JURISDICTION OVER INDIVIDUALS LICENSED UNDER THE ARCHITECT'S REGISTRATION LAW, TEXAS CIVIL STATUTES, ARTICLE 249A.

THESE ARCHITECTURAL DRAWINGS HAVE BEEN PREPARED FOR ARCHITECTURAL DESIGN ONLY. CIVIL, STRUCTURAL, MECHANICAL, AND OTHER RELATED ENGINEERING DESIGNATED OR SPECIFICATIONS ARE THE RESPONSIBILITY OF THE RESPECTIVE ENGINEERS. COMPLIANCE OF THESE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL MEASUREMENTS SHALL BE VERIFIED BY THE CONTRACTOR DURING THE CONSTRUCTION PERIOD.

THESE DRAWINGS, AS INSTRUMENTS OF SERVICE, ARE THE EXCLUSIVE PROPERTY OF THE ARCHITECT, AND ARE NOT TO BE USED IN WHOLE OR PART WITHOUT HIS OR HER EXPRESS WRITTEN PERMISSION. UNAUTHORIZED USE OF THESE DRAWINGS SHALL SUBJECT THE USER TO LEGAL REMEDY BEING SOUGHT BY FORM STUDIOS, INC.



CONTRACTOR NOTES:
1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING CONDITIONS PRIOR TO CONSTRUCTION. NOTE ALL DIMENSIONS AND CONDITIONS AND NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO LAYOUT AND BEFORE PROCEEDING WITH ANY CONSTRUCTION.
2. CONTRACTOR SHALL COORDINATE ALL TRADES AND SUBMITTALS AND REPORT COMPLETION TO FORM STUDIOS, INC. PRIOR TO THE COMMENCEMENT OF ALL TRADES.
3. CONTRACTOR SHALL NOT SCALE DRAWINGS. CONTACT FORM STUDIOS, INC. FOR DIMENSIONAL CONTACTS AND QUANTITIES.

THESE DOCUMENTS SHALL NOT BE USED FOR REGULATORY REVIEW. PERMITTING NOT CONSTRUCTION UNTIL A SIGNATURE AND DATE HAS BEEN AFFIXED TO THE SEAL. DO NOT SCALE DRAWINGS. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION.

SLIM CHICKENS
9005 NORTH TARRANT PARKWAY
NORTH RICHLAND HILLS, TX 76182
TIM KRAFTSON
(817) 797-7287



REVISIONS:
1. IFC / OWNER REVISIONS - 03/10/16

ISSUE FOR CONSTRUCTION 03/10/16

SHEET TITLE:
EXTERIOR ELEVATIONS

SHEET:
A2.2

FORM STUDIOS, INC. ARCHITECTS
1100 WEST 11TH STREET, SUITE 100, FORT WORTH, TEXAS 76102
TEL: 817-425-5009 FAX: 817-425-5009
WWW.FORMSTUDIOS.COM
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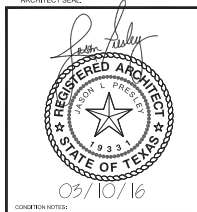
EXHIBIT H - SLIM CHICKENS

MATERIAL & FINISH SCHEDULE

MATERIAL	DESCRIPTION	(FIN. I. UN.)
BR	BRICK	
EFS	EFS	
MTL	METAL PANEL	
PT	PAINT	
STN	STAIN	
STO	STONE	
(BR-1)	BRICK	
BR-1	PRODUCT: SALEM CREEK TUDOR MANUFACTURER: BLACKSON (BR-1) BRICK COLOR: AS SPECIFIED SALES REP: Justin Sierra justin@blackson(BR-1) BRICK.com MOBILE: (817) 823-5208	
(STO)	STONE	
STO-1	PRODUCT: SILVER MIST CHOPPED STONE MANUFACTURER: BLACKSON (BR-1) BRICK COLOR: 70/30 BLEND-SILVER MIST/OKLAHOMA STONE SALES REP: Justin Sierra justin@blackson(BR-1) BRICK.com MOBILE: (817) 823-5208	
(MTL)	ROOF & GUTTER METAL	
MTL-1	PRODUCT: METAL AS SPECIFIED MANUFACTURER: MS METALS OR APPROVED EQUAL COLOR: ACRYLIC COATED GALVALUME	
(EFS)	(EFS-1) EFS OR CONTINUOUS INSULATION SYSTEM	
EFS-1	PRODUCT: STO THERM 6 CLASSIC OR APPROVED EQUAL MANUFACTURER: STO OR APPROVED EQUAL COLOR & FINISH: TO BE APPROVED BY FORM STUDIOS, INC.	
(PT)	PAINT	
PT-1	COLOR: SEE SHEET A5.2 FINISH SCHEDULE LOCATION: EXTERIOR TRIM AT HARVE PANEL, UNDER SOFFIT AND AS NOTED	
PT-4	COLOR: SEE SHEET A5.2 FINISH SCHEDULE LOCATION: EXTERIOR HARVE PANEL, UNDER SOFFIT AND AS NOTED	
PT-6	COLOR: SEE SHEET A5.2 FINISH SCHEDULE LOCATION: BOLLARDS	
(SW)	SYNTHETIC WOOD	
SW-1	PRODUCT: EVERGRAN EMISION MANUFACTURER: TAMKO OR APPROVED EQUAL COLOR: SPICED TEAK LOCATION: DUMPSTER GATE	



JURISDICTION
THE TEXAS BOARD OF ARCHITECTURAL REGULATION, P.O. BOX 12337, AUSTIN, TX 78711-2337
P. O. N. E. - (5 1 2) 3 9 5 - 9 9 0 0
HAS JURISDICTION OVER INDIVIDUALS LICENSED UNDER THE ARCHITECT'S REGISTRATION LAW, TEXAS CIVIL STATUTES, ARTICLE 249A
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CONTRACTOR NOTES:
1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS OF EXISTING CONDITIONS, CONDITIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED. VERIFY ALL DIMENSIONS PRIOR TO LAYOUT AND BEFORE COMMENCEMENT OF ANY CONSTRUCTION.
2. CONTRACTOR SHALL COORDINATE ALL TRADES AND REPORTS AND REPORT COMPLETION TO FORM STUDIOS, INC. PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. CONTRACTOR SHALL NOT SCALE DRAWINGS. CONTACT FORM STUDIOS, INC. FOR DIMENSIONAL CONTACTS AND CLARIFICATIONS.

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SLIM CHICKENS
9005 NORTH TARRANT PARKWAY
NORTH RICHLAND HILLS, TX 76182
TIM KRAFTSON
(817) 797-7287

PROJECT:

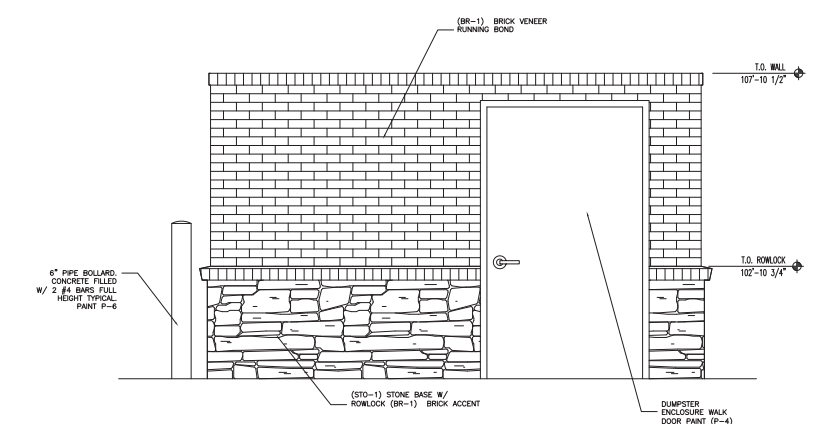


REVISIONS:
1. IFC / OWNER REVISIONS - 03/10/16

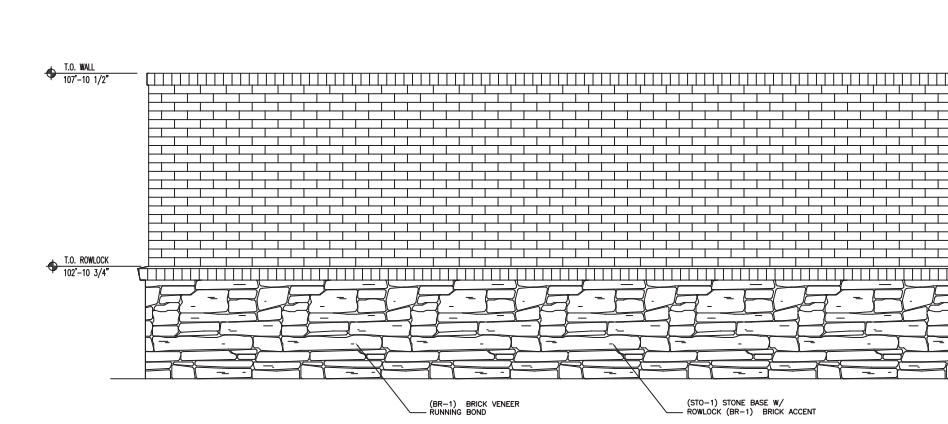
ISSUE FOR CONSTRUCTION 03/10/16

SHEET TITLE:
DUMPSTER ENCLOSURE

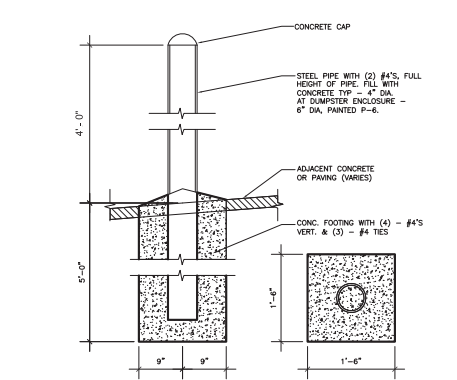
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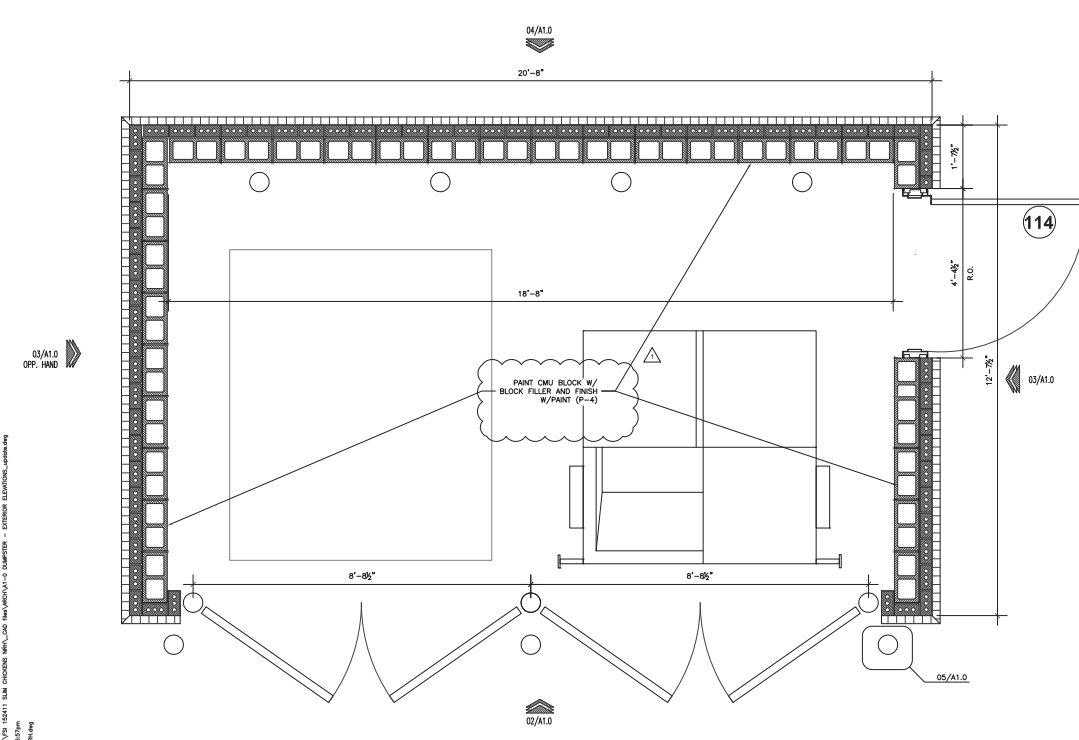
03 DUMPSTER ENCLOSURE SIDE ELEVATION
SCALE: 1/2"=1'-0"



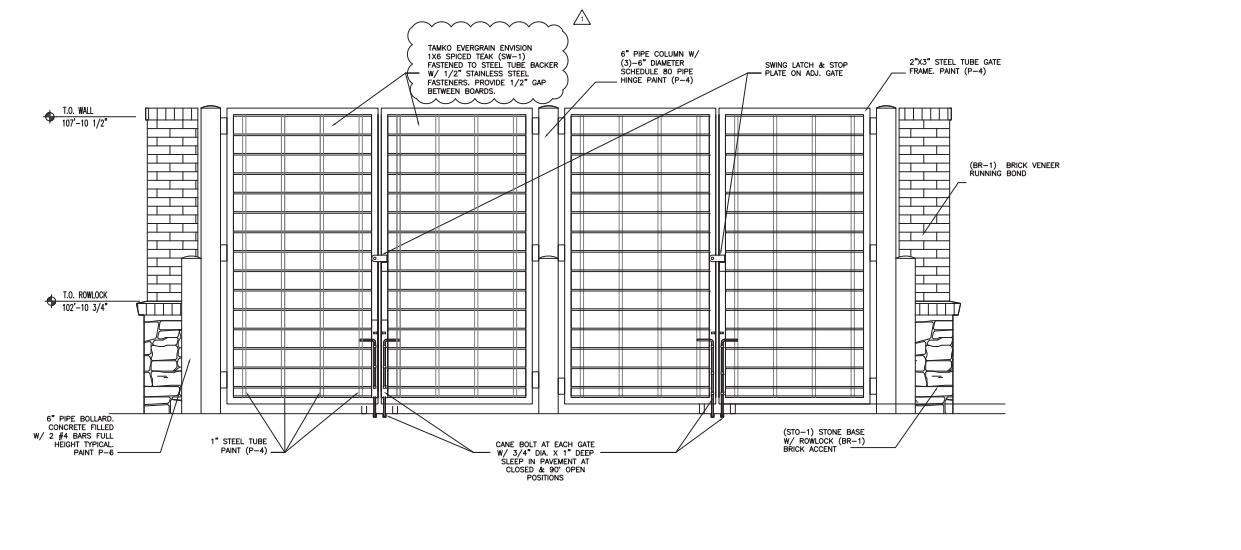
04 DUMPSTER ENCLOSURE REAR ELEVATION
SCALE: 1/2"=1'-0"



05 BOLLARD DETAIL
SCALE: 3/4"=1'-0"



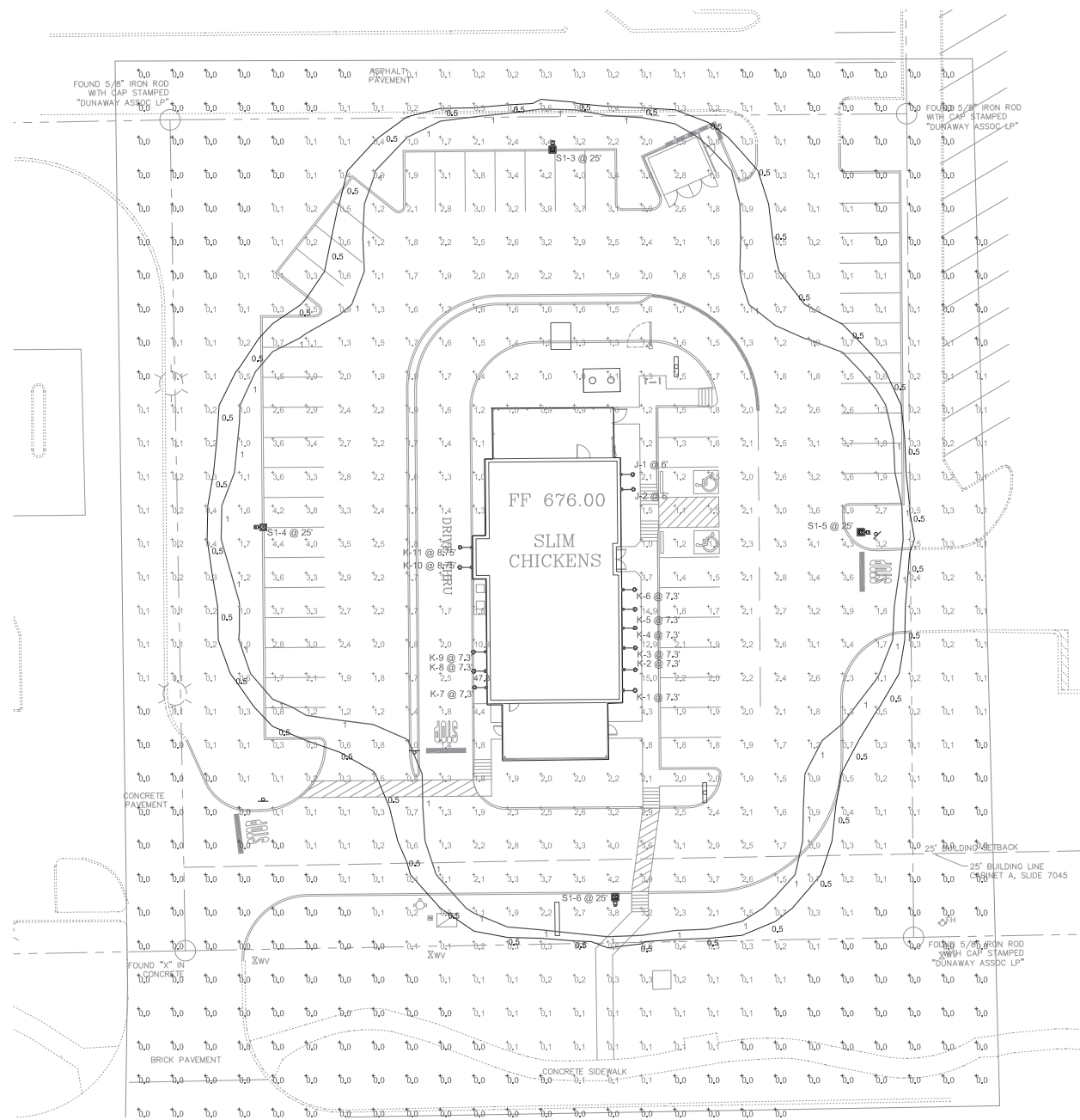
01 DUMPSTER ENCLOSURE PLAN
SCALE: 1/2"=1'-0"



02 DUMPSTER ENCLOSURE GATE ELEVATION
SCALE: 1/2"=1'-0"

DATE PLOTTED: 03/10/16 10:00 AM
 PLOT FILE: C:\Users\jsterra\OneDrive\Documents\SLIM CHICKENS\11411 SLIM CHICKENS NRH STORE\11411-01 DUMPSTER - EXTERIOR ELEVATIONS.dwg
 PLOT SCALE: 1/2"=1'-0"
 PLOT SHEET: A1.0
 PLOT BY: JUSTIN SIERRA
 PLOT DATE: 03/10/16 10:00 AM
 COPYRIGHT © FORM STUDIOS, INC. 2016

EXHIBIT H - SLIM CHICKENS



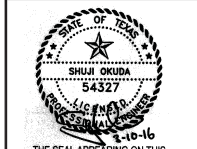
1 SITE PHOTOMETRIC
1"=30'

Statistics						
Description	Symb	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	1.1 fc	47.8 fc	0.0 fc	N/A	N/A

Luminaire Schedule											
Symbol	Label	Qty	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Fluorname	Lumens Per Lamp	Light Loss Factor	Wattage
	S1	4	SATON, MCGRAW-EDISON (FORMER COOPER LIGHTING)	GLEON4E-04LEDE15L4	GALLEN LED AREA AND ROADWAY LUMINAIRE (4) 70 CH 400K, 1A LIGHTSQUARES WITH 16 LEBS EACH AND TYPE IV SPILL LIGHT ELMINATOR OPTICS ABSOLUTE PHOTOMETRY B) BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN GONIPHOTOMETER WITH TEST DISTANCE OF 25.75 FEET	LED cluster	64	GLEON4E-04LEDE15L4.lvs	307.5793	1	213
	K	11	TMS Lighting		IRON WALL WASH LIGHT	LED	1	71x20W LED(1).lvs	1003.9	1	20
	J	2	TMS Lighting		IRON WALL WASH LIGHT	LED	1	71x20W LED(1).lvs	1003.9	1	20



THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS... THESE ARCHITECTURAL DRAWINGS HAVE BEEN PREPARED FOR ARCHITECTURAL DESIGN ONLY... THESE DRAWINGS, AS INSTRUMENTS OF SERVICE ARE THE EXCLUSIVE PROPERTY OF THE ARCHITECT...



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY SHUJI OKUDA, P.E. 54327 ON MARCH 10, 2016

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF CONSTRUCTION UNDER THE AUTHORITY OF SHUJI OKUDA, P.E. #54327 ON MARCH 10, 2016

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE SITE PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE SITE PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE SITE PRIOR TO CONSTRUCTION.

THESE DOCUMENTS SHALL NOT BE USED FOR REGULATORY REVIEW... THESE DOCUMENTS SHALL NOT BE USED FOR REGULATORY REVIEW...

SLIM CHICKENS
9005 NORTH TARRANT PARKWAY
NORTH RICHLAND HILLS, TX 76182
TIM KRAFTSON
(817) 797-7287



ISSUE FOR CONSTRUCTION DATED 03/01/16
ISSUE FOR PERMIT & CONSTRUCTION 1/28/16

SHEET TITLE:
SITE PHOTOMETRIC PLAN

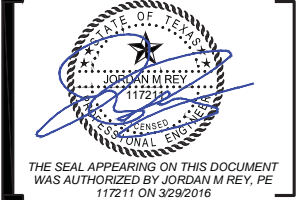
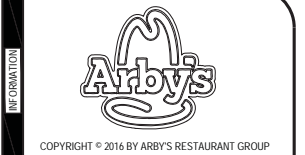
SHEET:
E3.0



EXHIBIT I - ARBY'S



ARTEC LLC
6800 WEISKOPF AVE
SUITE 150
MCKINNEY, TEXAS 75070
TBPE ENGINEERING FIRM F-16272
TBAE ARCHITECTURAL FIRM BR 1707
www.theartecedge.com
214.721.0732



ARBY'S RESTAURANT GROUP
LOT 2, BLOCK 1
WAL-MART ADDITION KNOWN AS
8245 PRECINCT LINE ROAD
NORTH RICHLAND HILLS, TEXAS 76182

TURBO RESTAURANTS
3318 FOREST LANE, SUITE 200
DALLAS, TEXAS 75234

PROJECT ORIENTATION

PROJECT DATE	16-11-10
ARTEC PROJECT NO.	16-1110
CLIENT PROJECT NO.	
FILE NO.	

SHEET REVISIONS	MARK	DATE	DESCRIPTION

SITE AND DIMENSIONAL CONTROL PLAN

DRAWN BY: RGM
CHECKED BY: JR
MANAGER: JR

CASE ZC 2016-02
DATE: 3/29/2016

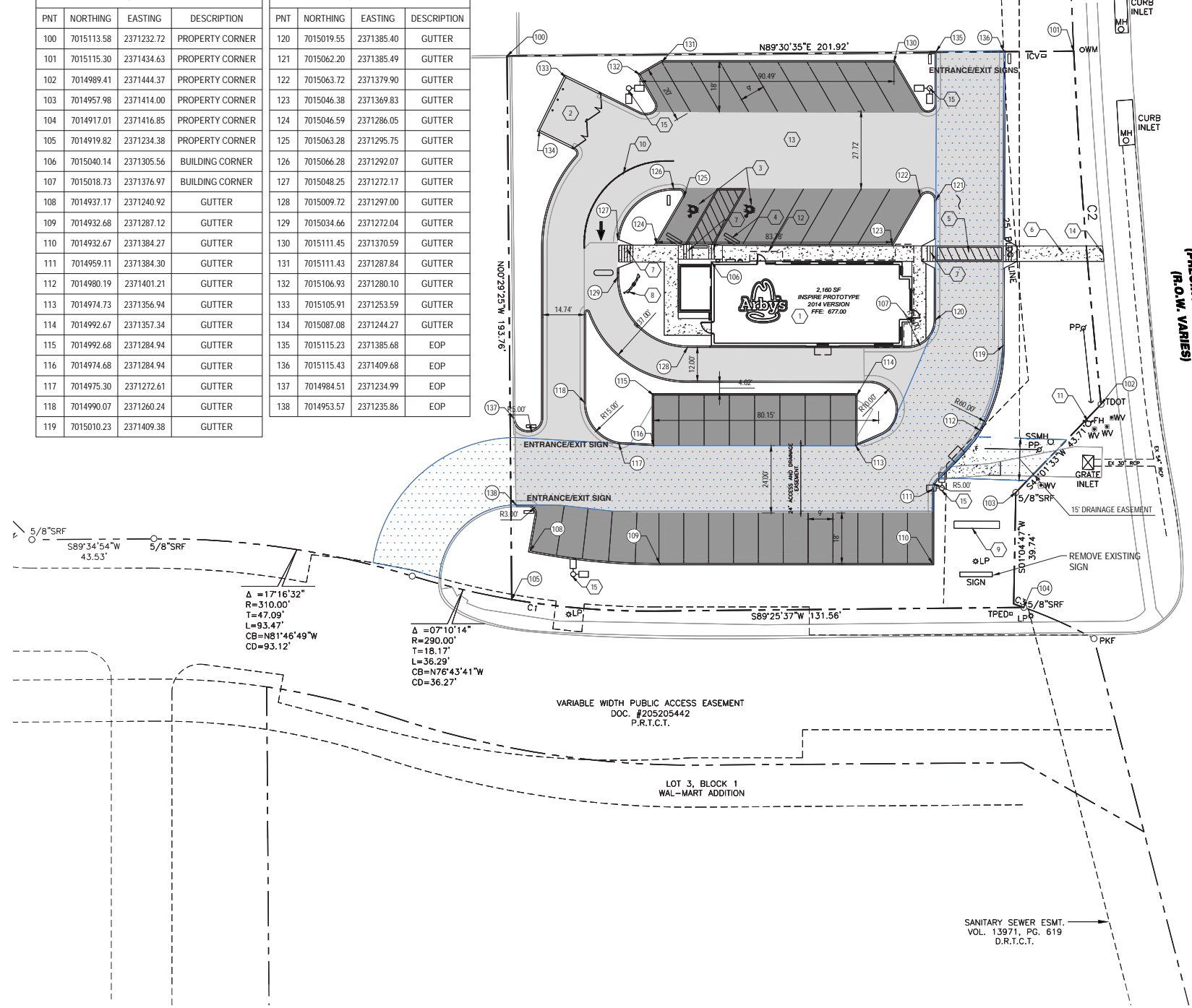
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POINT TABLE				POINT TABLE			
PNT	NORTHING	EASTING	DESCRIPTION	PNT	NORTHING	EASTING	DESCRIPTION
100	7015113.58	2371232.72	PROPERTY CORNER	120	7015019.55	2371385.40	GUTTER
101	7015115.30	2371434.63	PROPERTY CORNER	121	7015062.20	2371385.49	GUTTER
102	7014989.41	2371444.37	PROPERTY CORNER	122	7015063.72	2371379.90	GUTTER
103	7014957.98	2371414.00	PROPERTY CORNER	123	7015046.38	2371369.83	GUTTER
104	7014917.01	2371416.85	PROPERTY CORNER	124	7015046.59	2371286.05	GUTTER
105	7014919.82	2371234.38	PROPERTY CORNER	125	7015063.28	2371295.75	GUTTER
106	7015040.14	2371305.56	BUILDING CORNER	126	7015066.28	2371292.07	GUTTER
107	7015018.73	2371376.97	BUILDING CORNER	127	7015048.25	2371272.17	GUTTER
108	7014937.17	2371240.92	GUTTER	128	7015009.72	2371297.00	GUTTER
109	7014932.68	2371287.12	GUTTER	129	7015034.66	2371272.04	GUTTER
110	7014932.67	2371384.27	GUTTER	130	7015111.45	2371370.59	GUTTER
111	7014959.11	2371384.30	GUTTER	131	7015111.43	2371287.84	GUTTER
112	7014980.19	2371401.21	GUTTER	132	7015106.93	2371280.10	GUTTER
113	7014974.73	2371356.94	GUTTER	133	7015105.91	2371253.59	GUTTER
114	7014992.67	2371357.34	GUTTER	134	7015087.08	2371244.27	GUTTER
115	7014992.68	2371284.94	GUTTER	135	7015115.23	2371385.68	EOP
116	7014974.68	2371284.94	GUTTER	136	7015115.43	2371409.68	EOP
117	7014975.30	2371272.61	GUTTER	137	7014984.51	2371234.99	EOP
118	7014990.07	2371260.24	GUTTER	138	7014953.57	2371235.86	EOP
119	7015010.23	2371409.38	GUTTER				

REMAINDER
LOT 2, BLOCK 1
WAL-MART ADDITION
3.010 ACRES

SANITARY SEWER ESMT.
VOL. 13971, PG. 622
D.R.T.C.T.



- KEYED NOTES:**
- PROPOSED BUILDING - 2,160 SF BUILDING.
 - DUMPSTER WITH ENCLOSURE WITH 7" THICK CONC. APRON. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
 - HANDICAP ACCESSIBLE PARKING SPACE (TYP)-2 PLACES.
 - ADA POLE SIGNAGE & WHEELSTOPS (TYP)-2 PLACES.
 - ADA-COMPLIANT WALKWAY.
 - PROPOSED 5' WIDE SIDEWALKS.
 - ADA-COMPLIANT BARRIER-FREE RAMP.
 - ORDER CONFIRMATION BOARD AND MENU BOARDS. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION.
 - PROPOSED SIGNAGE LOCATION. ALL SIGNAGE TO BE APPROVED AND INSTALLED UNDER A SEPARATE SIGN PERMIT.
 - 4-INCH SOLID YELLOW STRIPE TO DRIVE-THRU LANE DESIGNATION.
 - EXISTING FIRE HYDRANT.
 - AWNING (TYPICAL).
 - CONCRETE PAVEMENT THICKNESS PER SITE DETAILS.
 - CONNECT TO EXISTING SIDEWALK.
 - LIGHT STANDARD.

- GENERAL NOTES:**
- ALL PAVEMENT DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE. ALL BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF WALL UNLESS INDICATED OTHERWISE. SEE ARCHITECTURAL SHEETS FOR EXACT DIMENSIONS OF BUILDING, AND DETAILS AROUND THE BUILDING.
 - ALL CURVE RADII ARE 3' UNLESS NOTED OTHERWISE.
 - SEE ELECTRICAL PLANS FOR SITE LIGHTING DESIGN AND DETAILS.

F.M. 3029
(PRECINCT LINE ROAD)
(R.O.W. VARIES)

SITE DATA SUMMARY	
EXISTING ZONING	PD-36
LAND USE DESIGNATION	RETAIL
LOT AREA	0.90 AC
BUILDING AREA	2,160 SQ. FT.
LOT COVERAGE	5.5%
AREA OF IMPERVIOUS COVERAGE	71.6%
NUMBER OF PARKING SPACES PROVIDED	40
BUILDING HEIGHT	19'-3"
LAND USE	RESTAURANT, QUICK SERVE

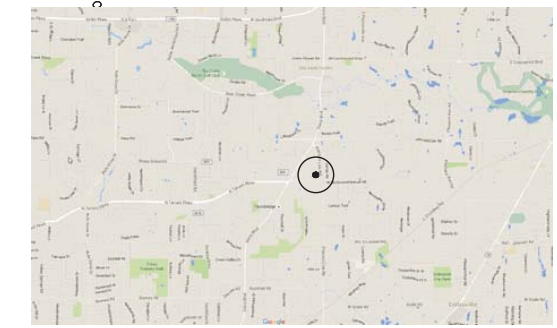
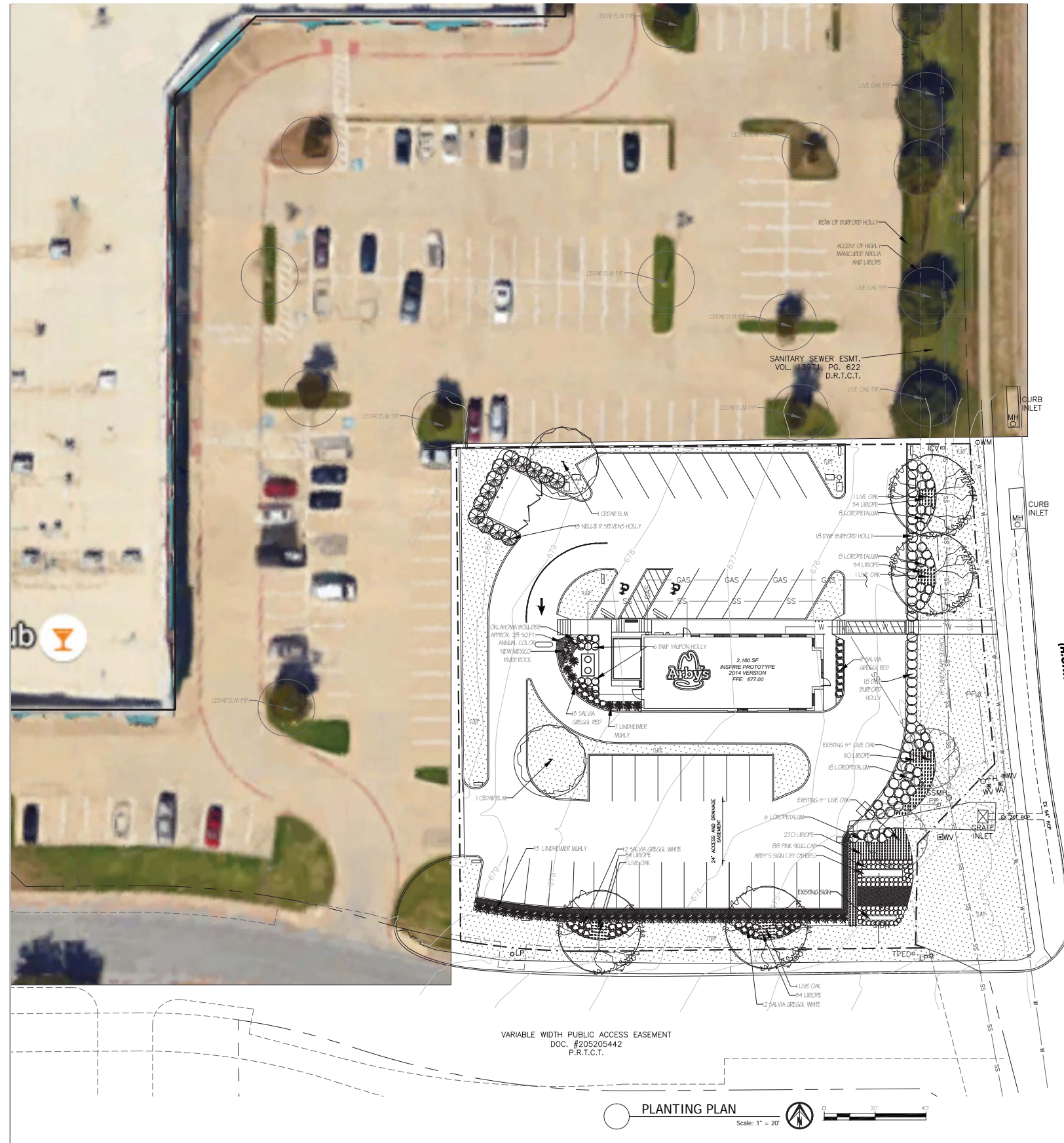
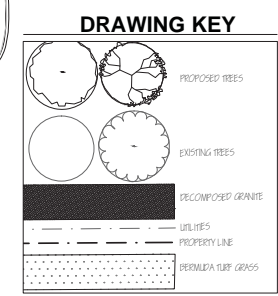


EXHIBIT I - ARBY'S



F.M. 3029
(PRECINCT LINE ROAD)
(R.O.W. VARIES)



Common Name	Botanical Name	Plant Type	Fl. Native	Size	Qty	Notes
Annual Color	various per season	Annual		28 sq ft		
Cedar Elm	<i>Ulmus crassifolia</i>	Tree	Yes	65 gal	2	3" caliper min.
Dwarf Barford Holly	<i>Ilex cornuta 'Barfordii nana'</i>	Shrub	No	5 gal	36	30" tall, 3" o.c.
Dwarf Yaupon Holly	<i>Ilex vomitoria 'Nana'</i>	Shrub	Yes	5 gal	6	
Lindheimer Mahly / Big Mahly	<i>Malobegria lindheimeri</i>	Grass	Yes	3 gal	50	
Liriope, Big Blue	<i>Liriope muscari 'Big Blue'</i>	Groundcover	No	4" pots	515	
Live Oak	<i>Quercus virginiana</i>	Tree	Yes	65 gal	4	3" caliper min.
Lopetatum Purple Pixie'	<i>Lopetatum chinensis 'Purple Pixie'</i>	Shrub	No	5 gal	40	30" tall, 3" o.c.
Nellie R. Stevens Holly	<i>Ilex x attenuata 'Nellie R. Stevens'</i>	Shrub	No	7 gal	13	3' tall at planting
Pink Skullcap	<i>Scutellaria sulfureoecens</i>	Perennial	Mexico	1 gal	88	
Salvia greggii 'white'	<i>Salvia greggii</i>	Perennial	Yes	3 gal	24	
Salvia greggii 'red'	<i>Salvia greggii</i>	Perennial	Yes	3 gal	22	
Turf	Bermuda grass and					12,684 sq.ft.
Hardscape						
Boulder	Moss Boulders			0.2 ton		
River Rock	New Mexico 2" - 3"		3" depth	26 sq. ft.		

PLANT LIST

Jurisdiction of Project

REGULATORY AUTHORITIES:

CITY OF NORTH RICHLAND HILLS
7301 NE LOOP 820
NORTH RICHLAND HILLS, TX 76180
817-427-6000

TEXAS DEPARTMENT OF LICENSING AND REGULATION
ELIMINATION OF ARCHITECTURAL BARRIERS
E.O. THOMPSON STATE OFFICE BUILDING
920 COLORADO
AUSTIN, TEXAS 78701
(512) 463-3211
(512) 475-2886 (FAX)

Landscaping Requirements

NORTH RICHLAND HILLS CODE OF ORDINANCES
CHAPTER 114 VEGETATION

LANDSCAPE AREA PERCENTAGE
A. NOT LESS THAN 15% OF LOT AREA LANDSCAPE (LOT: 39,291 SF)
REQUIRED: 5,894 SF
PROVIDED: 12,618 SF (31 %)

LANDSCAPE SETBACK
A. MINIMUM WIDTH OF 15' ADJACENT TO ALL PUBLIC STREET R.O.W.
REQUIRED: 15' WIDTH
PROVIDED: 15' WIDTH

B. 1 TREE OR 2 ORNAMENTAL PER 50 LF OF STREET FRONTAGE (210 LIN FT.)
REQUIRED: 4 TREES OR 8 ORNAMENTAL TREES OR COMBINATION
PROVIDED: 2 CANOPY TREES + 2 EXISTING CANOPY TREES

C. 10 SHRUBS PER 50 LF OF STREET FRONTAGE (210 LIN. FT)
REQUIRED: 42 SHRUBS
PROVIDED: 76 SHRUBS

PARKING SCREENING
A. 1 LARGE TREE PER 20 PARKING SPACES (40 SPACES) WITH NO PARKING SPACE LOCATED MORE THAN 100' FROM A LARGE TREE
REQUIRED: 2 TREES
PROVIDED: 2 TREES

B. ALL SHRUBBERY FLOWERING PLANTS, AND TREES PLANTED IN PARKING LOT SPACES OR ADJACENT TO PARKING LOTS SHALL BE SETBACK 7' FROM ANY CURB WHERE VEHICLES MAY FACE.

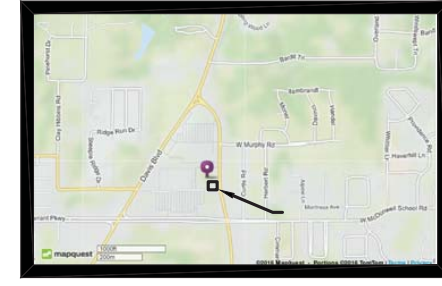
TREE PRESERVATION
2 EXISTING 5" LIVE OAK TO REMAIN

LANDSCAPE DOES NOT OBSTRUCT TRAFFIC VISIBILITY.

Irrigation Requirements

UNDERGROUND AUTOMATIC SPRINKLING SYSTEM PROVIDED.
SYSTEM DESIGNED AND INSTALLED ACCORDING TO TCEQ LAWS AND REGULATIONS PROVIDING FOR 100% COVERAGE ON ALL LANDSCAPE AND TURF. THE SYSTEM SHALL INCLUDE A FREEZE-RAIN SENSOR.

Site Location



Owner & Professionals Information

OWNER
TURBO RESTAURANTS
3318 FOREST LANE, #200, DALLAS, TX 75234
214-551-0921

ENGINEER
ARTIC LLC
6800 WEISKOPF AVE, SUITE 150,
MCKINNEY, TEXAS 75070
TRIBE ENGINEERING FIRM F-16272972-731-2930

LANDSCAPE ARCHITECT
FELDMAN DESIGN STUDIOS
P.O. BOX 82346
RICHARDSON, TEXAS 75083
ATTN: CAROL FELDMAN, 972-980-1730

**ZONING CASE ZC 2016-02
LANDSCAPE PLANTING PLAN**

NO. ITEM DESCRIPTION	1. SITE PLAN SUBMITTAL	DATE: 2.4.16
	2. REVISED PER COMMENTS	3.29.16
3.		
4.		
5.		
6.		
7.		

FELDMAN DESIGN STUDIOS
P.O. Box 852246, Richardson, Texas 75085
Phone: 972.980.1730 Fax: 972.980.1740
info@feldmandesign.com

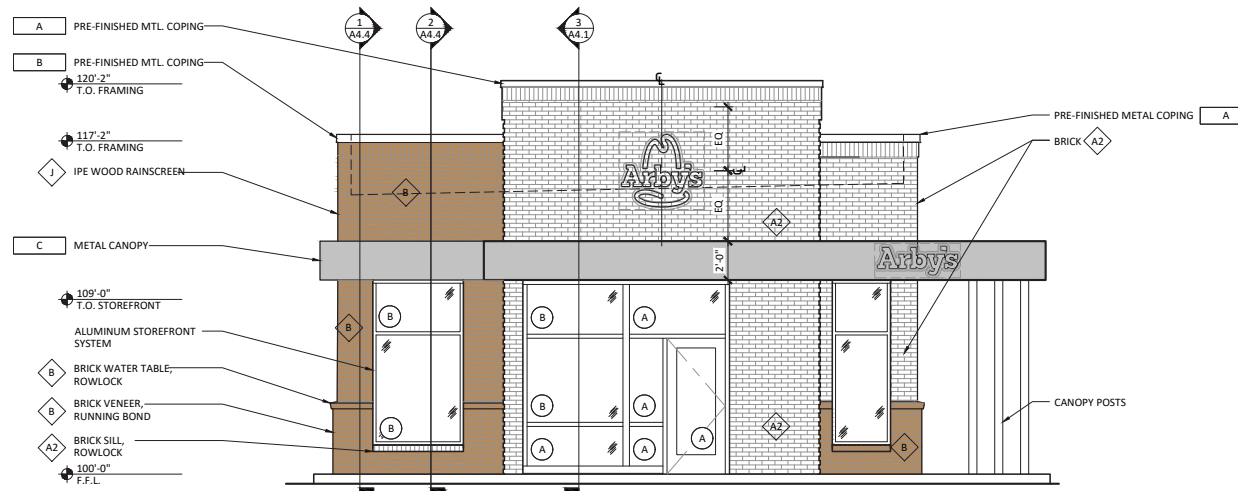
These drawings have been prepared under the supervision of Carol Feldman, Registered Landscape Architect #20245, Licensed Irrigator LI #20245

**LANDSCAPE PLAN
ARBY'S RESTAURANT
8245 PRECINCT LINE ROAD
NORTH RICHLAND HILLS, TEXAS**

SHEET NO. **L1.01**

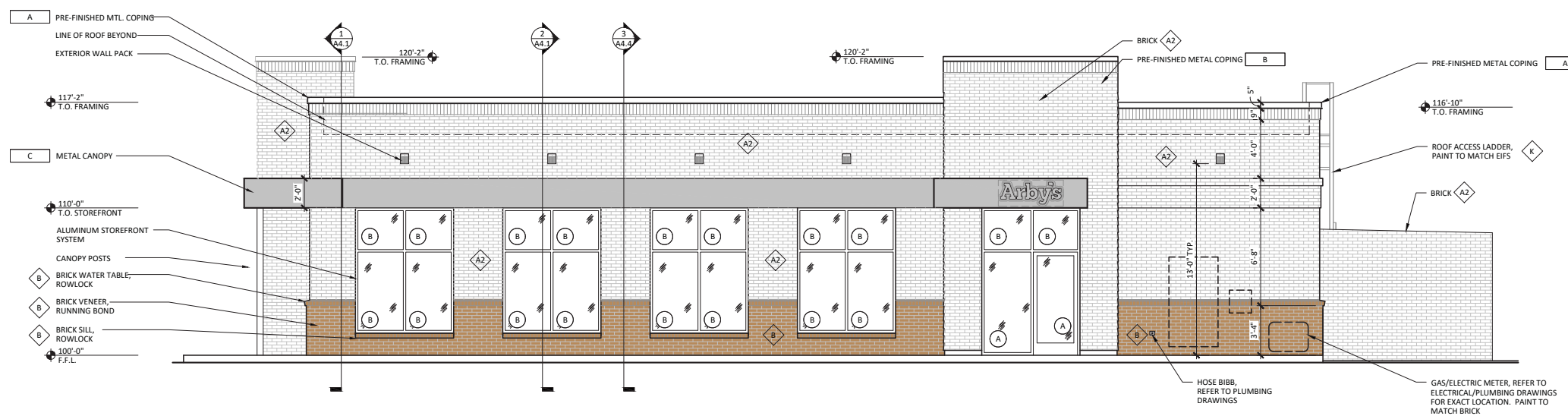
EXHIBIT I - ARBY'S

MASONRY GROUP A	BRICK	87%
ACCENT	METAL	13%



1 FRONT ELEVATION
A2.1 1/4" = 1'-0"

MASONRY GROUP A	BRICK	90%
ACCENT	METAL	10%



2 SIDE ELEVATION
A2.1 1/4" = 1'-0"

FINISH SCHEDULE			
MARK	MANUFACTURER	DESCRIPTION	NOTES
GLASS TYPES			
(A)	---	1" CLEAR TEMPERED INSULATED GLASS UNIT	LOW "E"
(B)	---	1" CLEAR INSULATED GLASS UNIT	LOW "E"
(C)	---	1/4" CLEAR TEMPERED SAFETY GLASS	IN DRIVE THRU WINDOW UNIT
FINISHES			
(A1)	DRYVIT	#310 CHINA WHITE SANDBLAST TEXTURE	EIFS WALL SYSTEM
(A2)	COUNTY MATERIALS	HERITAGE COLLECTION WHITE NF	TEXTURE: SMOOTH GROUT: LATICRETE 90 LIGHT PEWTER
(B)	COUNTY MATERIALS	HERITAGE COLLECTION SABLE NF	TEXTURE: SMOOTH GROUT: LATICRETE 43 CHOC. TRUFFLE
(C)	NOT USED	---	---
(D)	SHERWIN WILLIAMS	PRIMER: LOXON ACRYLIC MASONRY PRIMER, A-24-300 FINISH: DTM ACRYLIC GLOSS, B66R38	TINT PRIMER TO SW P2 USE AT LEAST (2) TWO COATS OF FINISH
(E)	NOT USED	---	---
(F)	SHERWIN WILLIAMS	#SW 7024 FUNCTIONAL GRAY	SATIN FINISH
(G)	NOT USED	---	---
(H)	JAMES HARDIE	ARTISAN LAP SIDING - SMOOTH IRON GRAY	5/8" THICK 7 1/4" WIDTH (6" EXPOSURE)
(I)	IFE WOOD RAINSCREEN	---	PROVIDE UV SEALER
(K)	SHERWIN WILLIAMS	#SW 2123 WHITE	SATIN FINISH
METALS			
(A)	EXCEPTIONAL METALS/ DURO-LAST	TWO-PIECE SNAP-ON METAL COPING REGAL WHITE/ DURO-LAST #SR70/TE87	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA3110
(B)	EXCEPTIONAL METALS/ DURO-LAST	TWO-PIECE SNAP-ON METAL COPING DARK BRONZE/ DURO-LAST #SR70/TE87	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA3110
(C)	PRE-FABRICATED AWNING	PRIMER: BOND-PLX WATERBASED ACRYLIC COATING, B71-200 FINISH: DTM ACRYLIC GLOSS, B66R38	TINT PRIMER TO SW P2 USE AT LEAST (2) TWO COATS OF FINISH
<ol style="list-style-type: none"> PAINT ALL EXPOSED METERS, SERVICE ENTRANCES, GAS PIPE, ROOF ACCESS LADDER, ETC. TO MATCH ADJACENT EXTERIOR WALL SURFACE. PROVIDE TEMPORARY MASKING OF EXPOSED STAINLESS STEEL DURING ACID WASHING OF MASONRY. PROVIDE SOLID MASONRY UNITS AT THE ENDS OF JAMBS, SILLS, ETC. TO HELP PREVENT EFFLORESCENCE ALL MASONRY UNITS ARE TO BE MANUFACTURED WITH INTEGRAL WATER REPELLANT. WATER REPELLANT ADMIXTURE IS TO BE MIXED IN AND PRE-WASHED SAND IS TO BE USED IN ALL MORTAR MIXES. MAKE SURE THAT WALL WEEPS AND FLASHING ARE INSTALLED CORRECTLY. DO NOT BLOCK WEEPS. REFER TO SPECIFICATIONS ON SHEET SP-2. 			

ARTEC LLC
6800 WEISKOPF AVE
SUITE 150
MCKINNEY, TEXAS 75070
TBPE ENGINEERING FIRM F-16272
TBAE ARCHITECTURAL FIRM BR 1707
www.theartecedge.com
214.721.0732

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ARBY'S RESTAURANT GROUP
LOT 2, BLOCK 1
WAL-MART ADDITION KNOWN AS
8245 PRECINCT LINE ROAD
NORTH RICHLAND HILLS, TEXAS 76182

TURBO RESTAURANTS
3318 FOREST LANE, SUITE 200
DALLAS, TEXAS 75234

PROJECT ORIENTATION

EXTERIOR ELEVATIONS

DRAWN BY: RGM CHECKED BY: JR MANAGER: JR

CASE ZC 2016-02

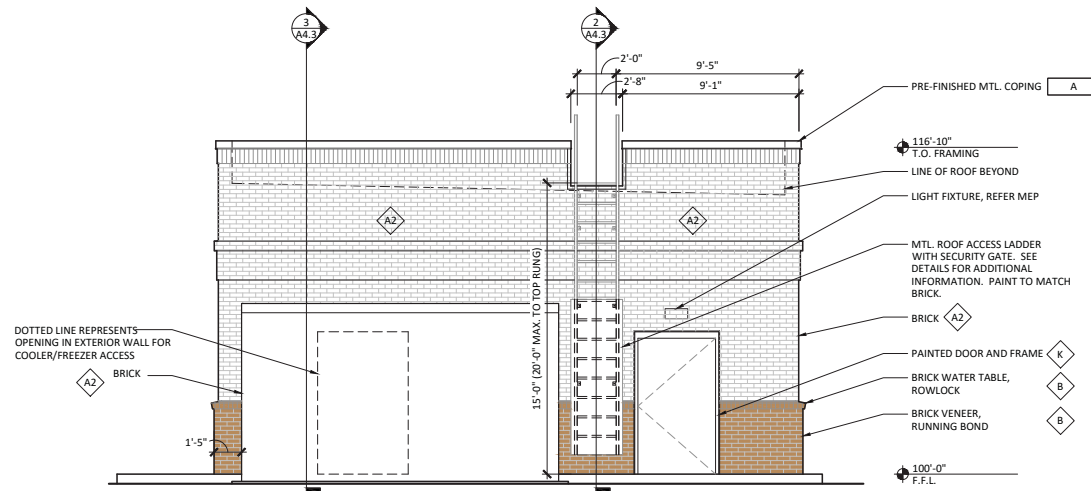
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EXHIBIT I - ARBY'S

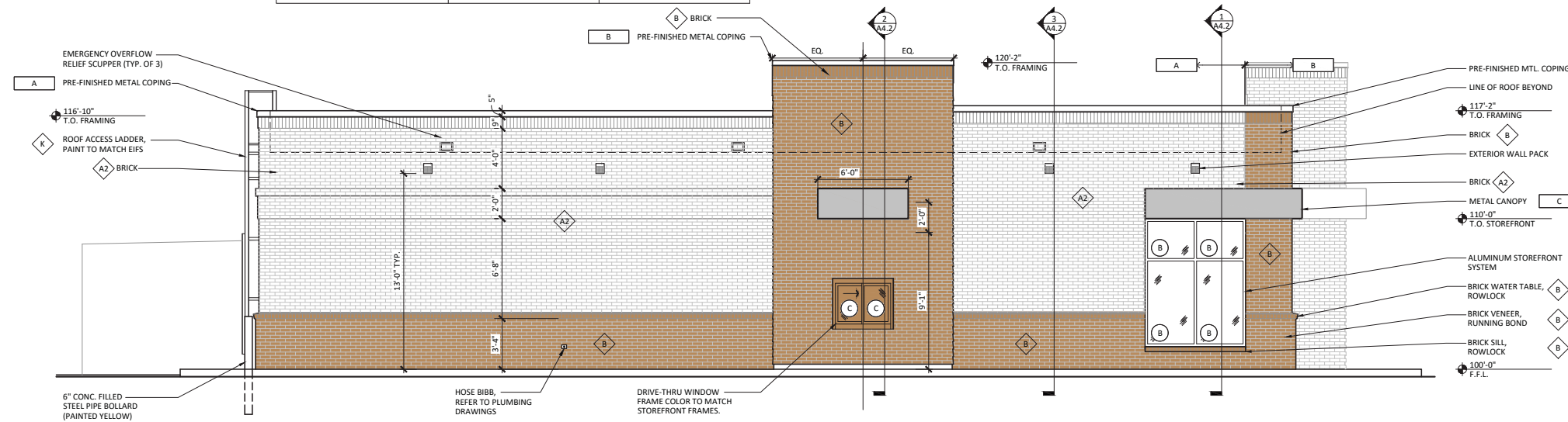
MASONRY GROUP A	BRICK	100%
-----------------	-------	------



1 REAR ELEVATION
1/4" = 1'-0"

FINISH SCHEDULE			
MARK	MANUFACTURER	DESCRIPTION	NOTES
GLASS TYPES			
A	---	1" CLEAR TEMPERED INSULATED GLASS UNIT	LOW "E"
B	---	1" CLEAR INSULATED GLASS UNIT	LOW "E"
C	---	1/4" CLEAR TEMPERED SAFETY GLASS	IN DRIVE THRU WINDOW UNIT
FINISHES			
A1	DRYVIT	#310 CHINA WHITE SANDBLAST TEXTURE	EIFS WALL SYSTEM
A2	COUNTY MATERIALS	HERITAGE COLLECTION WHITE NF	TEXTURE: SMOOTH GROUT: LATICRETE 90 LIGHT PEWTER
B	COUNTY MATERIALS	HERITAGE COLLECTION SABLE NF	TEXTURE: SMOOTH GROUT: LATICRETE 43 CHOC. TRUFFLE
C	NOT USED	---	---
D	SHERWIN WILLIAMS	PRIMER: LOXON ACRYLIC MASONRY PRIMER, A-24-300 FINISH: DTM ACRYLIC GLOSS, B66R38	TINT PRIMER TO SW P2 USE AT LEAST (2) TWO COATS OF FINISH
E	NOT USED	---	---
F	SHERWIN WILLIAMS	#SW 7024 FUNCTIONAL GRAY	SATIN FINISH
G	NOT USED	---	---
H	JAMES HARDIE	ARTISAN LAP SIDING - SMOOTH IRON GRAY	5/8" THICK 7 1/4" WIDTH (6" EXPOSURE)
J	IPE WOOD RAINSCREEN	---	PROVIDE UV SEALER
K	SHERWIN WILLIAMS	#SW 2123 WHITE	SATIN FINISH
METALS			
A	EXCEPTIONAL METALS/ DURO-LAST	TWO-PIECE SNAP-ON METAL COPING REGAL WHITE/ DURO-LAST #SR70/TE87	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA3110
B	EXCEPTIONAL METALS/ DURO-LAST	TWO-PIECE SNAP-ON METAL COPING DARK BRONZE/ DURO-LAST #SR70/TE87	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA3110
C	PRE-FABRICATED AWNING	PRIMER: BOND-PLEX WATERBASED ACRYLIC COATING, B71-200 FINISH: DTM ACRYLIC GLASS, B66R38	TINT PRIMER TO SW P2 USE AT LEAST (2) TWO COATS OF FINISH
<ol style="list-style-type: none"> PAINT ALL EXPOSED METERS, SERVICE ENTRANCES, GAS PIPE, ROOF ACCESS LADDER, ETC. TO MATCH ADJACENT EXTERIOR WALL SURFACE. PROVIDE TEMPORARY MASKING OF EXPOSED STAINLESS STEEL DURING ACID WASHING OF MASONRY. PROVIDE SOLID MASONRY UNITS AT THE ENDS OF JAMBS, SILLS, ETC. TO HELP PREVENT EFFLORESCENCE ALL MASONRY UNITS ARE TO BE MANUFACTURED WITH INTEGRAL WATER REPELLANT. WATER REPELLANT ADMIXTURE IS TO BE MIXED IN AND PRE-WASHED SAND IS TO BE USED IN ALL MORTAR MIXES. MAKE SURE THAT WALL WEEPS AND FLASHING ARE INSTALLED CORRECTLY. DO NOT BLOCK WEEPS. REFER TO SPECIFICATIONS ON SHEET SP-2. 			

MASONRY GROUP A	BRICK	95%
ACCENT	METAL	5%



2 SIDE ELEVATION
1/4" = 1'-0"



ARTEC LLC
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ARBY'S RESTAURANT GROUP
LOT 2, BLOCK 1
WAL-MART ADDITION KNOWN AS
8245 PRECINCT LINE ROAD
NORTH RICHLAND HILLS, TEXAS 76182

TURBO RESTAURANTS
3318 FOREST LANE, SUITE 200
DALLAS, TEXAS 75234

PROJECT BEGIN DATE

PROJECT END DATE

PROJECT DATE

PROJECT DATE

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PROJECT ORIENTATION



EXTERIOR ELEVATIONS

DRAWN BY: RGM
CHECKED BY: JR
MANAGER: JR

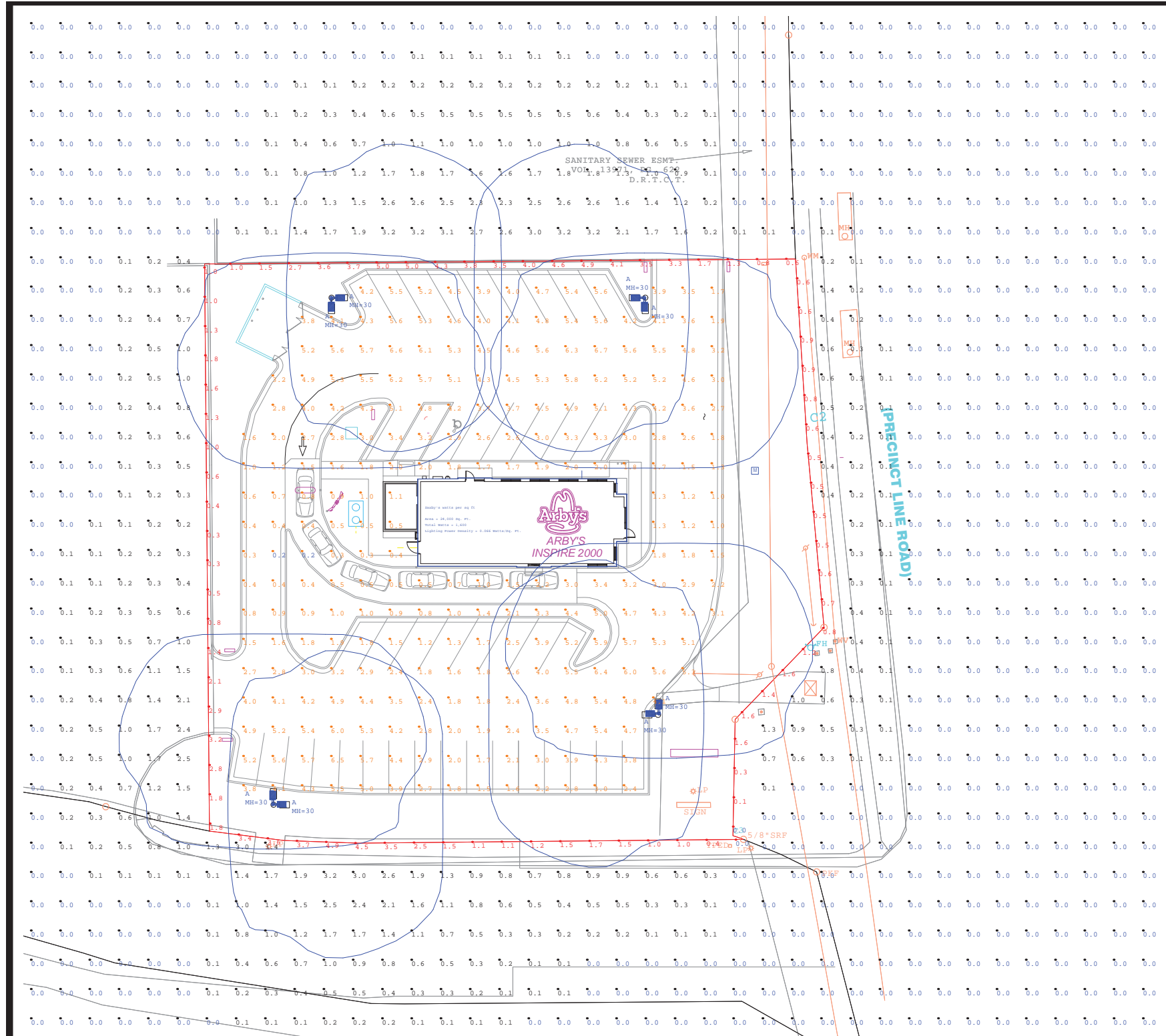
CASE ZC 2016-02

DATE: 3/29/2016

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EXHIBIT I - ARBY'S



Luminaire Schedule		Label	Lumens	ILLF	Description	Watts
Symbol	Qty	A	-1	0.850	SS2-B16-6K-UN-FT-NL	200
Calculation Summary						
Label	Avg	Max	Min	Avg/Min	Max/Min	
Beyond prop line	0.14	3.4	0.0	N.A.	N.A.	
Property line	1.84	5.0	0.0	N.A.	N.A.	
Parking lot	3.21	6.7	0.2	16.05	33.50	

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220 Chrysler Drive
Brampton, Ontario
L6S 6B6
Tel: (905) 792-7335
email:ljorge@
junolightinggroup.com

Client:

SMART LIGHTING SOLUTIONS
MR. RANDY PARRISH

Project:
ARBY'S NORTH RICHLAND HILLS TX
PRECINCT LINE ROAD
MAINTAINED HORIZONTAL FC
SHOWN AT GRADE LEVEL

Scale:
Date: 2016-02-19
Project No:
16-51-SMART1 (4868)
Drawn by: LJ

The calculation and results thereof, shown in this report, are based on information provided by the customer. The output figures are only as accurate as the input data. Therefore design parameters such as room reflectances, size, mounting height, depreciation factors, orientation and tilt must be verified.
Juno Lighting Group disclaims all implied warranties with regard to actual installed light levels as compared to those calculated based on inaccurate or incomplete data

EXHIBIT J - EL POLLO LOCO

EL POLLO LOCO

N. TARRENT PARKWAY
NORTH RICHLAND HILLS, TX



ALL WORK SHALL CONFORM TO THE 2012 EDITION OF THE INTERNATIONAL BUILDING CODE AND ALL OTHER APPLICABLE CODES, STANDARDS, AND REGULATIONS OF THE CITY OF NORTH RICHLAND HILLS AND COUNTY OF TARRANT.

IT IS INTENDED THAT A COMPLETE OCCUPANCY BUILDING PROJECT IS PROVIDED.

THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION (A.I.A. A201 LATEST EDITION) ARE A PART OF THESE CONTRACT DOCUMENTS. A COPY IS ON FILE AT THE ARCHITECT'S OFFICE.

DRAWINGS ARE BASED ON A SURVEY, DATED MARCH 10, 2016 PREPARED BY JPH LAND SURVEYING INC.

THIS BUILDING HAS BEEN DESIGNED IN ACCORDANCE WITH THE RECOMMENDATIONS OF A GEOTECHNICAL INVESTIGATION DATED BY ---. THE REPORT IS PART OF THESE CONTRACT DOCUMENTS, AND THE CONTRACTOR IS RESPONSIBLE FOR CARRYING OUT ITS RECOMMENDATIONS, THOUGH SOME MAY NOT BE SPECIFICALLY DETAILED ON THE PLANS.

DO NOT SCALE THESE DRAWINGS. VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. ANY DISCREPANCIES IN THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO STARTING WORK.

ALL PROPOSED SUBSTITUTIONS SHALL BE APPROVED BY THE EL POLLO LOCO CONSTRUCTION MANAGER, IN WRITING, PRIOR TO INSTALLATION.

RETAIN THE PROJECT GEOTECHNICAL ENGINEER TO PROVIDE OBSERVATION AND TESTING SERVICES DURING THE GRADING (INCLUDING UTILITY TRENCHES) AND FOUNDATION PHASE OF CONSTRUCTION AS RECOMMENDED IN THE GEOTECHNICAL REPORT. ALL TESTING AND INSPECTION REPORTS, INCLUDING FINAL SUBMITTAL LETTER, SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND OWNER. G.C. SHALL CERTIFY PAD ELEVATION PRIOR TO START OF FOUNDATION WORK.

SUBMIT PAY FEES AND OBTAIN ALL PERMITS ASSOCIATED WITH THE PROJECT EXCEPT GENERAL BUILDING PERMIT. THIS INCLUDES, BUT IS NOT LIMITED TO ELECTRICAL, MECHANICAL, PLUMBING, FIRE SPRINKLER, HOOD ANSUL, OR OTHER RELATED FIRE PERMITS, ENCROACHMENT PERMIT, ETC. EL POLLO LOCO WILL PAY FOR CONNECTION FEES ASSOCIATED WITH UTILITY PERMITS. PAY FOR TEMPORARY FACILITIES FEES AS REQUIRED TO COMPLETE THE WORK IN A TIMELY MANNER.

PROVIDE EACH SUBCONTRACTOR WITH A COMPLETE AGENCY-PERMITTED DRAWING SET AT TIME OF CONSTRUCTION.

ALL ABBREVIATIONS INCLUDED FOLLOW INDUSTRY STANDARDS. CONTACT ARCHITECT IF ANY ABBREVIATIONS ARE NOT CLEAR.

GC SHALL SUPPLY AND INSTALL ALL ASPECTS OF THE PROJECT DESCRIBED IN THIS DRAWING SET UNLESS OTHERWISE NOTED. SEE SCOPE OF WORK FOR EXCEPTIONS.

GRAPHIC AND WRITTEN INFORMATION ON DRAWINGS SHALL BE COORDINATED WITH ALL TRADES PRIOR TO INSTALLATION.

REQUIRED SUBMITTALS
GENERAL CONTRACTOR SHALL PROVIDE THE FOLLOWING TO PROJECT OWNER FOR APPROVAL BEFORE PROCEEDING WITH WORK. CONTRACTOR SHALL ALSO PROVIDE ANY ADDITIONAL SUBMITTALS REQUIRED BY PROJECT OWNER, ARCHITECT OR ENGINEER.
A. PREFABRICATED ROOF TRUSSES
B. IRONINGS
C. STORE FRONT
D. PAINT

OVERLAPPING AND CONFLICTING REQUIREMENTS
WHERE CONFLICTS WITH TWO OR MORE INDUSTRY STANDARDS OR SETS OF REQUIREMENTS IS SPECIFIED, AND OVERLAPPING OF THOSE DIFFERENT STANDARDS ESTABLISHES DIFFERENT OR CONFLICTING MINIMUMS OR LEVELS OR REQUIREMENTS OF QUALITY, MOST STRINGENT REQUIREMENT (WHICH IS GENERALLY RECOGNIZED TO BE ALSO MOST COSTLY) IS INTENDED AND WILL BE ENFORCED, UNLESS SPECIFICALLY DETAILED LANGUAGE WRITTEN INTO CONTRACT DOCUMENTS (NOT BY WAY OF REFERENCE TO AN INDUSTRY STANDARD) CLEARLY INDICATES THAT A LESS STRINGENT REQUIREMENT IS TO BE FULFILLED. REFER APPARENTLY EQUAL, BUT DIFFERENT REQUIREMENTS, AND UNCERTAINTIES AS TO WHICH LEVEL OF QUALITY IS MORE STRINGENT, TO ARCHITECT/ENGINEER FOR A DECISION BEFORE PROCEEDING.

MINIMUM QUALITY/QUANTITY
IF EVERY INSTANCE, QUALITY LEVEL OR QUANTITY SHOWN OR SPECIFIED IS INTENDED AS MINIMUM FOR THE WORK TO BE PERFORMED OR PROVIDED, EXCEPT AS OTHERWISE SPECIFICALLY INDICATED, ACTUAL WORK MAY EITHER CONFORM EXACTLY WITH THAT MINIMUM (WITHIN SPECIFIED TOLERANCES), OR MAY EXCEED THAT MINIMUM WITHIN REASONABLE LIMITS. IN COMPLYING WITH REQUIREMENTS, INDICATED NUMERIC VALUES ARE EITHER MINIMUMS OR MAXIMUMS AS NOTED OR AS APPROPRIATE FOR CONTEXT OF REQUIREMENTS. REFER INSTANCES OF UNCERTAINTY TO ARCHITECT/ENGINEER FOR DECISION BEFORE PROCEEDING.

NOTES TO CONTRACTOR
1. WHERE CONTRACT DOCUMENTS (DRAWINGS AND SPECIFICATIONS) ARE INCOMPLETE, AMBIGUOUS OR CONTAIN CONFLICTING INSTRUCTIONS, DO NOT PROCEED UNTIL RECEIVING CLARIFICATION FROM THE ARCHITECT IN WRITING.
2. PROVIDE PROTECTION OF PEDESTRIANS AND PUBLIC DURING CONSTRUCTION.
3. PROVIDE BARRICADES AND CANOPIES AS REQUIRED FOR PUBLIC SAFETY. PROVIDE MINIMUM 6'-0" WAY FROM CONSTRUCTION OR OTHER APPROVED MEANS OF PROTECTION AS ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.

SIGNAGE
ALL SIGNAGE AND SIGN DETAILS ARE UNDER SEPARATE DRAWINGS AND PERMIT, AND TO BE SCHEDULED BY GENERAL CONTRACTOR.

PROJECT GENERAL NOTES

LEGAL JURISDICTION: North Richland Hills, TX 76183

BUILDING CODE: IBC2012, IMC2012, IPC2012, IFC2006, IEC2009, NEC2009

BUILDING AREA: 2,649 SQUARE FEET

SEATING: 60

OCCUPANCY: A2

TYPE CONSTRUCTION: TYPE - VB

FIRE SPRINKLERS: - NONE

FIRE ALARM: - FIRE ALARM REQUIRED

BUILDING HEIGHT: - 11'

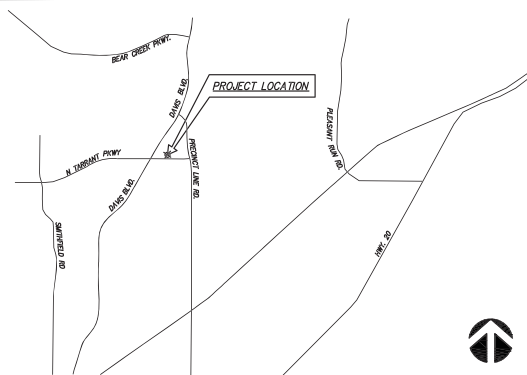
ROOF COVERING MATERIAL CLASS: SINGLE PLY TPO

REQUIRED PARKING: 27 SPACES (1/100 GFA)

PROVIDED PARKING: 51 SPACES

TOTAL SITE AREA: 57,508 SF, 1.32 AC

LEGAL INFORMATION / CODE ANALYSIS



VICINITY MAP

A.F.F. ABOVE FINISH FLOOR	JAN. JANITOR
ADH. ADHERE	JT. JOINT
ADJ. ADJACENT / ADJUSTABLE	LAM. LAMINATE
A/C AIR CONDITIONING / ER	LTG. LIGHTING
ALUM. ALUMINUM	MACH. MACHINE
TH. THRESHOLD	MFGR. MANUFACTURER
& AND	MAS. MASONRY
L/ ANGLE	MAX. MAXIMUM
APPROX. APPROXIMATE	MECH. MECHANICAL
@ AT	MTL. METER
B / BOT. BOTTOM	MIN. MINIMUM
BLK. BLOCK	N. NET
BLKNG. BLOCKING	NOM. NOMINAL
BD. BOARD	N.I.C. NOT IN CONTRACT
CAB. CABINET	# NUMBER
CEM. CEMENT	O. OWNER
CLG. CEILING	O.F.C.I. OWNER FURN. G.C. INSTALLED
C.L./C. CENTER LINE	O.C. ON CENTER
CLR. CLEAR	OPP. OPPOSITE
CERM. CERAMIC	P / FT. PAINT / POINT
COL. COLUMN	PL. PLYWOOD
CONC. CONCRETE	POL. POLISHED
CTR. COUNTER	QTY. QUANTITY
C.M.U. CONCRETE MASONRY UNIT	Q.T. QUARRY TILE
CONST. CONSTRUCTION	R / RAD. RADII
CONT. CONTINUOUS	R.A. RETURN AIR
CONTR. CONTRACTOR	RECP. RECEPTACLE
D. DEPTH	RENF. REINFORCED
DEMO. DEMOLITION	REOD. REQUIRED
DIA. DIAMETER	RM. ROOM
DIF. DIFFUSER / DIFFERENT	R.O. ROUGH OPENING
DR. DOOR	S.A. SUPPLY AIR
DN. DOWN	SCHED. SCHEDULE
DWG. DRAWING	S.SK. SERVICE SINK
EA. EACH	S.S. STAINLESS STEEL
ELEC. ELECTRIC	SHT. SHEET
EQUIP. EQUIPMENT	SIM. SIMILAR
EX. EXISTING	S.C. SOLID CORE
E.J. EXPANSION JOINT	SPEC. SPECIFICATION
EXT. EXTERIOR	STL. STEEL
FIN. FINISH	STO. STORAGE
F.F. FINISH FLOOR	STRUCT. STRUCTURE
F.P. FIRE PROOF	SUSP. SUSPENDED
F.R. FIRE RESISTANT	T. TOP / TILE
F.S.E. FOOD SERVICE EQUIPMENT	TEMP. TEMPORARY
FXT. FIXTURE	T.V. TELEVISION
FLUOR. FLUORESCENT	TH. THICK / THRESHOLD
FRAMG. FRAMING	T.F. TAPE, FLOAT TAPE
FR. FROM	T.F.SP. FLOAT & PAINT
FURN. FURNISH	TYP. TYPICAL
GALV. GALVANIZED	VAR. VARIES
GA. GAUGE	W. WIDTH
G.C. GENERAL CONTRACTOR	W.R. WATER RESISTANT
GYP. GYPSUM	W.S. WEATHER STRIP
GYP.BD. GYPSUM BOARD	W. WITH
HDW. HARDWARE	WD. WOOD
HT. HEIGHT	
H.C. HOLLOW CORE	
HR. HOUR	
INCL. INCLUDING / INCLUSIVE	
INSUL. INSULATION / INSULATE	
INT. INTERIOR	

ABBREVIATIONS

OWNER EL POLLO LOCO 3535 HARBOR BOULEVARD, SUITE 110 COSTA MESA, CALIFORNIA 92626 PHONE: (714) 599-5000	ARCHITECT (NAME) (ADDRESS) (CITY, STATE, ZIP) CONTACT PHONE:
CONSTRUCTION MANAGER EL POLLO LOCO 3535 HARBOR BOULEVARD, SUITE 110 COSTA MESA, CALIFORNIA 92626 PHONE: (714) 599-5000	STRUCTURAL ENGINEER (NAME) (ADDRESS) (CITY, STATE, ZIP) CONTACT PHONE:
CIVIL ENGINEER ICON CONSULTING ENGINEERS, INC. 2840 W. SOUTHLAKE BLVD., SUITE 110 SOUTHLAKE, TEXAS 76092 CONTACT: DAVID C. GREGORY, P.E. PHONE: (817) 552-6210	MECH. / ELEC. ENGINEER (NAME) (ADDRESS) (CITY, STATE, ZIP) CONTACT PHONE:
GEOTECHNICAL ENGINEER (NAME) (ADDRESS) (CITY, STATE, ZIP) CONTACT PHONE:	LANDSCAPE ARCHITECT (NAME) (ADDRESS) (CITY, STATE, ZIP) CONTACT PHONE:

PROJECT DIRECTORY

SEWER (NAME) (ADDRESS) (CITY, STATE, ZIP) CONTACT PHONE:	TELEPHONE (NAME) (ADDRESS) (CITY, STATE, ZIP) CONTACT PHONE:
WATER (NAME) (ADDRESS) (CITY, STATE, ZIP) CONTACT PHONE:	ROADS (NAME) (ADDRESS) (CITY, STATE, ZIP) CONTACT PHONE:
GAS (NAME) (ADDRESS) (CITY, STATE, ZIP) CONTACT PHONE:	TRASH (NAME) (ADDRESS) (CITY, STATE, ZIP) CONTACT PHONE:
ELECTRIC (NAME) (ADDRESS) (CITY, STATE, ZIP) CONTACT PHONE:	HEALTH (NAME) (ADDRESS) (CITY, STATE, ZIP) CONTACT PHONE:

UTILITY CONTACTS

PRELIMINARY SITE PLAN	
TITLE/SITE T1.0 TITLE SHEET	
CIVIL SP-1 SITE PLAN SP-2 TREE PROTECTION PLAN SP-3 PUBLIC UTILITY PLAN SP-4 PRIVATE UTILITY PLAN SP-5 WATER DETAILS	
LANDSCAPE L1.0 LANDSCAPE PLAN	
ACCESSIBILITY CS1 ACCESSIBLE DETAILS CS2 ACCESSIBLE REQUIREMENTS	
ARCHITECTURAL A1 FLOOR PLAN A2 REFLECTED CEILING PLAN A3 ROOF PLAN A4 ELEVATIONS A5 ELEVATIONS A6 SECTIONS A7 SECTIONS A8 ROOF DETAILS A9 DETAILS A10 DETAILS A11 WINDOW & DOOR SCHEDULE A11.1 FISH SCHEDULE A12 RESTROOMS A13 INTERIOR ELEVATIONS A14 INTERIOR ELEVATIONS A15 BACKING PLAN	
STRUCTURAL S1 GENERAL NOTES S2 DETAILS S3 DETAILS S4 FOUNDATION PLAN S5 DECK FRAMING PLAN S6 DETAILS	
PLUMBING P1 PLUMBING EQUIPMENT SCHEDULE AND NOTES P2 WASTE AND VENT PLUMBING PLAN P3 HOT AND COLD WATER PLUMBING PLAN P4 GAS PLUMBING PLAN P5 ROOF PLUMBING PLAN P6 PLUMBING SPECIFICATIONS AND NOTES P7 ISOMETRIC DIAGRAMS P8 ISOMETRIC DIAGRAMS	
MECHANICAL M1 EQUIPMENT SCHEDULE AND NOTES M2 MECHANICAL PLAN M3 ROOF MECHANICAL PLAN M4 MECHANICAL DETAILS M5 HOOD DETAILS M6 HOOD DETAILS M7 HOOD DETAILS M8 HOOD DETAILS M9 HVAC SPECIFICATIONS AND NOTES	
ELECTRICAL E1 NOTES & SYMBOLS LIST E2 LIGHTING PLAN E3 POWER PLAN E4 ROOF POWER PLAN E5 SINGLE LINE DIAGRAM E7 POS LAYOUT PLAN	
KITCHEN K1 EQUIPMENT FLOOR PLAN K2 EQUIPMENT SCHEDULE K3 PLUMBING ROOF PLAN K4 ELECTRICAL ROOF PLAN K5 EQUIPMENT ELEVATIONS K6 EQUIPMENT ELEVATIONS	
SHEET INDEX	

icon Consulting Engineers, Inc.
Civil Engineers - Designers - Planners
2840 W. Southlake Blvd., Suite 110
Southlake, TX 76092
Phone: (817) 552-6210
Fax: (817) 778-4845
Engineering Firm Registration Number F-9007

BUILDING TYPE: ---
STORE NUMBER: #---
DRAWN BY: ICE
CHECKED BY: DCG

EL POLLO LOCO
NORTH TARRENT PKWY.
NORTH RICHLAND HILLS, TX

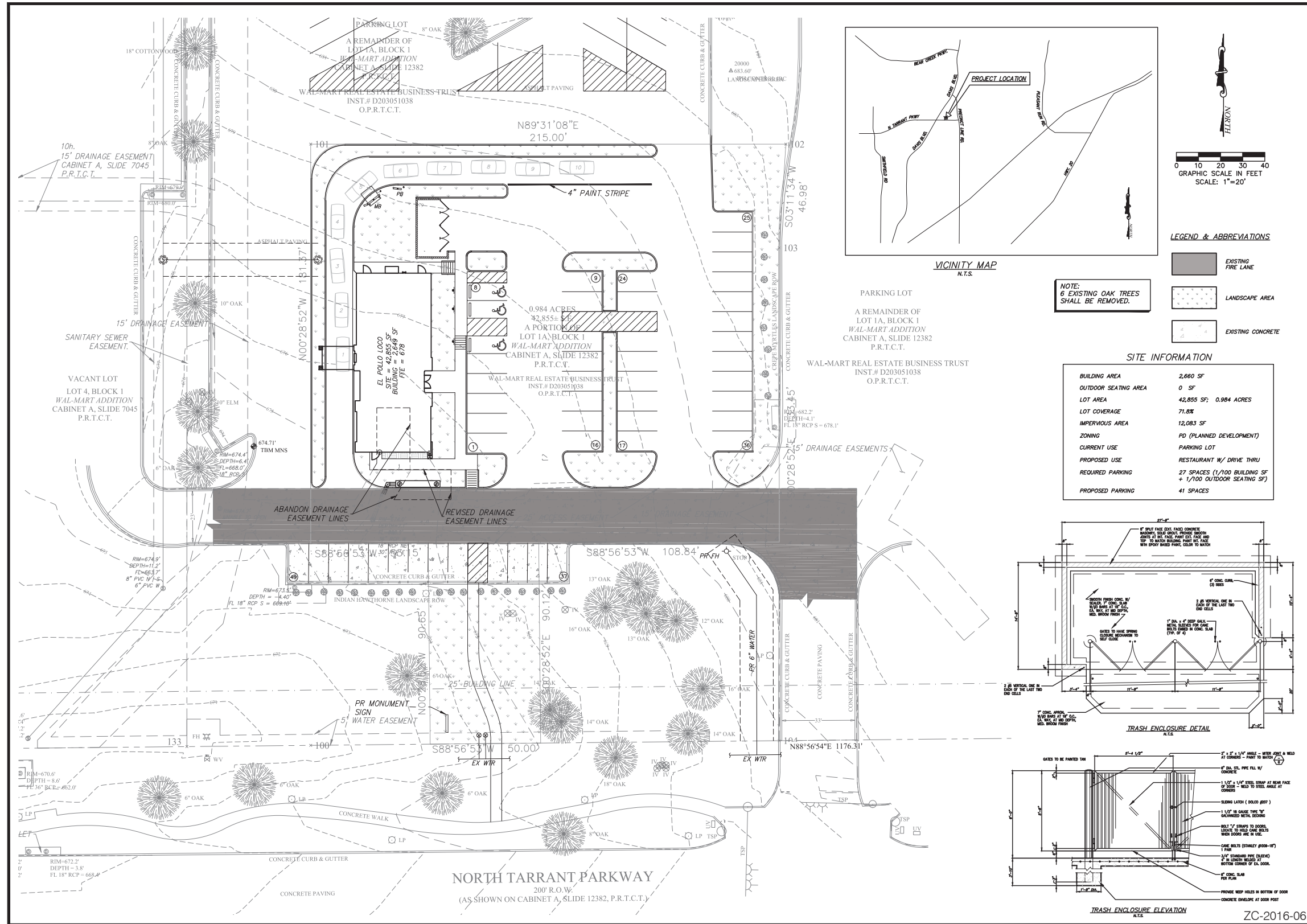
EL POLLO LOCO

TITLE SHEET

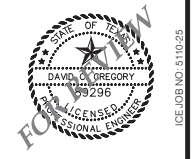
T1.0

PLOT DATE:

EXHIBIT J - EL POLLO LOCO



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 Civil Engineers - Designers - Planners
 2840 W. Southlake Blvd., Suite 110
 Southlake, TX 76092
 Phone: (817) 552-6210
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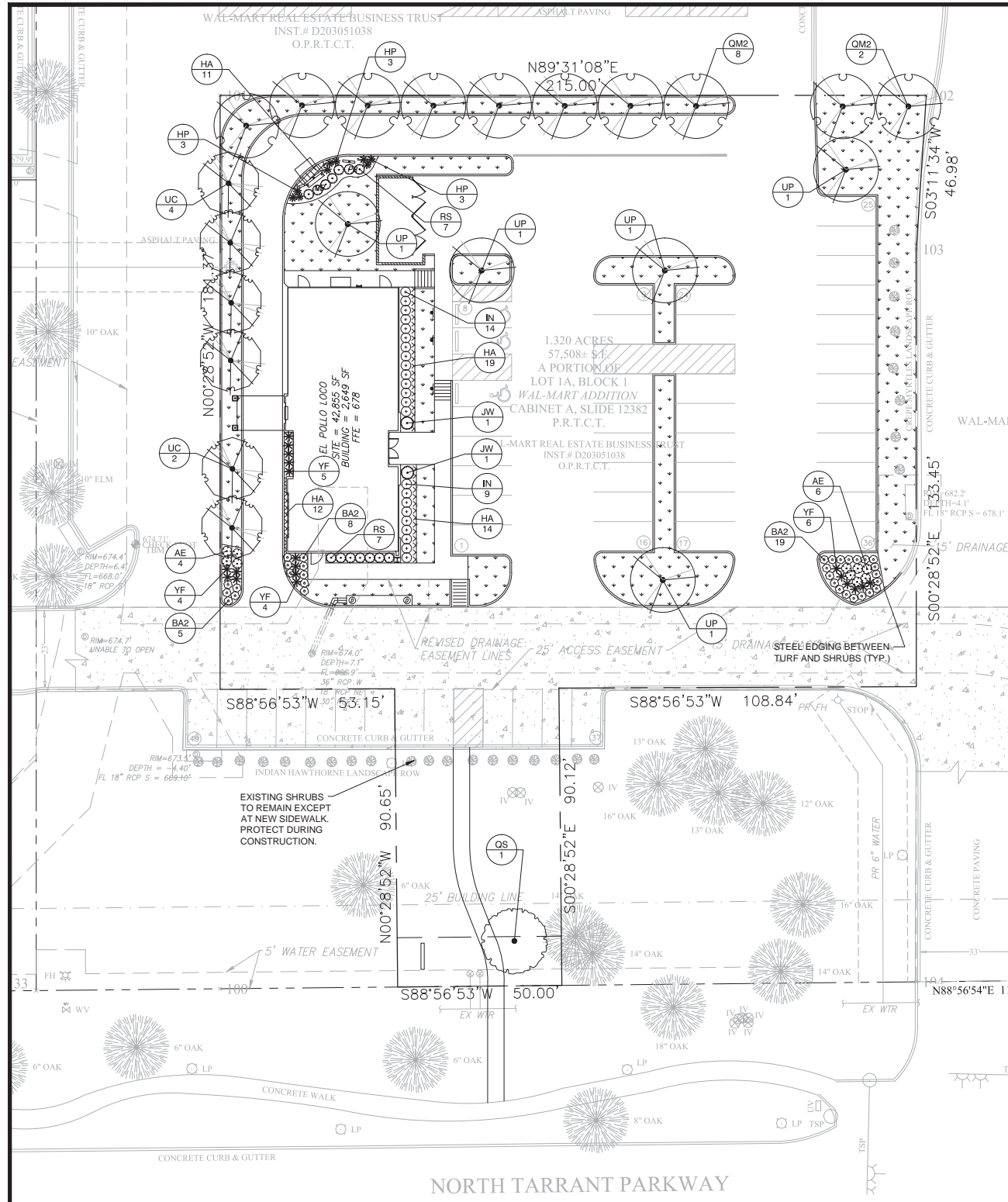


BUILDING TYPE: _____
 STORE NUMBER: # _____
 DRAWN BY: ICE
 CHECKED BY: DCG

EL POLLO LOCO
 NORTH TARRANT PKWY.
 NORTH RICHLAND HILLS, TX

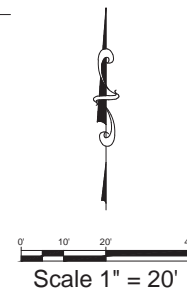


EXHIBIT J - EL POLLO LOCO



PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	CAL	HEIGHT	QTY
	JW	Juniper scopulorum 'Wichita Blue' / Wichita Blue Juniper	15 gal		4' minimum	2
	QM2	Quercus muehlenbergii / Chinkapin Oak	B & B	3" Cal	10'-12'	10
	QS	Quercus shumardii / Shumard Red Oak	B & B	3" Cal	10'-12'	1
	UC	Ulmus crassifolia / Cedar Elm	B & B	3" Cal	10'-12'	6
	UP	Ulmus parvifolia / Chinese Elm	B & B	3" Cal	10'-12'	5
SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	SIZE	SPACING	QTY	
	AE	Abelia x grandiflora 'Edward Goucher' / Glossy Abelia	3 gal	36" o.c.	10	
	BA2	Berberis thunbergii 'Atropurpurea Nana' / Dwarf Redleaf Japanese Barberry	3 gal	30" o.c.	32	
	HP	Hesperaloe parviflora / Red Yucca	3 gal	30" o.c.	9	
	IN	Ilex vomitoria 'Nana' / Dwarf Yaupon	3 gal	36" o.c.	23	
	RS	Rhaphiolepis indica 'Snow White' / Snow White Indian Hawthorn	5 gal	36" o.c.	14	
	YF	Yucca flaccida 'Ivory Tower' / Ivory Tower Yucca	3 gal	36" o.c.	19	
GROUND COVERS	CODE	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY	
	CD	Cynodon dactylon / Bermuda Grass	sod		7,170 sf	
	HA	Hemerocallis x 'Aztec Gold' / Dwarf Evergreen Day Lily	1 gal	18" o.c.	56	



GENERAL PLANTING NOTES

- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN). BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS IS WITHIN +0.1' OF FINISH GRADE. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
- CONSTRUCT AND MAINTAIN FINISH GRADES IN LANDSCAPE AREAS AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ENSURE THAT THE GRADE IN SHRUB AREAS SHALL BE 2" BELOW FINISH GRADE AFTER INSTALLING SOIL AMENDMENTS, AND 1" BELOW FINISH GRADE IN SOD AREAS AFTER INSTALLING SOIL AMENDMENTS, MULCH COVER WITHIN 6" OF CONCRETE WALLS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALLS AND CURBS; MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
- INSTALL 5 GUNCE WOVEN, NEEDLE-PUNCHED POLYPROPYLENE FABRIC (DOWITT "PRO-5" OR EQUAL) UNDER ALL MULCHED AREAS AND INDIVIDUAL TREE RINGS.
- INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING BEDS AND TREE RINGS. DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE.
- INSTALL 14G GREEN STEEL EDGING BETWEEN ALL PLANTING BEDS AND TURF AREAS, AND BETWEEN GROUNDCOVERS AND OTHER PLANTS (WHERE INDICATED ON THE PLAN).
- HYDROMULCH ALL DISTURBED AREAS OUTSIDE OF PROPERTY LIMITS (UNLESS SHOWN AS SOD).
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E. MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
- NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.** IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
- PLANTS MAY BE INSPECTED AND APPROVED OR REJECTED ON THE JOBSITE BY THE OWNER OR OWNER'S REPRESENTATIVE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOISTURE AND AERATION OF LAWNS, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
- SHOULD SEEDS AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER.
- TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
 - THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY); ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
 - ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
 - SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. HYDROMULCHED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESEDED OR RESEEDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

LANDSCAPE CALCULATIONS

TOTAL SITE AREA:	57,508 SF
LANDSCAPE AREA REQUIRED:	8,626 SF (15% OF SITE AREA)
LANDSCAPE AREA PROVIDED:	24,689 SF (42.9% OF SITE AREA)
LANDSCAPE SETBACK	
15' LANDSCAPE SETBACK REQUIRED ADJACENT TO ROW	15' SETBACK PROVIDED
REQUIRED TREES IN SETBACK - 1 LARGE TREE PER 50' 50 FEET / 50 = 1 = 1 TREE REQUIRED	1 TREES PROVIDED (1 NEW TREE/3 EXISTING TREES)
REQUIRED TREES IN SETBACK - 10 SHRUBS PER 50' 50 FEET / 50 x 10 = 10 SHRUBS REQUIRED	10+ SHRUBS PROVIDED (INCLUDES EXISTING SHRUBS AT PARKING)
PARKING LOT SCREENING	
PARKING LOTS SHALL BE SCREENED WITH EVERGREEN SHRUBS PLACED AT 3 FEET O.C.	EVERGREEN SHRUB PARKING LOT SCREEN PROVIDED
PARKING LOT LANDSCAPING	
ONE LARGE TREE PER 20 SPACES REQUIRED	
49 SPACES / 20 = 2.5 = 3 LARGE TREES	2 LARGE PARKING LOT TREES PROVIDED
LANDSCAPE ENTRANCES SHALL BE PLANTED WITH SMALL SHRUBS	SMALL SHRUBS AT ENTRANCES PROVIDED
PARKING LOTS SHALL BE AT LEAST 5% LANDSCAPED	
18,050 SF x .05 = 905 SF LANDSCAPING REQUIRED	1,115 SF PARKING LOT LANDSCAPING PROVIDED
REPLACEMENT TREES REQUIRED 64 CALIPER INCHES / 3 = 21.33 = 22 TREES	22 REPLACEMENT TREES PROVIDED

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDED WOOD MULCH OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS. CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED.

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

NORTH TARRANT PARKWAY

NOTE: THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN DRAWINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. CORE STATES, INC. DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. AS SUCH THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND UNCOVERING EXISTING UTILITIES IN THE VICINITY OF THE PROPOSED IMPROVEMENTS AND UTILITY CONNECTION POINTS PRIOR TO THE START OF CONSTRUCTION TO ASCERTAIN EXACT MATERIALS, LOCATIONS, ELEVATIONS, ETC. AND THEIR POTENTIAL CONFLICT WITH PROPOSED IMPROVEMENTS. GC SHALL CONSULT WITH CONSTRUCTION MANAGER AND ENGINEER AS APPROPRIATE BEFORE PROCEEDING WITH WORK.



LP-1

PLOT DATE:

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Civil Engineers - Designers - Planners
2840 W. Southlake Blvd., Suite 110
Southlake, TX 76092
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Fax: (817) 778-4845
Engineering Firm Registration Number F-9007



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BUILDING TYPE:	----
STORE NUMBER:	#----
DRAWN BY:	ICE
CHECKED BY:	DCG

EL POLLO LOCO
NORTH TARRANT PKWY.
NORTH RICHLAND HILLS, TX

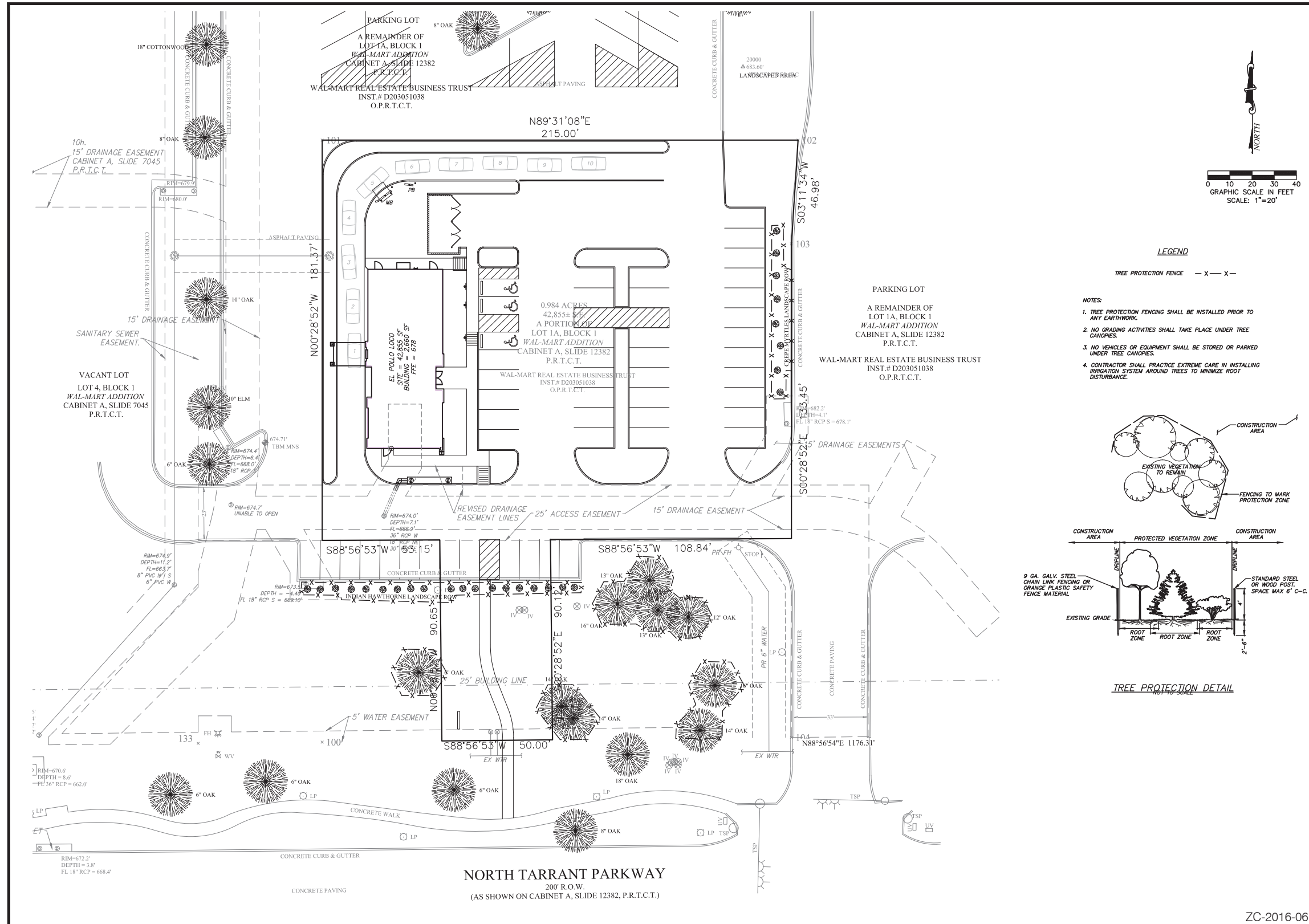


LANDSCAPE PLANTING

LP-1

PLOT DATE:

EXHIBIT J - EL POLLO LOCO



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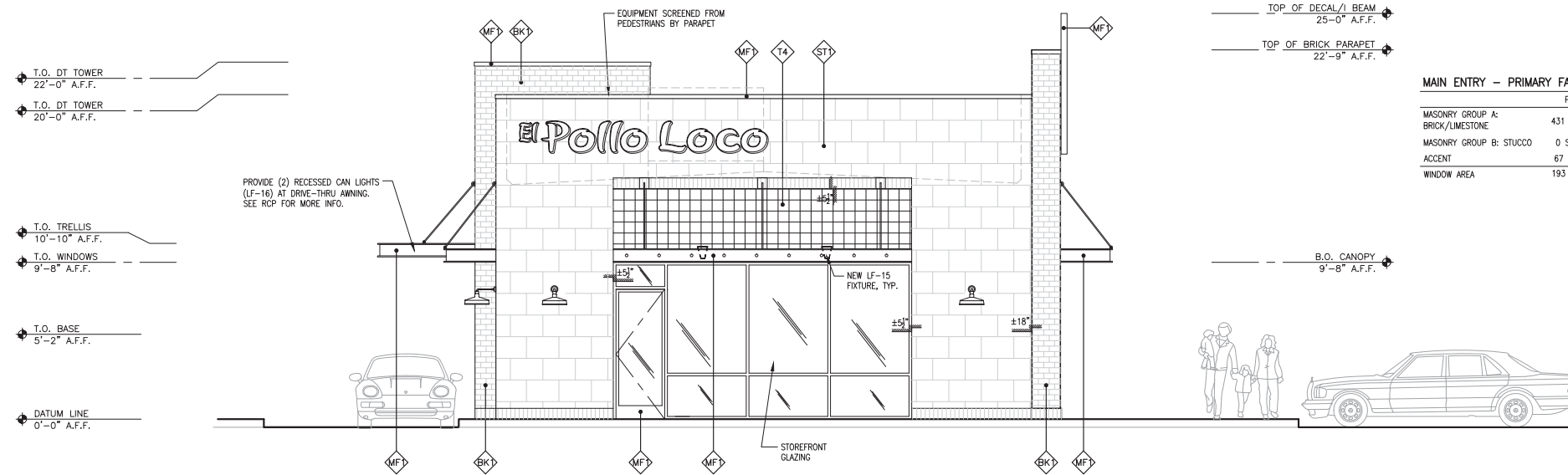
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STORE NUMBER: #---
DRAWN BY: ICE
CHECKED BY: DCG

EL POLLO LOCO
NORTH TARRANT PKWY.
NORTH RICHLAND HILLS, TX

El Pollo Loco
EL POLLO LOCO
PRELIM TREE
PROTECTION
PLAN
SP-2

ZC-2016-06

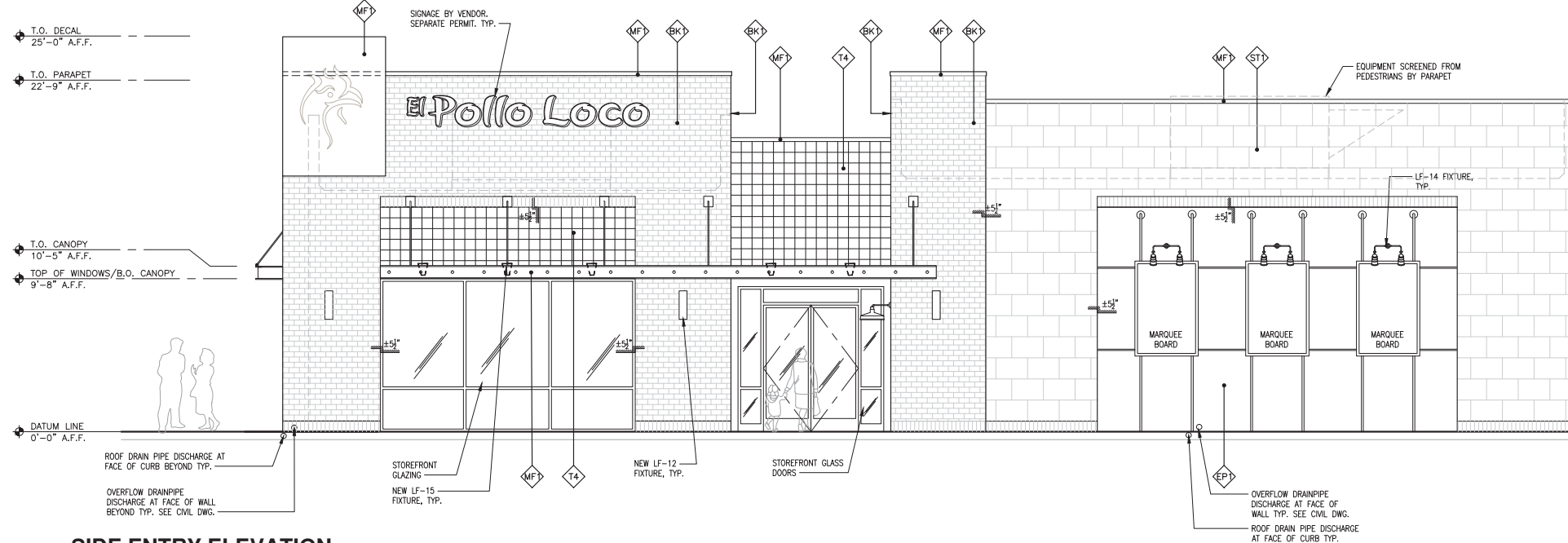
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FRONT ELEVATION

SCALE: 1/4" = 1'-0"

MAIN ENTRY - PRIMARY FACADE		498 S.F.
	PROVIDED	MIN. MAX.
MASONRY GROUP A: BRICK/LIMESTONE	431 S.F. 86%	70% 100%
MASONRY GROUP B: STUCCO	0 S.F. 0%	0% 30%
ACCENT	67 S.F. 13%	0% 15%
WINDOW AREA	193 S.F. 38%	



SIDE ENTRY ELEVATION

SCALE: 1/4" = 1'-0"

MAIN ENTRY - PRIMARY FACADE		1,415 S.F.
	PROVIDED	MIN. MAX.
MASONRY GROUP A: BRICK/LIMESTONE	1020 S.F. 71%	70% 100%
MASONRY GROUP B: STUCCO	257 S.F. 18%	0% 30%
ACCENT	138 S.F. 10%	0% 15%
WINDOW AREA	252 S.F.	

LEGEND

- EP1 SHERWIN WILLIAMS - SW 7017 DORIAN GRAY
STUCCO = EXTERIOR GRADE EGGSHELL FINISH
DOORS = EXTERIOR GRADE SEMI-GLOSS FINISH
- EP2 DUNN EDWARDS - D66376 LOOKING GLASS
EXTERIOR GRADE EGGSHELL FINISH
- EK1 McNear BRICK & BLOCK - STD. SPLIT (1 1/4" THK.),
SANDMOLD SERIES-TIVOLI
CONCRETE: RESOURCE BUILDING MATERIALS (949) 855-9994
SPEC MIX TYPE #213 SLATE; JOINT WIDTH: 1/8"
- ST1 CORONADO - COLOSSEUM TRAVERTINE 16" x 24" x 1" - BLACK FOREST
MORTAR: CUSTOM BLDG. PRODUCTS #370 DOVE GRAY; JOINT WIDTH: 1/8"
- T4 CEMENT TILE SHOP - PACIFIC CLASSIC COLLECTION, PATCHWORK 8" x 8"
RANDOMLY MIX THE FOLLOWING COLORS:
25% BLACK & WHITE, 25% RED, 25% BLUE, 25% YELLOW
CONTACT: CUSTOMER SERVICE (800) 704-2701
GROUT: MAPEI 19 PEARL GRAY; JOINT WIDTH: 1/8"
- MF1 HOT-ROLLED STEEL - BLACKENED (GUN BLUE) BY VENDOR.
FLASHING: PAINT TO MATCH (FLAT BLACK)
- AW1 AWNINGS BY VENDOR: FINISH TO MATCH MF-1



ARMET DAVIS NEWLOVE &
ASSOCIATES, AIA ARCHITECTS
1330 OLYMPIC BLVD.
SANTA MONICA, CALIFORNIA 90404
PH 310 452-5533 FAX 310 450-4742

REV. DATE DESCRIPTION

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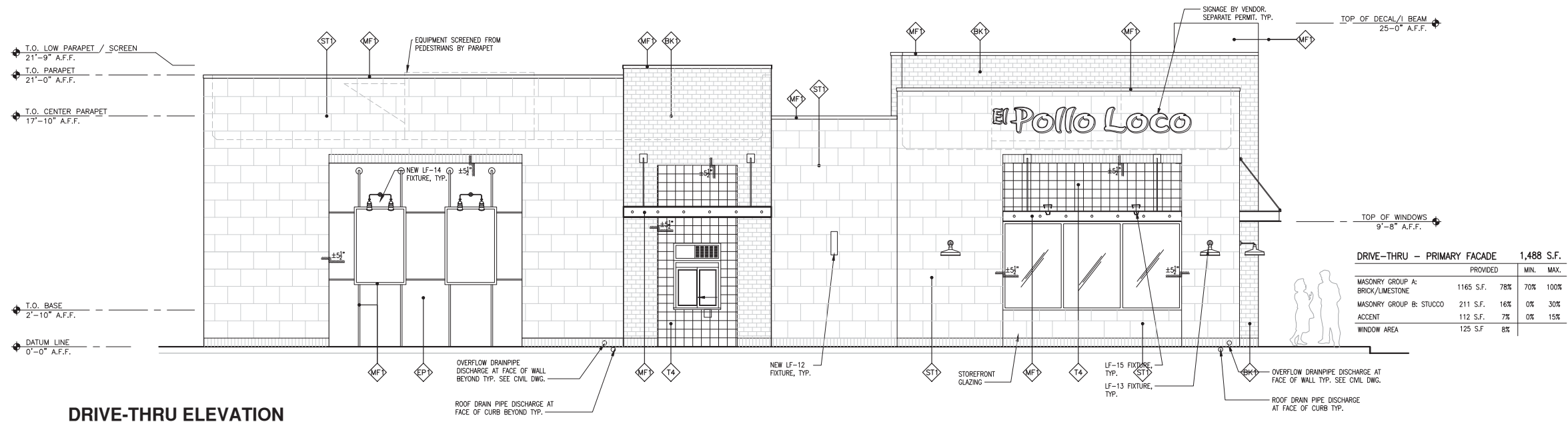


LOCATION
V2660-PROTOTYPE STD.
STORE #6149
TARRANT PKWY. & DAVIS BLVD.
N. RICHLAND HILLS, TX 76182
DATE
05/03/16
JOB NO.
16-6149
DRAWN BY
CW
CHECKED BY
PD/JF
ELEVATIONS - HDSP 2600

A4

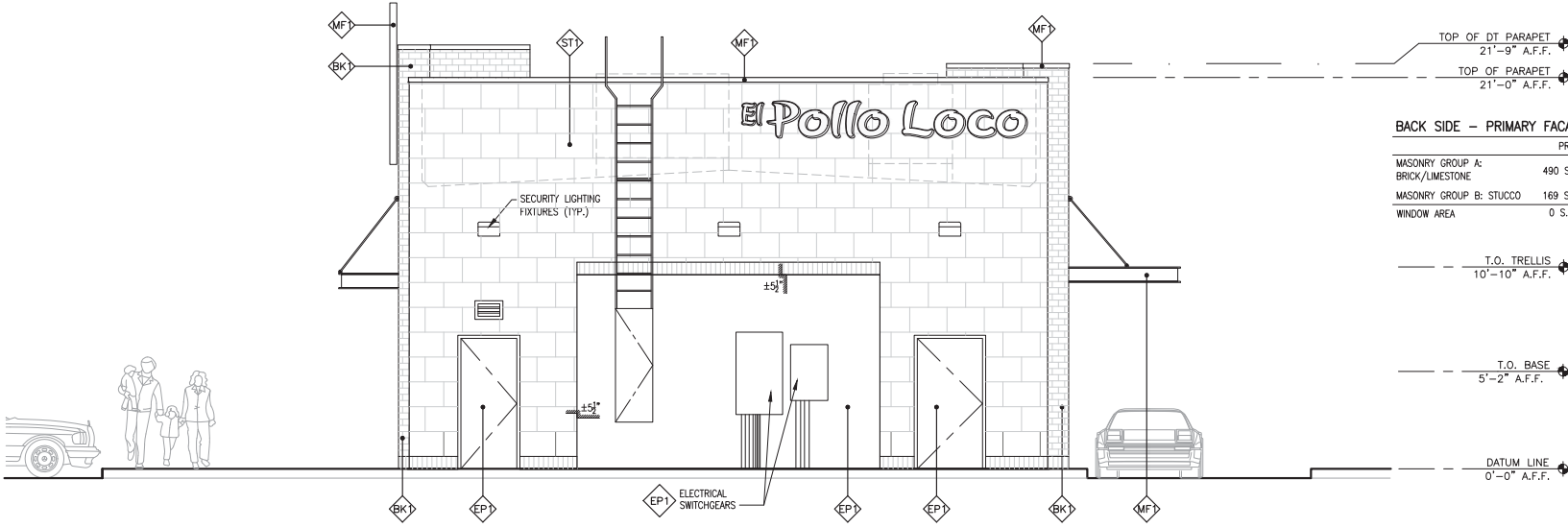
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EXHIBIT J - EL POLLO LOCO



DRIVE-THRU ELEVATION
SCALE: 1/4" = 1'-0"

DRIVE-THRU - PRIMARY FACADE		1,488 S.F.	
PROVIDED		MIN.	MAX.
MASONRY GROUP A: BRICK/LIMESTONE	1165 S.F.	78%	70% 100%
MASONRY GROUP B: STUCCO	211 S.F.	16%	0% 30%
ACCENT	112 S.F.	7%	0% 15%
WINDOW AREA	125 S.F.	8%	



REAR ELEVATION
SCALE: 1/4" = 1'-0"

BACK SIDE - PRIMARY FACADE		659 S.F.	
PROVIDED		MIN.	MAX.
MASONRY GROUP A: BRICK/LIMESTONE	490 S.F.	74%	70% 100%
MASONRY GROUP B: STUCCO	169 S.F.	24%	0% 30%
WINDOW AREA	0 S.F.	0%	

LEGEND

- EP1 SHERWIN WILLIAMS - SW 7017 DORIAN GRAY
STUCCO = EXTERIOR GRADE EGGSHELL FINISH
DOORS = EXTERIOR GRADE SEM-GLOSS FINISH
- EP2 DUNN EDWARDS - DE6376 LOOKING GLASS
EXTERIOR GRADE EGGSHELL FINISH
- BK1 McNear BRICK & BLOCK - STD. SPLIT (1 1/4" THK.),
SANDMOLD SERIES-TIVOLI
CONTACT: RESOURCE BUILDING MATERIALS (949) 855-9994
SPEC MIX TYPE #213 SLATE; JOINT WIDTH: 1/8"
- ST1 CORONADO - COLOSSEUM TRAVERTINE 16" x 24" x 1" - BLACK FOREST
MORTAR: CUSTOM BLDG. PRODUCTS #370 DOVE GRAY; JOINT WIDTH: 1/8"
- T4 CEMENT TILE SHOP - PACIFIC CLASSIC COLLECTION, PATCHWORK 8" x 8"
RANDOMLY MIX THE FOLLOWING COLORS:
25% BLACK & WHITE, 25% RED, 25% BLUE, 25% YELLOW
CONTACT: CUSTOMER SERVICE (800) 704-2701
GROUT: MAPEI 19 PEARL GRAY; JOINT WIDTH: 3/16"
- MF1 HOT-ROLLED STEEL - BLACKENED (GUN BLUE) BY VENDOR.
FLASHING: PAINT TO MATCH (FLAT BLACK)
- AW1 AWNINGS BY VENDOR: FINISH TO MATCH MF-1

adn
ARMEI DAVIS NEWLOVE & ASSOCIATES, AIA ARCHITECTS
1330 OLYMPIC BLVD.
SANTA MONICA, CALIFORNIA 90404
PH 310 452-5533 FAX 310 450-4742

REV.	DATE	DESCRIPTION

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THESE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT WITHOUT PREJUDICE. VISUAL CONFLICT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THE RESTRICTIONS.



LOCATION
**V2660-PROTOTYPE STD.
STORE #6149**
TARRANT PKWY. & DAVIS BLVD.
N. RICHLAND HILLS, TX 76182

DATE
05/03/16

JOB NO.
16-6149

DRAWN BY
CW

CHECKED BY
PD/TJ

ELEVATIONS - HDSP 2600

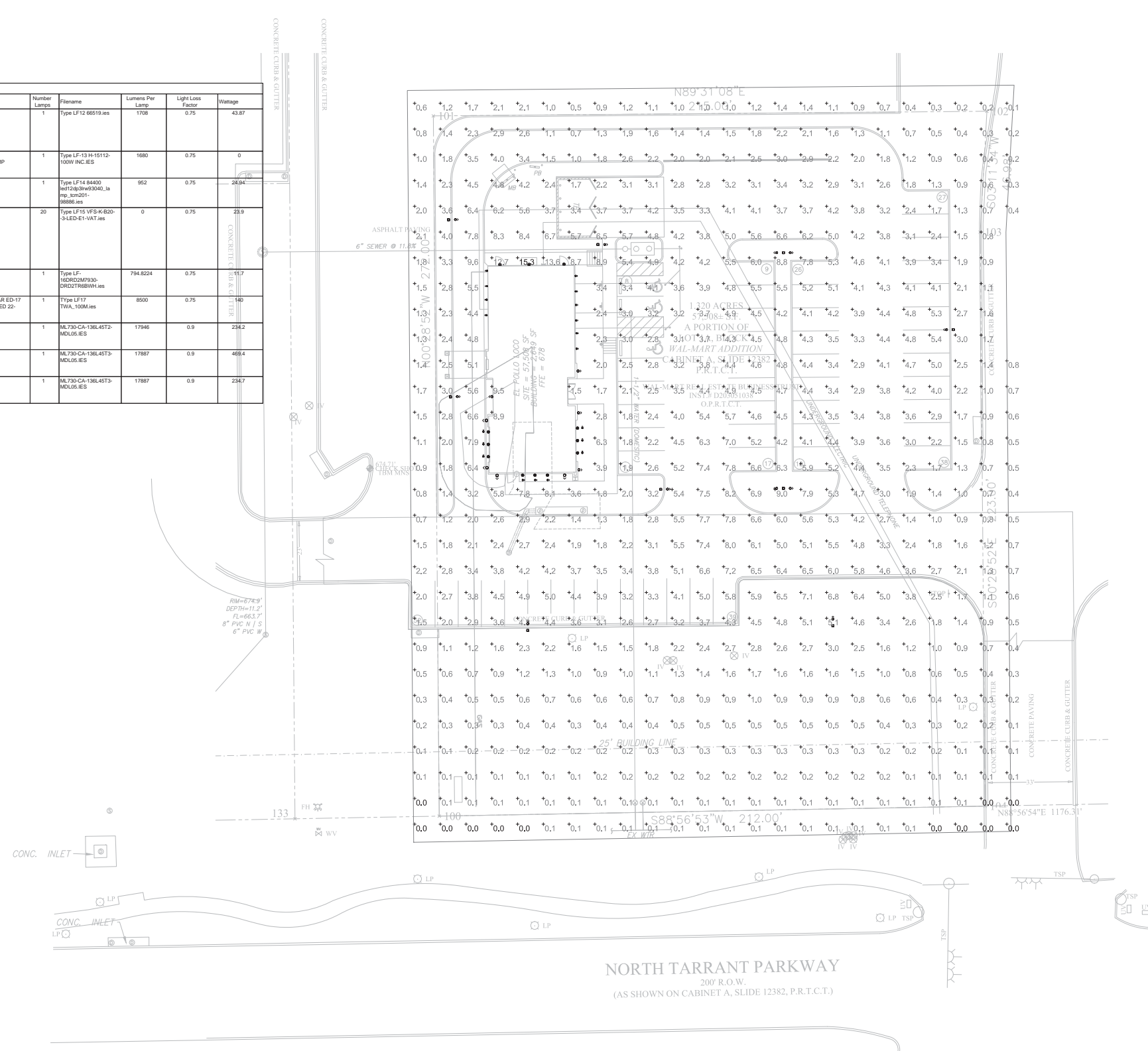
A5
7 of 18

Y:\Active Projects\El Pollo Loco\16 - EP - # 6149 North Richland Hill, TX (V2660)\Drawings\# 6149 N Richland - A4 & A5\04-4.dwg, 5/6/2016 11:14:42 AM

EXHIBIT J - EL POLLO LOCO

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Site Plan	+	2.6 fc	15.3 fc	0.0 fc	N/A	N/A

Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
⤴	LS-12	4	BEGA-US	66 519	8" L X 6" W X 21-3/4" H, 36W LED TWO SIDED WALL LUMINAIRE ONE LED MODULE WITH ONE 3000K LED ARRAY ON BOTH ENDS OF FIXTURE CLEAR TEMPERED GLASS LENS WITH ANODIZED ALUMINUM REFLECTOR		1	Type LF12 66519.ies	1708	0.75	43.87
⤴	LF-13	4	HI-LITE MANUFACTURING - WAREHOUSE	H-151-12	WITH WHITE INTERIOR AND NO LENS	ONE GE 100 WATT INCANDESCENT LAMP	1	Type LF-13 H-15112-150W INC. IES	1680	0.75	0
•	LF-14	5	GE Lighting			LED120PLRW93040	1	Type LF14 84400 led120plrw93040_la file_lm001-96866.ies	952	0.75	26.94
⊙	LF-15	9	EATON - INVUE (FORMER COOPER LIGHTING)	VFS-K-B20-3-LED-E1-VAT	ARCHITECTURAL FLOOD LUMINAIRE VERTICAL ASYMMETRIC RECTANGULAR DISTRIBUTION WITH 20 LEDs, 350mA DRIVE CURRENT ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN GONOPHOTOMETER WITH TEST DISTANCE OF 28.75 FEET		20	Type LF15 VFS-K-B20-3-LED-E1-VAT.ies	0	0.75	23.9
⤴	LF-16	9	DMP Lighting	DRD2M7930-DRD2TR8BWH	N/A	N/A	1	Type LF-16DRD2M7930-DRD2TR8BWH.ies	794.8224	0.75	11.7
⊞	LF-17	3	Lithonia Lighting	TWA 100M	GENERAL PURPOSE BUILDING MOUNTED LUMINAIRE, 100W MH, W/ METAL HALIDE, TILTED 22-DEG.	ONE 100-WATT CLEAR ED-17 METAL HALIDE, TILTED 22-DEG.	1	Type LF17 TWA_100M.ies	8500	0.75	140
⊞	S1	6	Sternberg Lighting	ML730-CA-136L45T3-MDL05	ML730 Series MILLENA Arm Mount, Black Painted, Type 2 Optic, Clear Acrylic Lens	136 LEDs	1	ML730-CA-136L45T3-MDL05.IES	17946	0.9	234.2
•	S2	2	Sternberg Lighting	ML730-CA-136L45T3-MDL05	ML730 Series MILLENA Arm Mount, Back, Type 3 Optic, Clear Acrylic	136 LEDs	1	ML730-CA-136L45T3-MDL05.IES	17887	0.9	468.4
⊞	S3	1	Sternberg Lighting	ML730-CA-136L45T3-MDL05	ML730 Series MILLENA Arm Mount, Back, Type 3 Optic, Clear Acrylic	136 LEDs	1	ML730-CA-136L45T3-MDL05.IES	17887	0.9	234.7



SITE PHOTOMETRIC PLAN
SCALE: 1" = 20'-0"



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IRVING, TEXAS 75038
TEL: 972.270.1288
WWW.IDSTUDIO4.COM

TBPE FIRM REGISTRATION# F-11678



REV.	DATE	DESCRIPTION
05.18.16		CITY CHANGES

CONTRACTOR IS RESPONSIBLE FOR REVIEW OF ALL PORTIONS OF THE CONSTRUCTION DOCUMENTS AND SHALL VERIFY ALL DIMENSIONS AND CONTROL CONDITIONS PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL NOTIFY THE CONSULTING ENGINEER IMMEDIATELY IN WRITING OF ANY DISCREPANCIES, OMISSIONS, OR CONFLICTS IN THE CONSTRUCTION DOCUMENTS PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.



LOCATION
V2660 - PROTOTYPE STD.
STORE #6149
TARRANT PKWY. & DAVIS BLVD.
NORTH RICHLAND HILLS, TEXAS 76182

DATE
04/29/16
JOB NO. 16-6149
CHECKED BY
DRAWN BY

SITE PHOTOMETRIC PLAN

E6.1