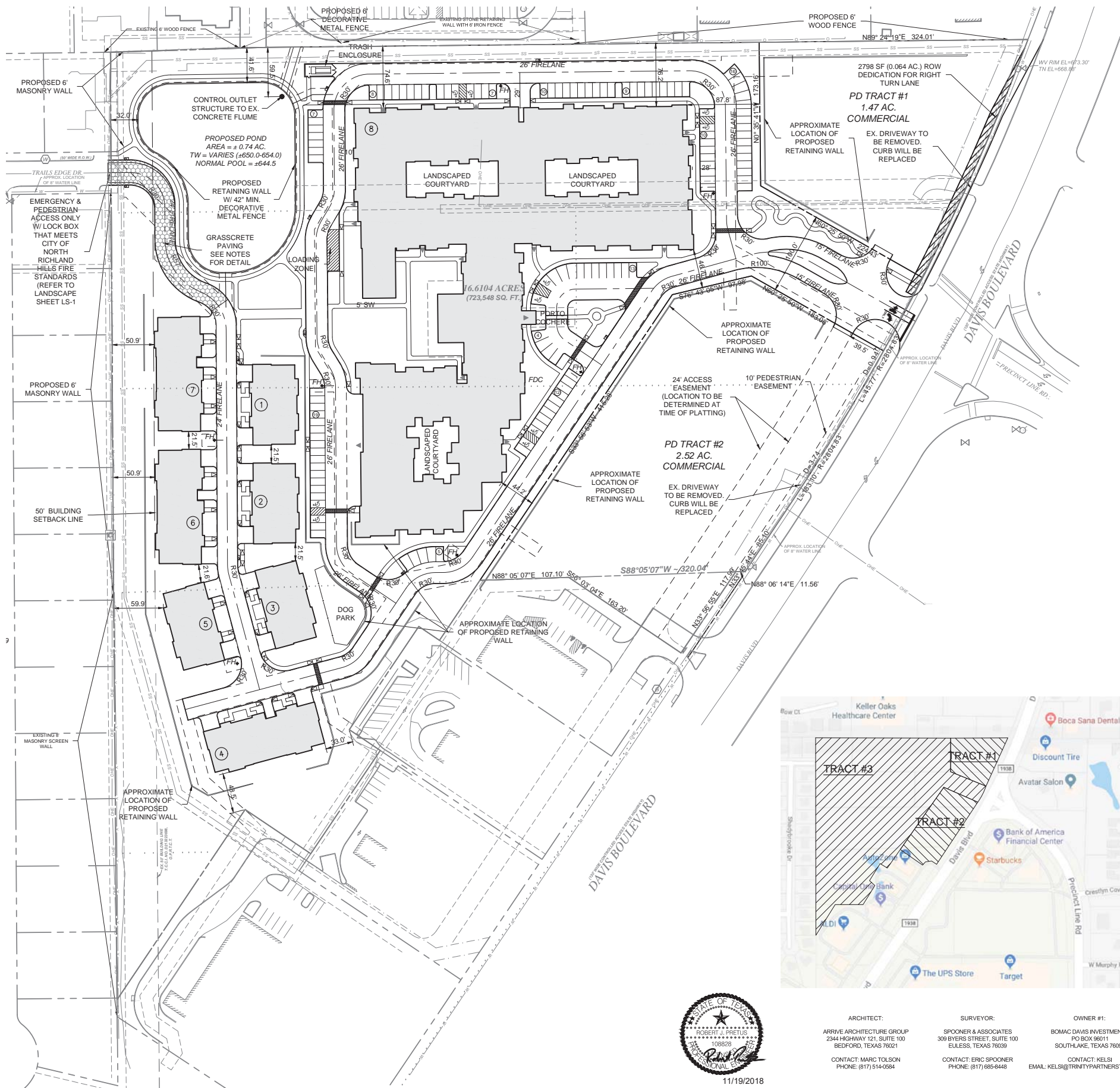


PLOTTED: 11/19/2018 2:24:34 PM

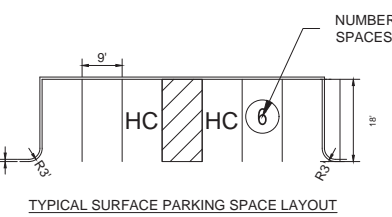
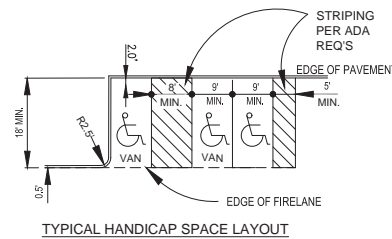
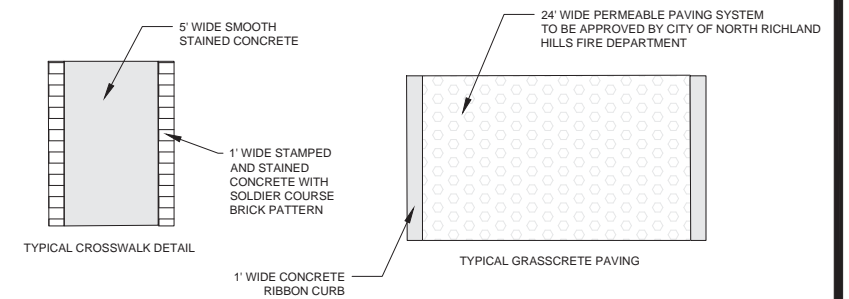
P:\HOU-Marketing\NB 54921 - IREG - NORTH RICHLAND HILLS\catd\C-SP001.dwg 11/19/2018 2:23:59 PM Pretius, Rob



PROPOSED LAND USE

- TRACT #1:**
 PROPOSED ZONING: PLANNED DEVELOPMENT
 PROPOSED USE: COMMERCIAL
 TOTAL SITE AREA - 1.47 ACRES (64,042 SQ.FT.)
 R.O.W DEDICATION - 0.0588 ACRES (2562 SQ.FT.)
 PHASE(S): COMMERCIAL TRACT WILL BE DEVELOPED AT A LATER TIME.
- TRACT #2:**
 PROPOSED ZONING: PLANNED DEVELOPMENT
 PROPOSED USE: COMMERCIAL
 TOTAL SITE AREA - 2.52 ACRES (109,843 SQ.FT.)
 PHASE(S): COMMERCIAL TRACT WILL BE DEVELOPED AT A LATER TIME.
- TRACT #3:**
 PROPOSED ZONING: PLANNED DEVELOPMENT
 PROPOSED USE: MULTIFAMILY: SENIOR INDEPENDENT LIVING
 TOTAL SITE AREA - 12.84 ACRES (559,290 SQ.FT.)
 BUILDING AREA - 3.64 ACRES (±28.4%) (158,436.5 SQ.FT.)
 PAVING AREA - 2.75 ACRES (±21.4%) (119,878.8 SQ.FT.)
 (INCLUDES FIRE LANES, DRIVE AISLES AND SURFACE PARKING)
 TOTAL OPEN SPACE - 6.45 ACRES (±50.2%) (280,962 SQ.FT.)
 MAXIMUM DENSITY - 24.0 UNITS/ACRE
 TOTAL NUMBER OF UNITS - 228 UNITS
 NUMBER OF BEDROOMS:
 ONE BEDROOM - 104 UNITS (±53.1%)
 TWO BEDROOM - 112 UNITS (±41.2%)
 THREE BEDROOM - 12 UNITS (±5.7%)
 AVERAGE UNIT SIZE: ±1049 SQ.FT.
 NOTE: FINAL UNIT MIX MAY VARY ±10% BASED ON MARKET CONDITIONS AT TIME OF DEVELOPMENT.
 PHASE(S): PROJECT WILL BE DEVELOPED IN ONE PHASE
 REQUIRED PARKING RATIO: 1.20 SPACES / UNIT
TRACT #3 TOTAL PARKING PROVIDED:
 120 - SURFACE SPACES (±41.2%)
 (OF WHICH 10 SPACES ARE HC ACCESSIBLE)
 31 - DIRECT GARAGE SPACES (±10.7%)
 8 - TUCK UNDER GARAGE (±2.75%)
 132 - PODIUM SPACES (±45.3%)
 291 - TOTAL SPACE PROVIDED, 1.28 SPACES/UNIT @ 228 UNITS

- NOTES:**
 1. ALL INNER TURN RADI OF FIRE LANES MEASURED TO BE 30' TO THE FACE OF THE CURB.
 2. ALL SIDEWALKS TO BE 5' WIDE UNLESS NOTED OTHERWISE.
 3. A PEDESTRIAN ACCESS EASEMENT FROM TRAILS END DR TO DAVIS BLVD ALONG A ROUTE LOCATED ON THE NORTH SIDE OF THE SITE WILL BE INCLUDED AT TIME OF PLATTING.



PD CONCEPT PLAN
 for
 a Planned Development
 with 3 Tracts:
 Tract #1: Commercial
 1.47 acres
 Tract #2: Commercial
 2.52 acres
 Tract #3: Multifamily
 for Senior Housing / Independent Living
 12.84 acres
 IN
 NORTH RICHLAND HILLS, TARRANT COUNTY, TEXAS

BURGESS & NIPLE

10701 CORPORATE DR., SUITE 118, STAFFORD, TX 77477
 PHONE: (281) 980-7705
 TBPE FIRM REGISTRATION NO. F-10834



11/19/2018

ARCHITECT:
 ARRIE ARCHITECTURE GROUP
 2344 HIGHWAY 121, SUITE 100
 BEDFORD, TEXAS 76021
 CONTACT: MARC TOLSON
 PHONE: (817) 514-0584

SURVEYOR:
 SPOONER & ASSOCIATES
 309 BYERS STREET, SUITE 100
 EULESS, TEXAS 76039
 CONTACT: ERIC SPOONER
 PHONE: (817) 685-8448

OWNER #1:
 BOMAC DAVIS INVESTMENTS
 PO BOX 96011
 SOUTHLAKE, TEXAS 76092
 CONTACT: KELSI
 EMAIL: KELSI@TRINITYPARTNERSTEXAS.COM

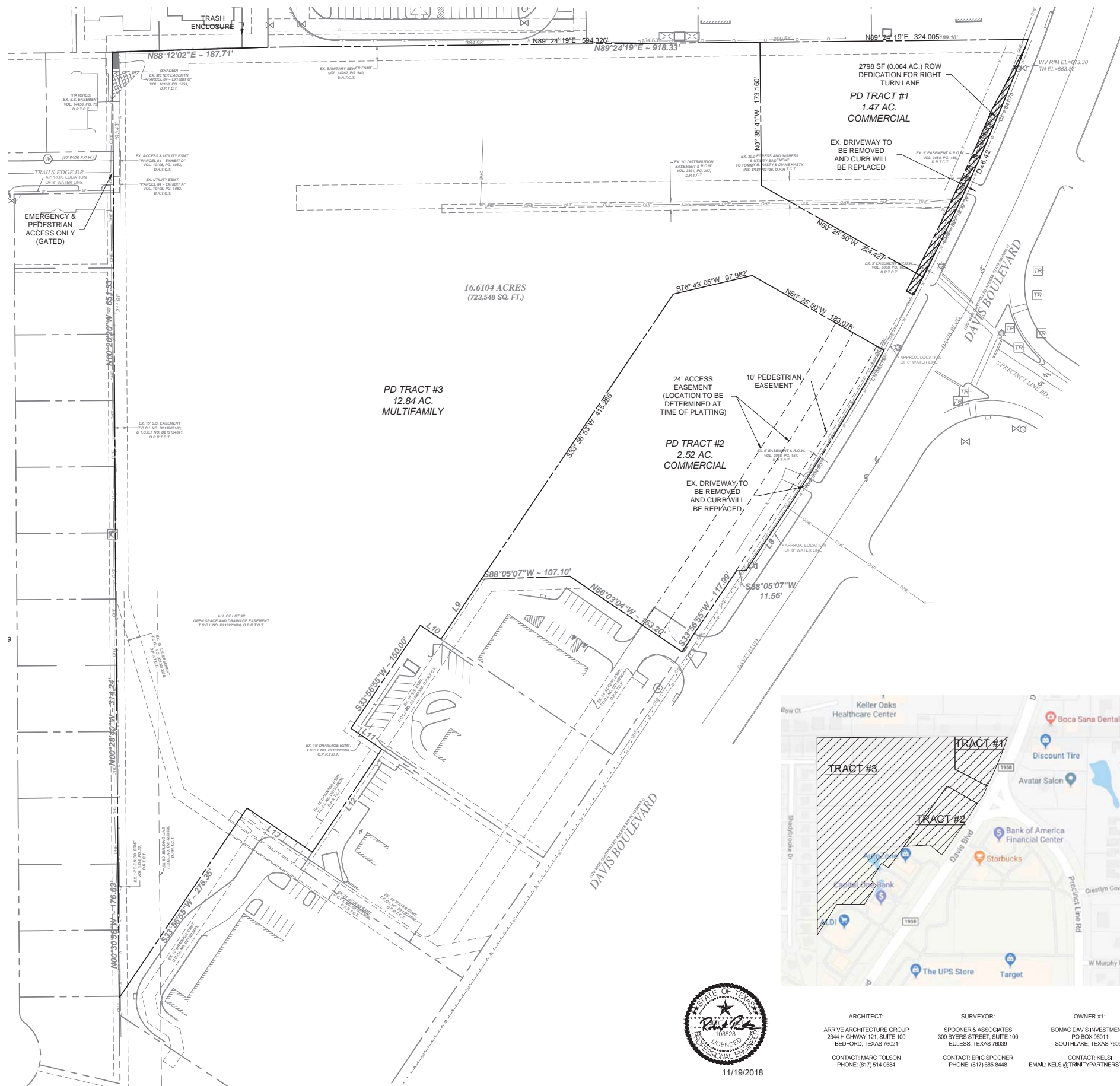
OWNER #2:
 INTEGRATED FM 1938 HOLDINGS, LP
 3110 W. SOUTHLAKE BLVD., SUITE 120
 SOUTHLAKE, TEXAS 76092
 CONTACT: PAUL MILOSEVICH
 PHONE: (817) 742-1851 x45

APPLICANT:
 INTEGRATED REAL ESTATE GROUP
 3110 W. SOUTHLAKE BLVD., SUITE 120
 SOUTHLAKE, TEXAS 76092
 CONTACT: PAUL MILOSEVICH
 PHONE: (817) 742-1851 x45

CASE # ZC2018-15

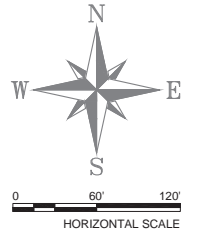
PLOTTED: 11/19/2018 2:51:07 PM

P:\HOU-Marketing\NB 54921 - IREG - NORTH RICHLAND HILLS\catd\C-20001.dwg 11/19/2018 2:50:27 PM Plemis, Rob



PROPOSED LAND USE

- TRACT #1:**
 PROPOSED ZONING: PLANNED DEVELOPMENT
 PROPOSED USE: COMMERCIAL
 TOTAL SITE AREA - 1.47 ACRES (64,042 SQ.FT.)
 PHASE(S): COMMERCIAL TRACT WILL BE DEVELOPED AT A LATER TIME.
- TRACT #2:**
 PROPOSED ZONING: PLANNED DEVELOPMENT
 PROPOSED USE: COMMERCIAL
 TOTAL SITE AREA - 2.52 ACRES (109,843 SQ.FT.)
 PHASE(S): COMMERCIAL TRACT WILL BE DEVELOPED AT A LATER TIME.
- TRACT #3:**
 PROPOSED ZONING: PLANNED DEVELOPMENT
 PROPOSED USE: MULTIFAMILY: SENIOR INDEPENDENT LIVING
 TOTAL SITE AREA - 12.84 ACRES (559,290 SQ.FT.)
 BUILDING AREA - 3.84 ACRES (±28.4%) (158,436.5 SQ.FT.)
 PAVING AREA - 2.75 ACRES (±21.4%) (119,878.8 SQ.FT.)
 (INCLUDES FIRE LANES, DRIVE AISLES AND SURFACE PARKING)
 TOTAL OPEN SPACE - 6.45 ACRES (±50.2%) (280,962 SQ.FT.)
 MAXIMUM DENSITY - 24.0 UNITS/ACRE
 TOTAL NUMBER OF UNITS - 228 UNITS
 NUMBER OF BEDROOMS:
 ONE BEDROOM - 104 UNITS (±43.1%)
 TWO BEDROOM - 112 UNITS (±41.2%)
 THREE BEDROOM - 12 UNITS (±5.7%)
 AVERAGE UNIT SIZE: ±1049 SQ.FT.
 NOTE: FINAL UNIT MIX MAY VARY ±10% BASED ON MARKET CONDITIONS AT TIME OF DEVELOPMENT.
 PHASE(S): PROJECT WILL BE DEVELOPED IN ONE PHASE
 REQUIRED PARKING RATIO: 1.20 SPACES / UNIT
TRACT #3 TOTAL PARKING PROVIDED:
 120 - SURFACE SPACES (±41.2%)
 (OF WHICH 10 SPACES ARE HC ACCESSIBLE)
 31 - DIRECT GARAGE SPACES (±10.7%)
 8 - TUCK UNDER GARAGE (±2.75%)
 132 - PODIUM SPACES (±45.3%)
 291 - TOTAL SPACE PROVIDED, 1.28 SPACES/UNIT @ 228 UNITS



ZONING EXHIBIT
 for
 a Planned Development
 with 3 Tracts:
 Tract #1: Commercial
 1.47 acres
 Tract #2: Commercial
 2.52 acres
 Tract #3: Multifamily
 for Senior Housing / Independent Living
 12.84 acres
 IN
 NORTH RICHLAND HILLS, TARRANT COUNTY, TEXAS

BURGESS & NIPLE

10701 CORPORATE DR., SUITE 118, STAFFORD, TX 77477
 PHONE: (281) 980-7705
 TBPE FIRM REGISTRATION NO. F-10834

CASE # ZC2018-15



11/19/2018

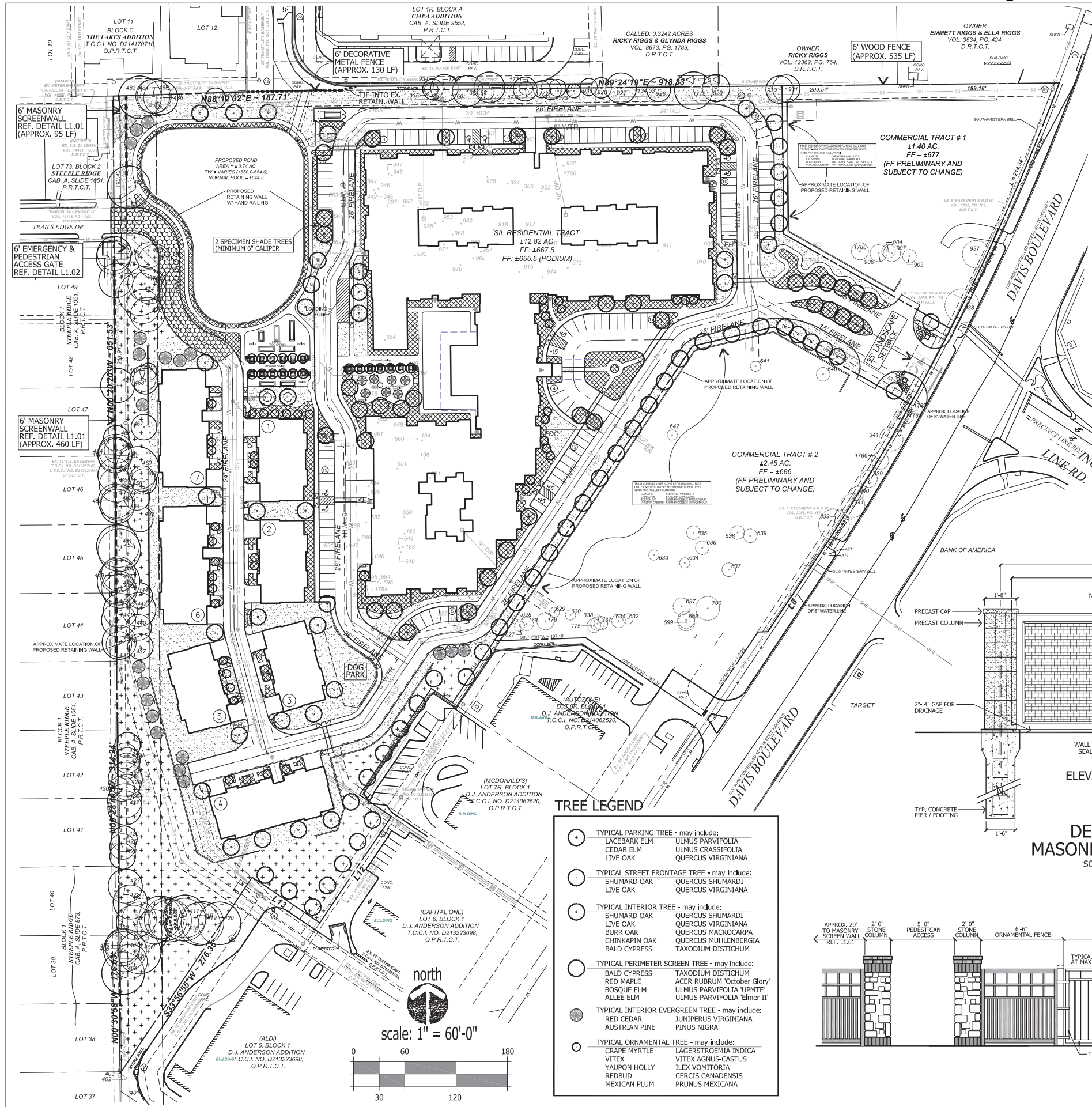
ARCHITECT:
 ARRIVE ARCHITECTURE GROUP
 2344 HIGHWAY 121, SUITE 100
 BEDFORD, TEXAS 76021
 CONTACT: MARC TOLSON
 PHONE: (817) 514-0584

SURVEYOR:
 SPOONER & ASSOCIATES
 309 BYERS STREET, SUITE 100
 EULESS, TEXAS 76039
 CONTACT: ERIC SPOONER
 PHONE: (817) 685-8448

OWNER #1:
 BOMAC DAVIS INVESTMENTS
 PO BOX 96011
 SOUTHLAKE, TEXAS 76092
 CONTACT: KELSI
 EMAIL: KELSI@TRINITYPARTNERSTEXAS.COM

OWNER #2:
 INTEGRATED FM 1938 HOLDINGS, LP
 3110 W. SOUTHLAKE BLVD., SUITE 120
 SOUTHLAKE, TEXAS 76092
 CONTACT: PAUL MILOSEVICH
 PHONE: (817) 742-1851 x45

APPLICANT:
 INTEGRATED REAL ESTATE GROUP
 3110 W. SOUTHLAKE BLVD., SUITE 120
 SOUTHLAKE, TEXAS 76092
 CONTACT: PAUL MILOSEVICH
 PHONE: (817) 742-1851 x45



LANDSCAPE REQUIREMENTS

MINIMUM 15% SITE SHALL BE LANDSCAPE
 TOTAL SITE 558,439 SF
 REQUIRED 83,766 SF (15%)
 PROVIDED 197,641 SF (35.39%)

LANDSCAPE SETBACK
 MIN. 15' REQUIRED AND PROVIDED
 1 TREE REQUIRED PER 50 LF
 100' = 2 TREES REQUIRED
 50' = 2 TREES PROPOSED
 10 SHRUBS REQUIRED PER 50 LF
 100' = 2 x 10 = 20 SHRUBS REQUIRED
 50' = 20 SHRUBS PROVIDED

PARKING LANDSCAPE
 PARKING LOTS SHALL BE SCREENED FROM R.O.W.
 MIN. 5% LANDSCAPE SHALL BE PROVIDED
 IN PARKING LOTS
 90,679 SF x 5% = 4,534 SF REQUIRED
 8,654 SF PROVIDED (9.54%)

PARKING LANDSCAPE
 1 LARGE TREE REQUIRED PER 20 SPACES and
 EACH SPACE WITHIN 100' OF TREE
 122 SPACES = 6.1 = 7 TREES REQUIRED
 20 = 18 TREES PROPOSED

RESIDENTIAL BUFFER
 6' MASONRY SCREEN WALL +
 1 LARGE TREE REQUIRED PER 30 LF
 WEST P.L.
 1142 LF = 38.1 = 39 LARGE TREES REQUIRED
 71 EXISTING TREES +
 30 = 8 EVERGREENS PROVIDED

LANDSCAPE LEGEND

COMMON BERMUDA SOD (CYNODON DACTYLON)
 COMMON BERMUDA SEEDING (CYNODON DACTYLON)
 TYPICAL LANDSCAPE BED

SOD INSTALLATION NOTES:
 a. ALL SUBGRADE SHALL BE ACCEPTED AT ROUGH FINISH GRADE. IF ANY EXISTING VEGETATION IS EVIDENT, LANDSCAPE CONTRACTOR SHALL SPRAY AREA WITH BROAD SPECTRUM HERBICIDE APPLICATION TO REMOVE ANY VEGETATION.
 b. AFTER APPROPRIATE TIME TO ENSURE A VEGETATION IS DEAD, TILL SUBGRADE AND RAKE SMOOTH, REMOVING ALL DEAD VEGETATION, STONES, CLODS AND DEBRIS.
 c. SOD SHALL BE VIGOROUS, WELL-ROOTED AND SHALL BE DELIVERED AT A UNIFORM SOIL THICKNESS.
 d. SOD SHALL BE LAID WITH ALTERNATING JOINTS.
 e. ALL SOD SHALL BE ROLLED TO CONSISTENT SURFACE, FILLING JOINTS WITH COARSE SAND AS REQUIRED.

HYDROMULCH INSTALLATION NOTES:
 a. ALL SUBGRADE SHALL BE ACCEPTED AT ROUGH FINISH GRADE. IF ANY EXISTING VEGETATION IS EVIDENT, LANDSCAPE CONTRACTOR SHALL SPRAY AREA WITH BROAD SPECTRUM HERBICIDE APPLICATION TO REMOVE ANY VEGETATION. **DO NOT APPLY HERBICIDE BENEATH DRIP LINES OF ANY EXISTING TREES TO REMAIN.
 b. AFTER APPROPRIATE TIME TO ENSURE A VEGETATION IS DEAD, TILL SUBGRADE AND RAKE SMOOTH, REMOVING ALL DEAD VEGETATION, STONES, CLODS AND DEBRIS.
 c. SEED SHALL BE HULLED, TREATED LAWN-TYPE SEED, DELIVERED TO SITE IN ORIGINAL SEALED CONTAINERS. MINIMUM PURITY GERMINATION SHALL BE 90%.
 d. FERTILIZER SHALL BE COMPLETE FERTILIZER, DRT, FREE-FLOWING, AND BALANCED IN COMPOSITION, CONFORMING TO ALL STATE LAWS.
 e. ALL SEEDING AREAS SHALL BE IRRIGATED BY TEMPORARY MEASURES TO BE DETERMINED BY CONTRACTOR TO ACHIEVE 90% GERMINATION AND TWO SUBSEQUENT MOWINGS.

TYPICAL LANDSCAPE BED
 a. PLANTING DESIGN TO BE DETERMINED. BEDS MAY INCLUDE ORNAMENTAL TREES, SHRUBS, GROUND COVER, ANNUALS, DECORATIVE GRAVEL, AND/OR DECOMPOSED GRANITE.
 b. ALL LANDSCAPE AREAS SHALL BE WATERED WITH AUTOMATIC IRRIGATION SYSTEM, COMPLETE WITH FREEZE SENSOR, RAIN STAT, AND CONTROLLER. SYSTEM SHALL BE DESIGNED TO UTILIZE WATER-SAVING TECHNIQUES AND EQUIPMENT. INSTALLATION OF SYSTEM SHALL BE MADE BY A DULY LICENSED UNDER ARTICLE NO. 8751 VTCS (LICENSED IRRIGATORS ACT), S.B. NO. 259.

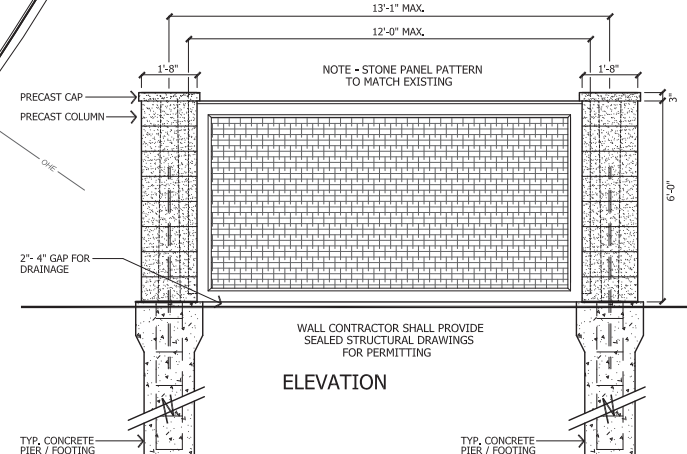
apr. by: _____
 drawn by: _____
 date: 06-29-18

revisions
 09-04-18
 09-10-18
 10-09-18
 11-15-18

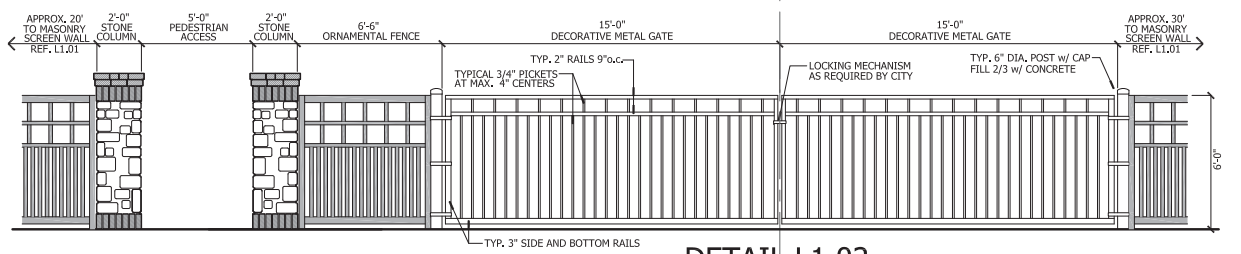
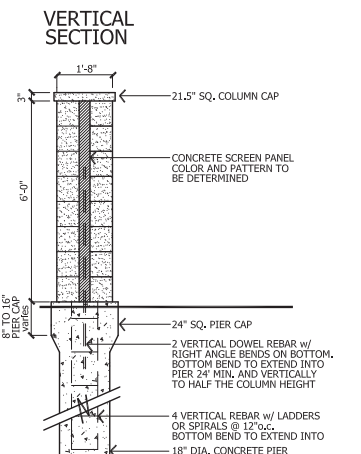
Leeming Design Group
 Landscape Architecture
 4913 Red Stone Drive, Suite 100-B, North Richland Hills, Texas 76186
 (817) 572-8889 Fax: (817) 572-8886
 leemingdesigngroup.com

TREE LEGEND

- TYPICAL PARKING TREE - may include:
 LACEBARK ELM
 CEDAR ELM
 LIVE OAK
 ULMUS PARVIFOLIA
 ULMUS CRASSIFOLIA
 QUERCUS VIRGINIANA
- TYPICAL STREET FRONTAGE TREE - may include:
 SHUMARD OAK
 LIVE OAK
 QUERCUS SHUMARDI
 QUERCUS VIRGINIANA
- TYPICAL INTERIOR TREE - may include:
 SHUMARD OAK
 LIVE OAK
 BURR OAK
 CHINKAPIN OAK
 BALD CYPRESS
 QUERCUS SHUMARDI
 QUERCUS VIRGINIANA
 QUERCUS MACROCARPA
 QUERCUS MULHENBERGIA
 TAXODIUM DISTICHUM
- TYPICAL PERIMETER SCREEN TREE - may include:
 BALD CYPRESS
 RED MAPLE
 BOSQUE ELM
 ALLEE ELM
 TAXODIUM DISTICHUM
 ACER RUBRUM 'October Glory'
 ULMUS PARVIFOLIA 'UPMIF'
 ULMUS PARVIFOLIA 'Elmer II'
- TYPICAL INTERIOR EVERGREEN TREE - may include:
 RED CEDAR
 AUSTRIAN PINE
 PINUS NIGRA
 JUNIPERUS VIRGINIANA
- TYPICAL ORNAMENTAL TREE - may include:
 CRAPE MYRTLE
 VITEX
 YAUPOIN HOLLY
 REDBUD
 MEXICAN PLUM
 LAGERSTROEMIA INDICA
 VITEX AGNUS-CASTUS
 ILEX VOMITORIA
 CERCIS CANADENSIS
 PRUNUS MEXICANA



DETAIL L1.01 MASONRY SCREEN WALL
 SCALE: 3/8" = 1'-00"



DETAIL L1.02 EMERGENCY GATE ELEVATION
 SCALE: 1/4" = 1'-0"

CASE NUMBER ZC 2018-15

WATERMERE on the PRESERVE
 DAVIS BLVD.
 NORTH RICHLAND HILLS, TEXAS

file name:
 c:\NHH\Watermere\lq-case-Watermere.dwg

sheet
LS-1

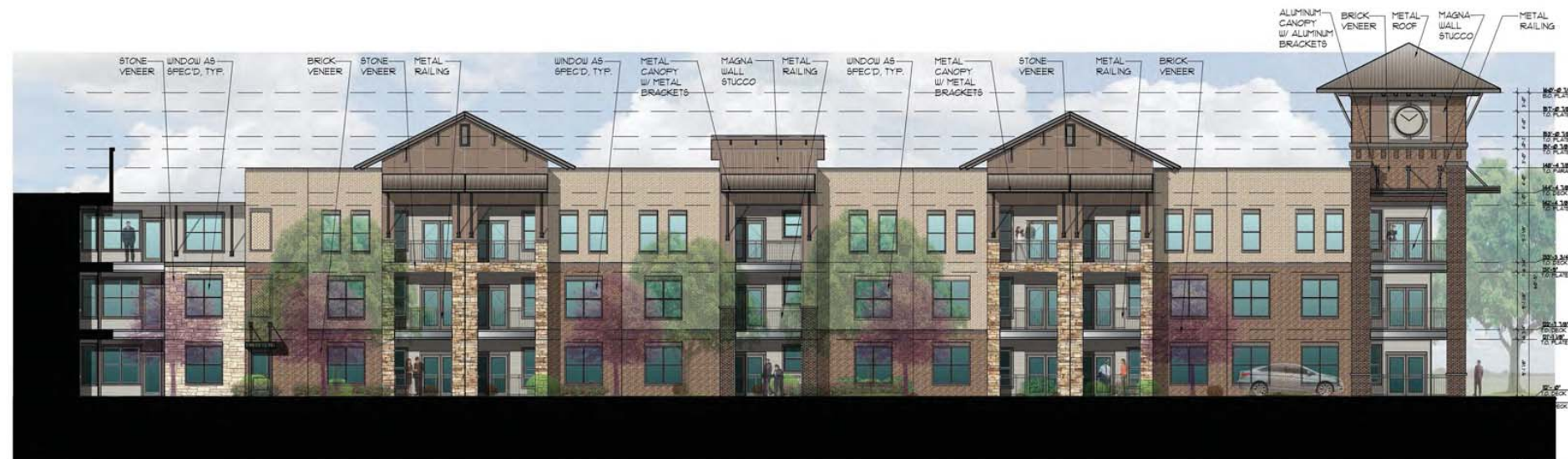
SITE LANDSCAPE PLAN

Tuesday, August 28, 2018 11:52:22 AM



01 EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"

MATERIAL	%
BRICK	49%
STONE	22%
STUCCO	15%
FIBER CEMENT SIDING/PANELS	14%
TOTAL	100%



02 EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"

MATERIAL	%
BRICK	62%
STONE	12%
STUCCO	17%
FIBER CEMENT SIDING/PANELS	09%
TOTAL	100%



03 EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"

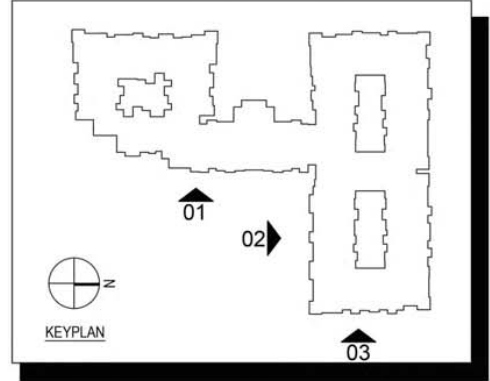
MATERIAL	%
BRICK	57%
STONE	15%
STUCCO	14%
FIBER CEMENT SIDING/PANELS	14%
TOTAL	100%

MATERIAL LEGEND

- BRICK VENEER MANUFACTURER: ACME BRICK
 - BRICK VENEER FIELD COLOR COLOR: T.B.D
 - BRICK VENEER ACCENT COLOR COLOR: T.B.D
- MAGNA WALL STUCCO
 - MAGNA WALL STUCCO FIELD COLOR COLOR: T.B.D
 - MAGNA WALL STUCCO ACCENT COLOR COLOR: T.B.D
- HARDI-PANEL JAMES HARDIE FIBER CEMENT PANELS OR EQUAL
 - HARDI-PANEL FIELD COLOR COLOR: T.B.D
 - HARDI-PANEL ACCENT COLOR COLOR: T.B.D
- HARDI-SIDING JAMES HARDIE FIBER CEMENT PANELS OR EQUAL
 - HARDI-SIDING FIELD COLOR COLOR: T.B.D
 - HARDI-SIDING ACCENT COLOR COLOR: T.B.D
- NICHHA PANELS NICHHA USA INC.
 - NICHHA FIELD COLOR COLOR: T.B.D
 - NICHHA ACCENT COLOR COLOR: T.B.D
- METAL PANELS BERRIDGE METAL PANELS
 - PANELS FIELD COLOR COLOR: T.B.D
 - METAL PANELS TRIM/ACCENT COLOR COLOR: T.B.D
- COMPOSITION ROOF
 - FIBERGLASS COMPOSITION ROOF COLOR: T.B.D
- METAL ROOF
 - STANDING BEAM METAL ROOF COLOR: T.B.D
- METAL RAILING
 - MESH METAL RAILING COLOR: T.B.D
- METAL RAILING

NOTES:

- ALL MATERIAL TRANSITIONS TO OCCUR AT INSIDE CORNERS PER SHEET A10.01.
- FOR VERTICAL AND HORIZONTAL TRANSITION DETAILS REF. TO A10.02
- BRICK EXPANSION JOINTS TO BE LOCATED AT EVERY INSIDE CORNER PER A10.01, AT RUNS LONGER THAN 20'-0". PROVIDE EXPANSION JOINT A CENTER OF RUN, MAX 20'-0".
- STUCCO CONTROL JOINT TO BE NO GREATER THAN 18'-0", IN EITHER DIRECTION. NO STUCCO SECTION TO EXCEED 144 SF FOR VERTICAL APPLICATIONS, OR 100 SF FOR HORIZONTAL, CURVED, OR ANGULAR SECTIONS.



WATERMERE ON THE PRESERVE
NORTH RICHLAND HILLS, TEXAS

ARRIVE ARCHITECTURE GROUP
Architecture Planning Project Management
2344 Highway 121 - Suite 100 - Bedford, Texas 76021 - www.ArriveAG.com
PH: 817.514.0584 - FX: 817.514.0584

REV	DATE	BY	CHKD

DRAWN BY: AAG	CHECKED BY: JMT
PLT DATE: 8/28/2018	REV DATE: 06/25/18
WARRANTY DATE: 06/25/18	PROJECT NUMBER: A5.01
ISSUED FOR: City Submittal	SHEET NO: A5.01
SCALE: AS NOTED	

A5.01 EXTERIOR ELEVATIONS
X:\Integrated Realty\Integrated Real Estate Group\Watermere at NorthRichlandHills\Architecture\Watermere at NRH\Drawings\Architecture\Watermere at NRH\Sheets\A5.01 Exterior Elevations.dwg

Friday, October 12, 2018 10:21:18 AM



MATERIAL	%
BRICK	44%
STONE	06%
STUCCO	35%
FIBER CEMENT SIDING/PANELS	15%
TOTAL	100%

01 EXTERIOR ELEVATION
SCALE 3/32" = 1'-0"



02 EXTERIOR ELEVATION
SCALE 3/32" = 1'-0"

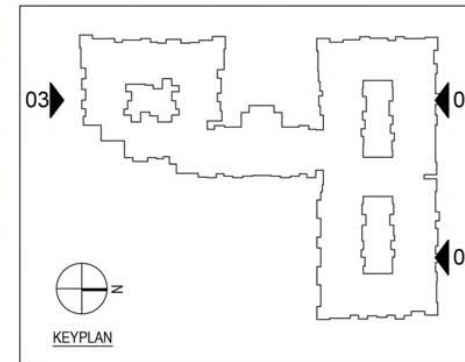


03 EXTERIOR ELEVATION
SCALE 3/32" = 1'-0"

MATERIAL	%
BRICK	55%
STONE	18%
STUCCO	14%
FIBER CEMENT SIDING/PANELS	13%
TOTAL	100%

MATERIAL LEGEND	
	BRICK VENEER MANUFACTURER: ACME BRICK BRICK VENEER FIELD COLOR BRICK VENEER ACCENT COLOR
	MAGNA WALL STUCCO MAGNA WALL STUCCO FIELD COLOR MAGNA WALL STUCCO ACCENT COLOR
	HARDI-PANEL JAMES HARDIE FIBER CEMENT PANELS OR EQUAL HARDI-PANEL FIELD COLOR HARDI-PANEL ACCENT COLOR
	HARDI-SIDING JAMES HARDIE FIBER CEMENT PANELS OR EQUAL HARDI-SIDING FIELD COLOR HARDI-SIDING ACCENT COLOR
	NICHIHA PANELS NICHIHA USA INC. NICHIHA FIELD COLOR NICHIHA ACCENT COLOR
	METAL PANELS BERRIDGE METAL PANELS METAL PANELS FIELD COLOR METAL PANELS TRIM/ACCENT COLOR
	COMPOSITION ROOF FIBERGLASS COMPOSITION ROOF
	METAL ROOF STANDING SEAM METAL ROOF
	METAL RAILING MESH METAL RAILING
	METAL RAILING

NOTES:
 1. ALL MATERIAL TRANSITIONS TO OCCUR AT INSIDE CORNERS PER SHEET A10.01.
 2. FOR VERTICAL AND HORIZONTAL TRANSITION DETAILS REF. TO A10.02.
 3. BRICK EXPANSION JOINTS TO BE LOCATED AT EVERY INSIDE CORNER PER A10.01; AT RUNS LONGER THAN 20'-0" PROVIDE EXPANSION JOINT A CENTER OF RUN, MAX 20'-0".
 4. STUCCO CONTROL JOINT TO BE NO GREATER THAN 18'-0", IN EITHER DIRECTION. NO STUCCO SECTION TO EXCEED 144 SF FOR VERTICAL APPLICATIONS; OR 100 SF FOR HORIZONTAL, CURVED, OR ANGULAR SECTIONS.



A5.02 EXTERIOR ELEVATION

WATERMERE ON THE PRESERVE
NORTH RICHLAND HILLS, TEXAS

Architecture
Planning
Project Management

ARRIVE
ARCHITECTURE GROUP

2344 Highway 121 - Suite 100 - Bedford, Texas 76021 - www.ArriveAG.com
PH: 817.514.0584 - FX: 817.514.0594

SEAL

REVISION

DRAWN BY AAG	CHECKED BY JMT
PLotted DATE 10/12/2018	REV. DATE
ISSUED FOR City Submittal	PROJECT NUMBER
SCALE AS NOTED	SHEET NO. A5.02

Sunday, October 14, 2018 12:08:57 PM

AS.03 EXTERIOR ELEVATION
X:\Integrated Realty\Integrated Real Estate Group\Watermere at NRR\Drawings\Architecture\Watermere at NRR\Views\Elevations\Elevation Base.dwg



MATERIAL	%
BRICK	63%
STONE	07%
STUCCO	25%
FIBER CEMENT SIDING/PANELS	05%
TOTAL	100%

01 EXTERIOR ELEVATION
SCALE 3/32" = 1'-0"



MATERIAL	%
BRICK	50%
STONE	20%
STUCCO	19%
FIBER CEMENT SIDING/PANELS	11%
TOTAL	100%

02 EXTERIOR ELEVATION
SCALE 3/32" = 1'-0"

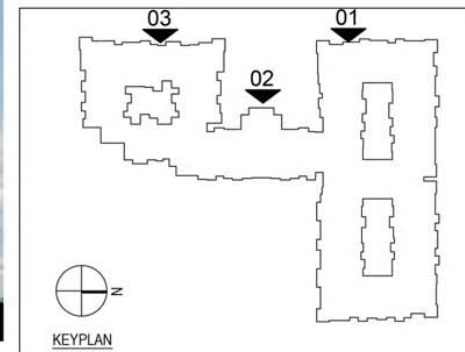


MATERIAL	%
BRICK	63%
STONE	07%
STUCCO	23%
FIBER CEMENT SIDING/PANELS	07%
TOTAL	100%

03 EXTERIOR ELEVATION
SCALE 3/32" = 1'-0"

MATERIAL LEGEND	
	BRICK VENEER MANUFACTURER: ACME BRICK BRICK VENEER FIELD COLOR COLOR: T.B.D BRICK VENEER ACCENT COLOR COLOR: T.B.D
	MAGNA WALL STUCCO MAGNA WALL STUCCO FIELD COLOR COLOR: T.B.D MAGNA WALL STUCCO ACCENT COLOR COLOR: T.B.D
	HARDI-PANEL JAMES HARDIE FIBER CEMENT PANELS OR EQUAL HARDI-PANEL FIELD COLOR COLOR: T.B.D HARDI-PANEL ACCENT COLOR COLOR: T.B.D
	HARDI-SIDING JAMES HARDIE FIBER CEMENT PANELS OR EQUAL HARDI-SIDING FIELD COLOR COLOR: T.B.D HARDI-SIDING ACCENT COLOR COLOR: T.B.D
	NICHIHA PANELS NICHIHA USA INC. NICHIHA FIELD COLOR COLOR: T.B.D NICHIHA ACCENT COLOR COLOR: T.B.D
	METAL PANELS BERRIDGE METAL PANELS PANELS FIELD COLOR COLOR: T.B.D METAL PANELS TRIM/ACCENT COLOR COLOR: T.B.D
	COMPOSITION ROOF FIBERGLASS COMPOSITION ROOF COLOR: T.B.D
	METAL ROOF STANDING SEAM METAL ROOF COLOR: T.B.D
	METAL RAILING MESH METAL RAILING COLOR: T.B.D
	METAL RAILING

NOTES:
 1. ALL MATERIAL TRANSITIONS TO OCCUR AT INSIDE CORNERS PER SHEET A10.01.
 2. FOR VERTICAL AND HORIZONTAL TRANSITION DETAILS REF. TO A10.02.
 3. BRICK EXPANSION JOINTS TO BE LOCATED AT EVERY INSIDE CORNER PER A10.01, AT RUNS LONGER THAN 20'-0". PROVIDE EXPANSION JOINT A CENTER OF RUN, MAX 20'-0".
 4. STUCCO CONTROL JOINT TO BE NO GREATER THAN 18'-0", IN EITHER DIRECTION. NO STUCCO SECTION TO EXCEED 144 SF FOR HORIZONTAL APPLICATIONS, OR 100 SF FOR VERTICAL, CURVED, OR ANGULAR SECTIONS.



WATERMERE ON THE PRESERVE
NORTH RICHLAND HILLS, TEXAS

Architecture
Planning
Project Management

ARRIVE
ARCHITECTURE GROUP

2344 Highway 121 - Suite 100 - Bedford, Texas 76021 - www.ArriveAG.com
PH: 817.514.0584 - FX: 817.514.0594

REVISION	

DRAWN BY: AAG	CHECKED BY: JMT
DATE: 10/14/2018	REV. DATE:
ISSUED FOR: City Submittal	PROJECT NUMBER:
SCALE: AS NOTED	SHEET NO: A5.03

Monday, August 27, 2018 10:40:57 AM

A5.07 VILLA ELEVATION
X:\Integrated Realty\Integrated Real Estate Group\Watermere at NRH\Drawings\Architecture\Watermere at NRH\Views\Elevations\Villa Elevations.dwg



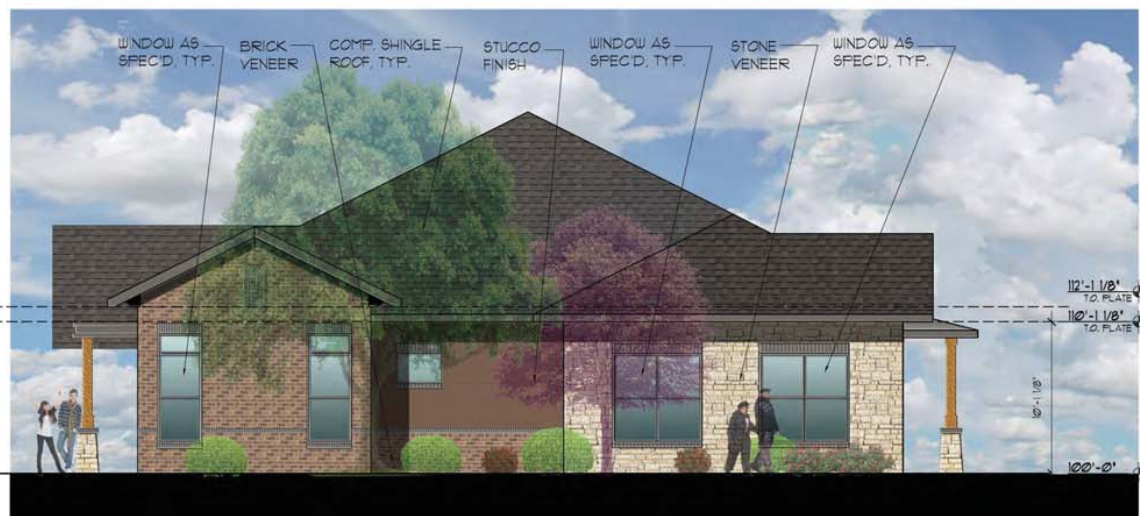
MATERIAL	%
BRICK	49%
STONE	47%
STUCCO	02%
FIBER CEMENT SIDING/PANELS	02%
TOTAL	100%

01 VILLA-1 - FRONT EXTERIOR ELEVATIONS
SCALE 3/8" = 1'-0"
(2-UNIT VILLA)



MATERIAL	%
BRICK	43%
STONE	40%
STUCCO	02%
FIBER CEMENT SIDING/PANELS	15%
TOTAL	100%

02 VILLA - BACK EXTERIOR ELEVATIONS
SCALE 3/8" = 1'-0"
(2-UNIT VILLA)



MATERIAL	%
BRICK	45%
STONE	34%
STUCCO	19%
FIBER CEMENT SIDING/PANELS	02%
TOTAL	100%

03 VILLA - SIDE EXTERIOR ELEVATIONS
SCALE 3/8" = 1'-0"
(2-UNIT VILLA)



04 VILLA - SIDE EXTERIOR ELEVATIONS
SCALE 3/8" = 1'-0"
(2-UNIT VILLA)

A5.07 VILLA ELEVATION

WATERMERE ON THE PRESERVE
NORTH RICHLAND HILLS, TEXAS

ARRIVE
ARCHITECTURE GROUP

Architecture
Planning
Project Management

2344 Highway 121 - Suite 100 - Bedford, Texas 76021 - www.ArriveAG.com
PH: 817.514.0584 - FX: 817.514.0694

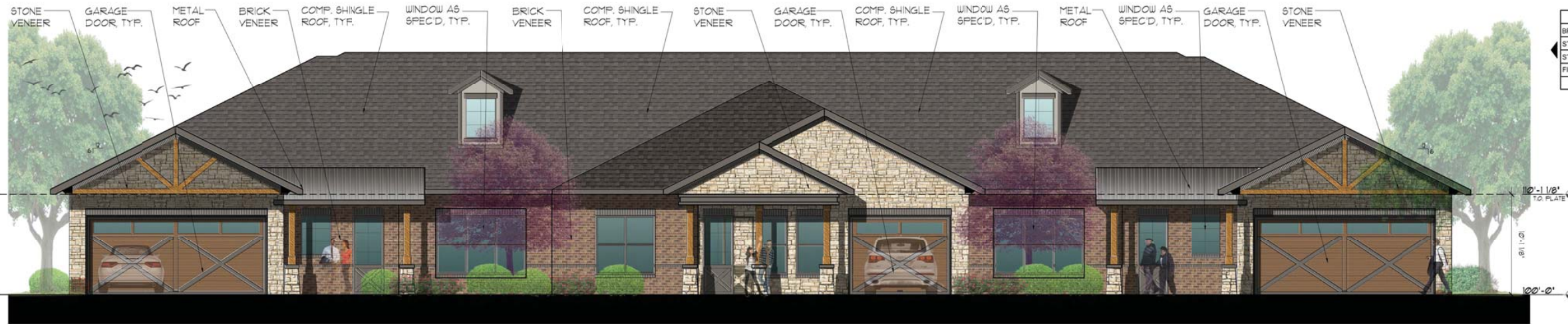
SEAL

REVISION	

DRAWN BY AAG	CHECKED BY JMT
PLOT DATE 8/27/2018	REV. DATE
ISSUED FOR City Submittal	PROJECT NUMBER
SCALE AS NOTED	SHEET NO. A5.07

Monday, August 27, 2018 10:41:03 AM

A5.08 VILLA ELEVATIONS
X:\Integrated Realty\Integrated Real Estate Group\Watermere at NRH\Drawings\Architecture\Watermere at NRH\Views\Elevations\Villa Elevations.dwg



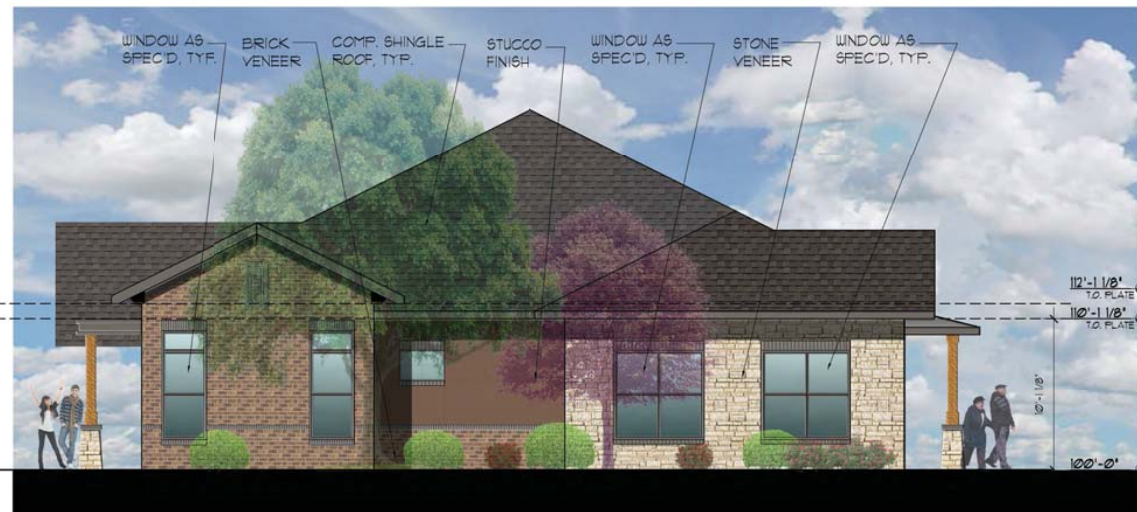
MATERIAL	%
BRICK	46%
STONE	50%
STUCCO	02%
FIBER CEMENT SIDING/PANELS	02%
TOTAL	100%

01 VILLA-1 - FRONT EXTERIOR ELEVATIONS
SCALE: 3/16" = 1'-0"
(2-UNIT VILLA)



MATERIAL	%
BRICK	44%
STONE	39%
STUCCO	02%
FIBER CEMENT SIDING/PANELS	15%
TOTAL	100%

02 VILLA - BACK EXTERIOR ELEVATIONS
SCALE: 3/16" = 1'-0"
(2-UNIT VILLA)



MATERIAL	%
BRICK	45%
STONE	34%
STUCCO	19%
FIBER CEMENT SIDING/PANELS	02%
TOTAL	100%

03 VILLA - SIDE EXTERIOR ELEVATIONS
SCALE: 3/16" = 1'-0"
(2-UNIT VILLA)



04 VILLA - SIDE EXTERIOR ELEVATIONS
SCALE: 3/16" = 1'-0"
(2-UNIT VILLA)

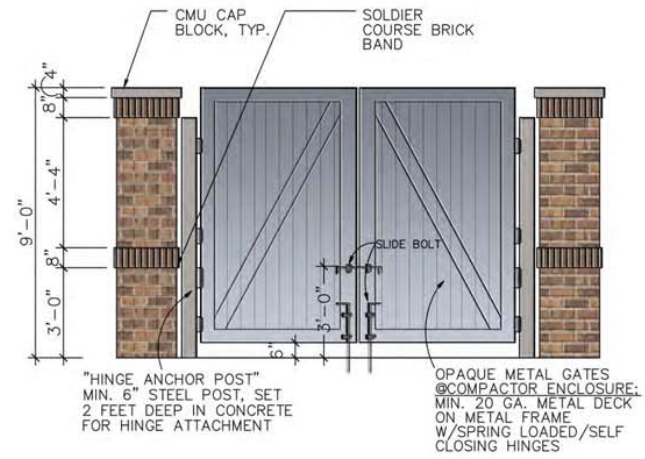
WATERMERE ON THE PRESERVE
NORTH RICHLAND HILLS, TEXAS

ARRIVE! ARCHITECTURE GROUP
2344 Highway 121 - Suite 100 - Bedford, Texas 76021 - www.ArriveAG.com
PH: 817.514.0584 - FX: 817.514.0594

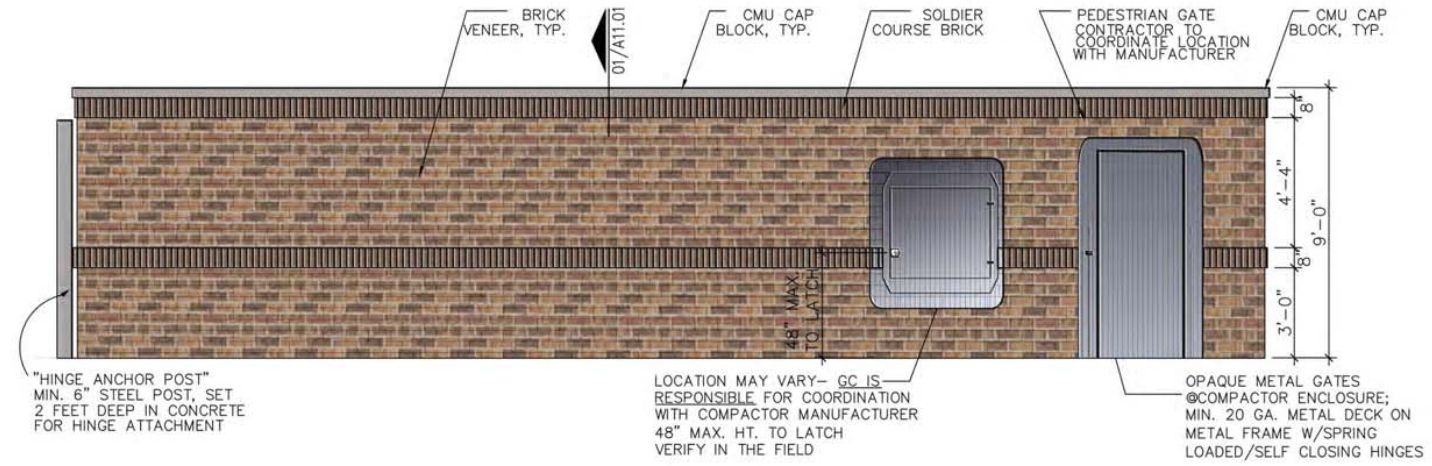
SEAL

REVISION	DATE	BY	APP'D

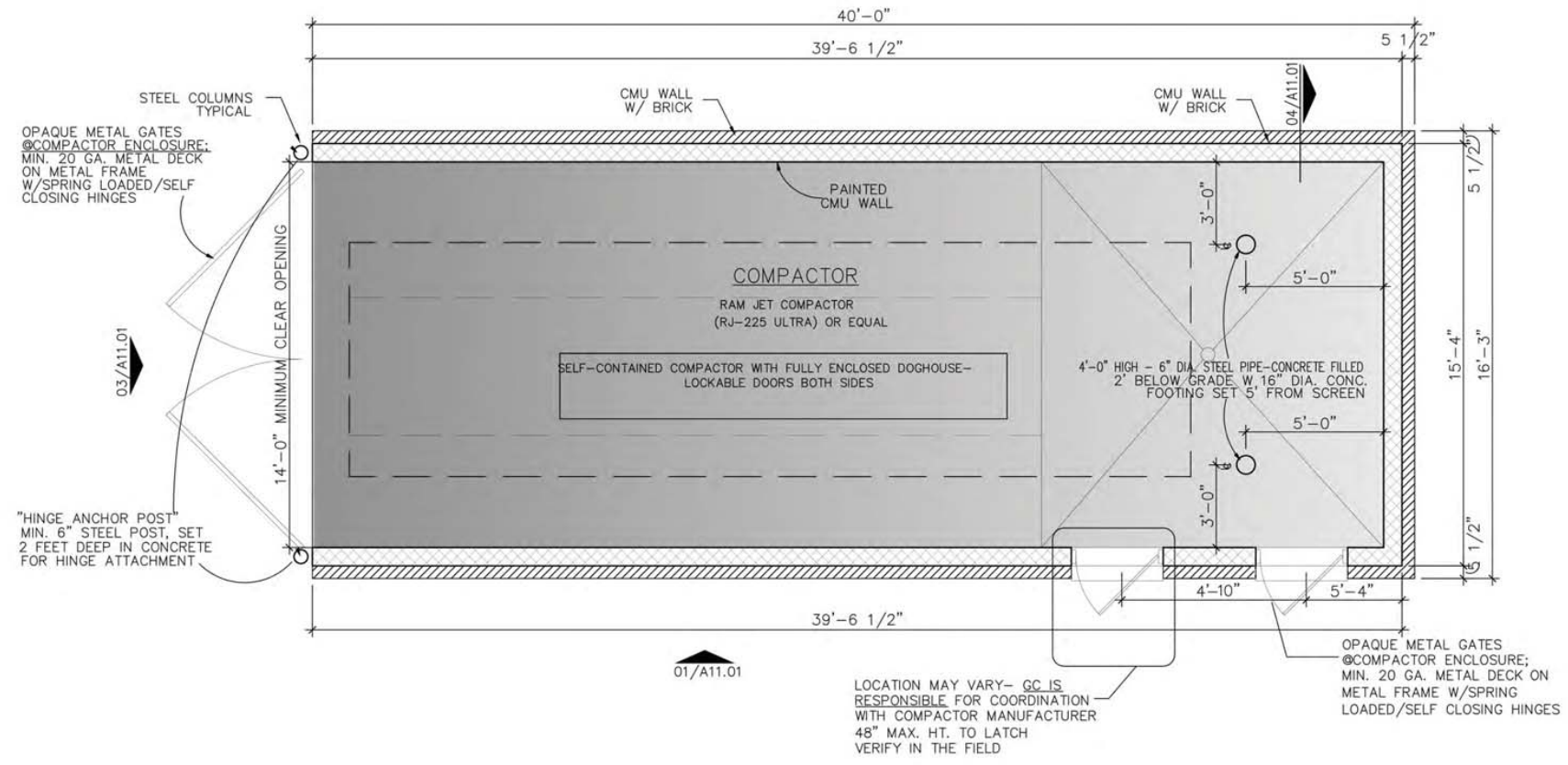
DRAWN BY: AAG	CHECKED BY: JMT
PLOT DATE: 8/27/2018	REV. DATE:
ISSUED FOR: City Submittal	PROJECT NUMBER:
SCALE: AS NOTED	SHEET NO. A5.08



02 ENCLOSURE - FRONT ELEVATION
SCALE: 3/8" = 1'-0"



01 ENCLOSURE - SIDE ELEVATION
SCALE: 3/8" = 1'-0"



02 ENCLOSURE - PLAN
SCALE: 3/8" = 1'-0"

WATERMERE ON THE PRESERVE
NORTH RICHLAND HILLS, TEXAS

Architecture
Planning
Project Management

ARRIVE
ARCHITECTURE GROUP

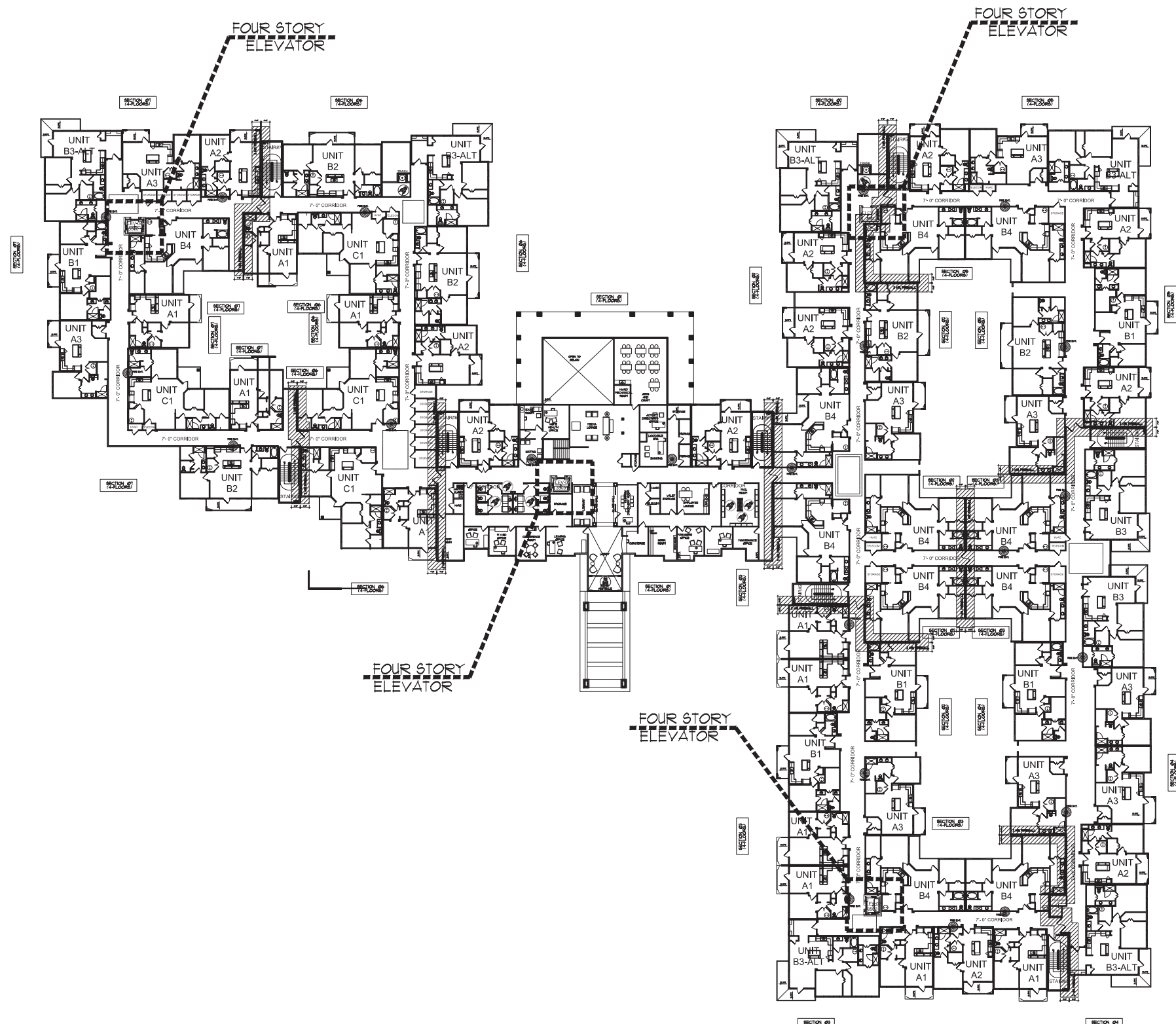
2344 Highway 121 - Suite 100 - Bedford, Texas 76021 - www.ArriveAG.com
PH: 817.514.0584 - FX: 817.514.0094

REVISION

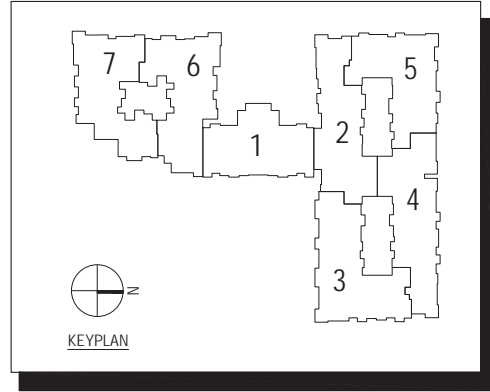
DRAWN BY: AAG	CHECKED BY: JMT
PLOT DATE: 8/14/2018	REV. DATE:
ISSUED DATE: 06/25/18	PROJECT NUMBER:
ISSUED FOR: City Submittal	SHEET NO:
SCALE: AS NOTED	A11.05

Monday, August 27, 2018 10:32:23 AM

... A1.20 ELEVATOR EXHIBIT
X:\Integrated Realty\Integrated Real Estate Group\Watermere at NRH\Drawings\Architecture\Watermere at NRH\Sheets\A1.20 Second Floor Overall.dwg



OVERALL BUILDING PLAN ELEVATOR EXHIBIT
SCALE: 1"=25'-0"



WATERMERE ON THE PRESERVE

NORTH RICHLAND HILLS, TEXAS

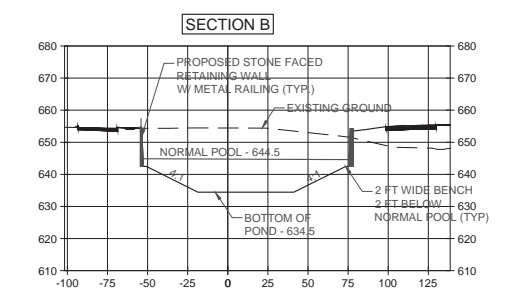
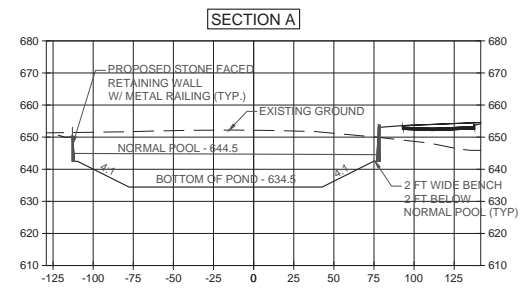
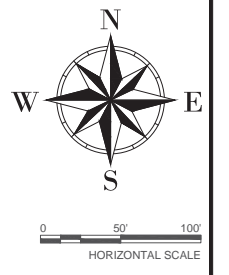
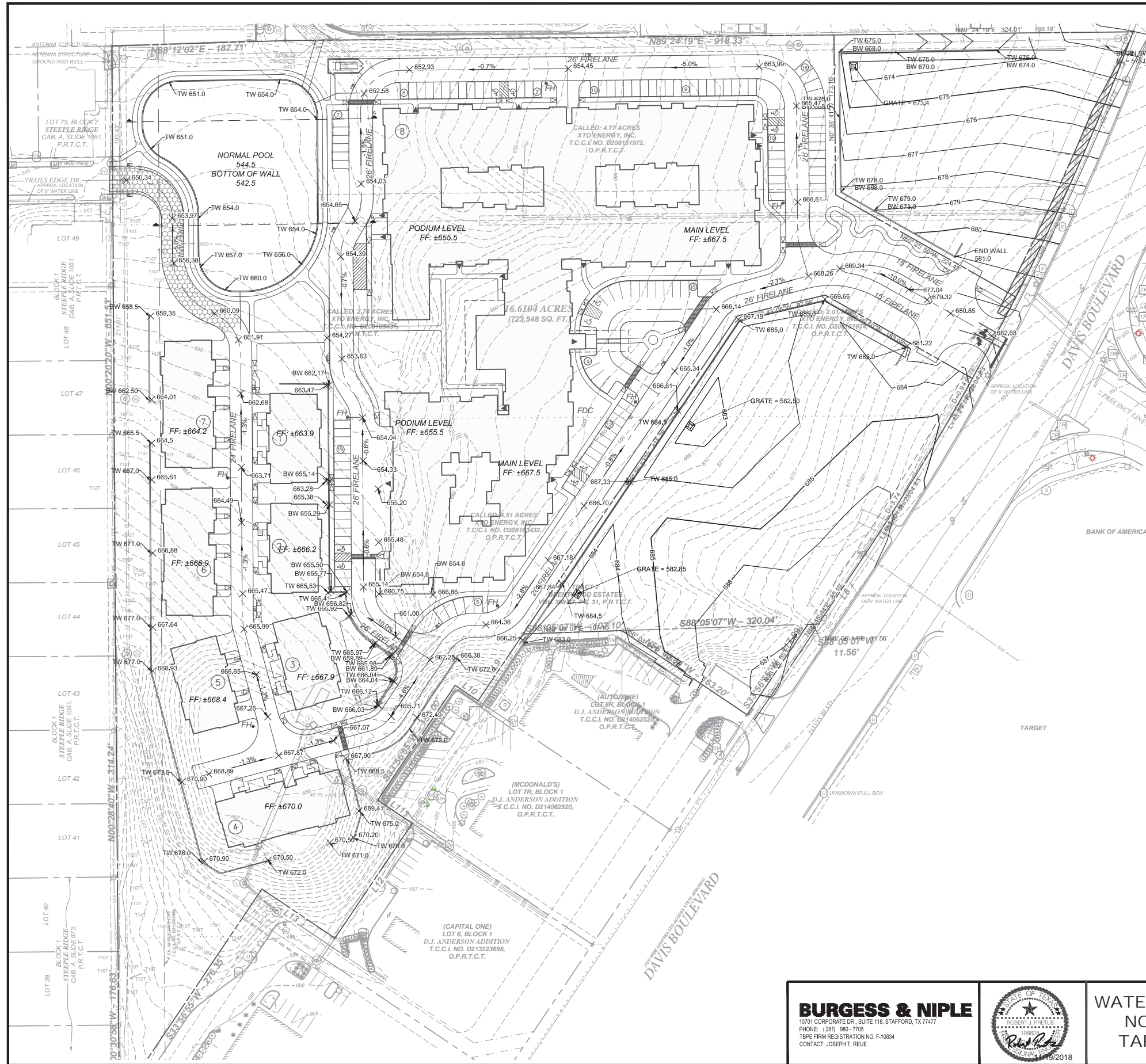
ARRIVE!
ARCHITECTURE GROUP
Architecture
Planning
Project Management
2344 Highway 121 - Suite 100 - Bedford, Texas 76021 - www.arrivecg.com
PH: 817.514.0584 - FX: 817.514.0594

SEAL

REVISION	

DRAWN BY: AAG	CHECKED BY: JMT
PLotted DATE: 8/27/2018	REV. DATE:
SUBMITTAL DATE: 06/25/18	PROJECT NUMBER
ISSUED FOR: City Submittal	SHEET NO.
SCALE: AS NOTED	A1.20

A1.20 ELEVATOR EXHIBIT



CASE # ZC2018-15

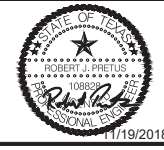
<p>BURGESS & NIPLE 10701 CORPORATE DR., SUITE 118, STAFFORD, TX 77477 PHONE: (281) 980-7705 TEXAS FIRM REGISTRATION NO. F-10834 CONTACT: JOSEPH I. REUE</p>		<p>WATERMERE AT THE PRESERVE NORTH RICHLAND HILLS, TARRANT COUNTY, TEXAS</p>	<p>PRELIMINARY GRADING EXHIBIT</p>
--	--	--	--



PLOTTED: 11/19/2018 2:30:17 PM
 P:\HOU\Marketing\54921 - IREG - NORTH RICHLAND HILLS\Utility Map.dwg, 11/19/2018, 11:37:39 AM, Pretris, Rob

CASE # ZC2018-15

BURGESS & NIPLE
 10701 CORPORATE DR., SUITE 118, STAFFORD, TX 77477
 PHONE: (281) 980-7700
 TIRE FIRM REGISTRATION NO. F-10834
 CONTACT: JOSEPH T. REUE



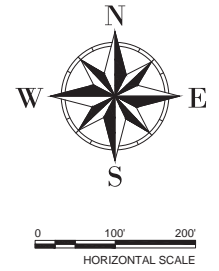
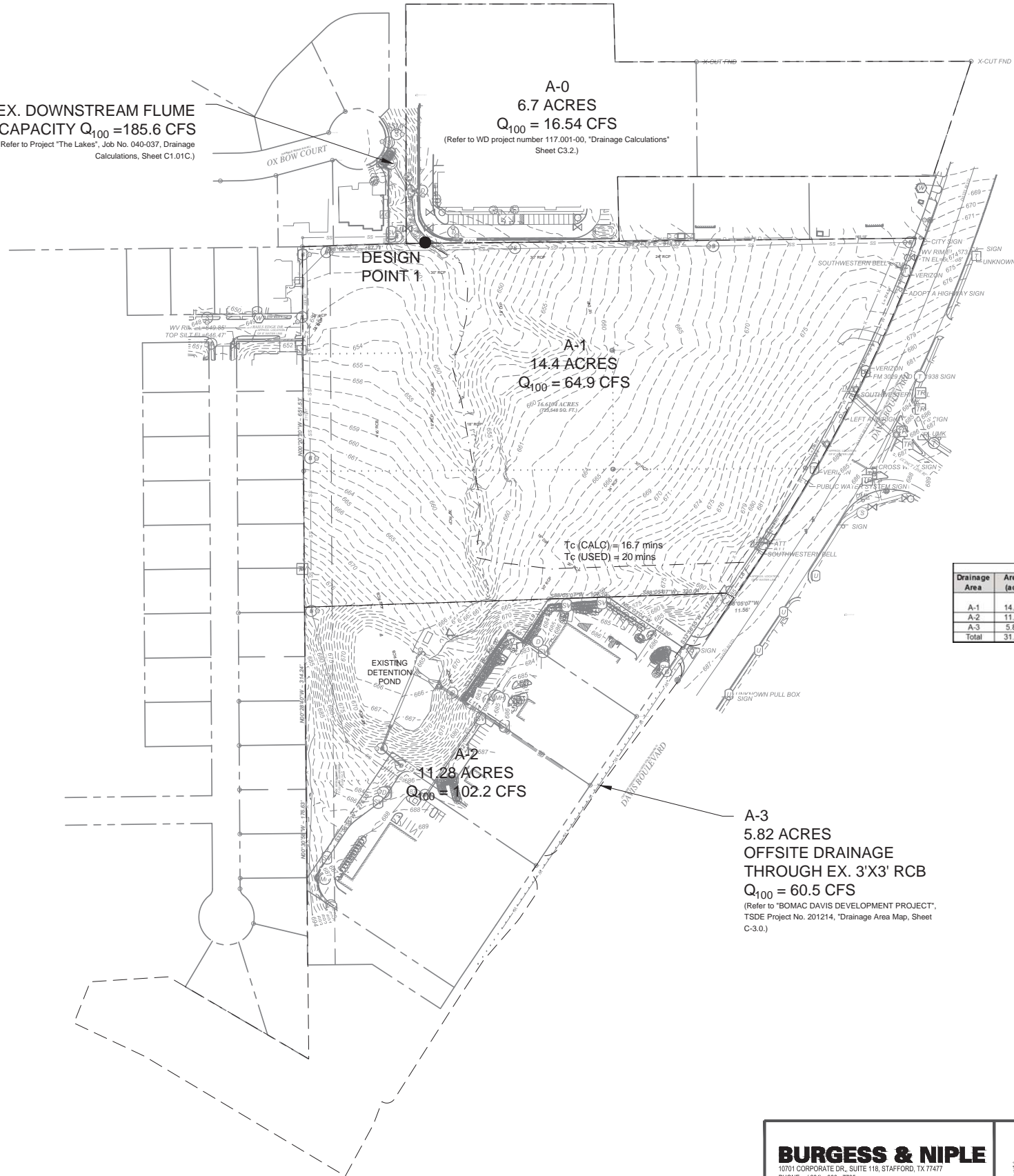
WATERMERE AT THE PRESERVE
 NORTH RICHLAND HILLS,
 TARRANT COUNTY, TEXAS

PRELIMINARY
 UTILITY EXHIBIT

PLOTTED: 11/19/2018 2:33:11 PM

P:\HOU\Marketing\B-54921 - IREG - NORTH RICHLAND HILLS\Site\CDR\0301.dwg 11/19/2018 11:41:54 AM Pretus, Rob

EX. DOWNSTREAM FLUME
CAPACITY $Q_{100} = 185.6$ CFS
(Refer to Project "The Lakes", Job No. 040-037, Drainage
Calculations, Sheet C1.01C.)



DRAINAGE NOTES

ALLOWABLE RELEASE FROM EXISTING DETENTION
POND (as per BOMAC DAVIS DEVELOPMENT
PROJECT, TSD Project No. 201214, "Drainage
Calculations, Sheet C-3.5.1):

- Q2 = 41.4 cfs
- Q5 = 53.7 cfs
- Q25 = 72.6 cfs
- Q50 = 82.9 cfs
- Q100 = 91.3 cfs

DESIGN POINT 1
RELEASE FROM EXISTING POND = 91.3 CFS
AREA A1 = 64.9 CFS

TOTAL $Q_{100} = 156.2$ CFS

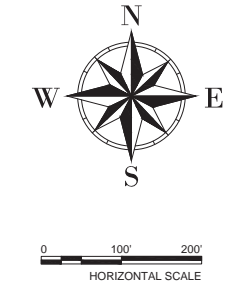
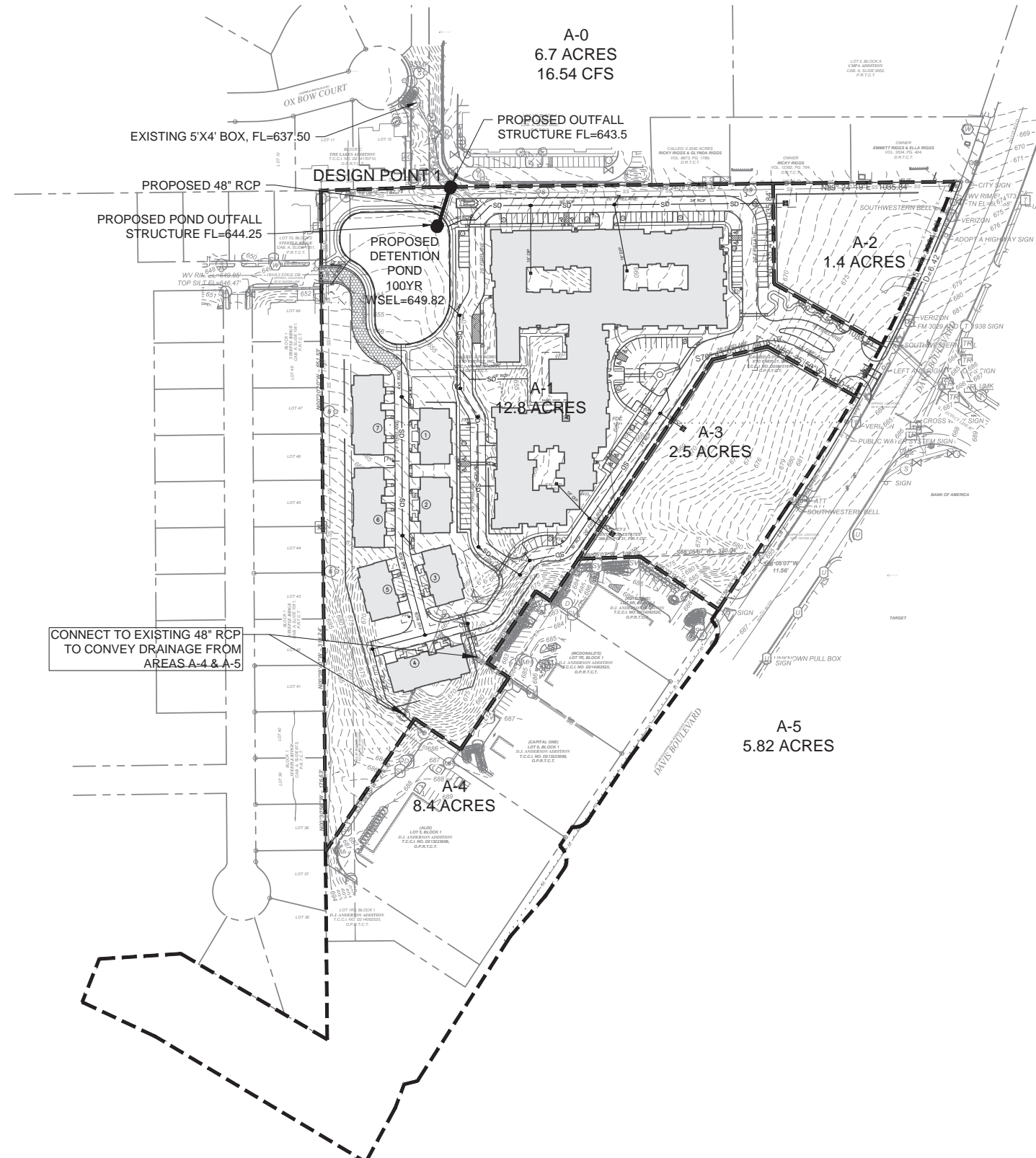
T_c (CALC) = 16.7 mins
 T_c (USED) = 20 mins

EXISTING DRAINAGE AREA TABLE														
Drainage Area	Area (ac.)	C factor	T_c (min.)	I_5 (in/hr)	Q_5 (cfs)	I_{10} (in/hr)	Q_{10} (cfs)	I_{25} (in/hr)	Q_{25} (cfs)	I_{50} (in/hr)	Q_{50} (cfs)	I_{100} (in/hr)	Q_{100} (cfs)	Description
A-1	14.40	0.55	20	4.90	38.81	5.70	45.14	6.60	52.27	8.20	64.94	0.00	64.94	Flow to Design Point 1 (Refer to "The Lakes" project, Job No. 040-037, "Pre-development Drainage Map", Sheet C1.01A.)
A-2	11.28	0.90	10	6.80	69.03	8.00	81.22	9.20	93.40	11.55	117.26	86.45	91.30	Flow to Existing Detention Pond, Existing release flow to Design Point 1
A-3	5.82	0.90	10	6.80	35.62	8.00	41.90	9.20	48.19	11.55	60.50			Offsite flow to Existing Detention Pond
Total	31.50				143.46		168.26		193.86		242.70		156.24	

CASE # ZC2018-15

<p>BURGESS & NIPLE 10701 CORPORATE DR., SUITE 118, STAFFORD, TX 77477 PHONE: (281) 980-7705 TXPE FIRM REGISTRATION NO. F-10834 CONTACT: JOSEPH T. REUE</p>		<p>WATERMERE AT THE PRESERVE NORTH RICHLAND HILLS, TARRANT COUNTY, TEXAS</p>	<p>PRELIMINARY PRE-DEVELOPED DRAINAGE AREA MAP</p>
---	--	--	--

P:\HOU\Marketing\18-54821 - IREG - NORTH RICHLAND HILLS\SitePlan\CDR\0001.dwg, 11/19/2018 11:41:54 AM, Priebe, Rob



Drainage Area	Area (ac.)	"C factor"	Tc (min.)	I _s (in/hr)	Q _s (cfs)	I ₁₀ (in/hr)	Q ₁₀ (cfs)	I ₂₅ (in/hr)	Q ₂₅ (cfs)	I ₁₀₀ (in/hr)	Q ₁₀₀ (cfs)	Q ₁₀₀ (cfs) (TO DETAIN)	Q ₁₀₀ (cfs) (TO RELEASE)	Description
A-1	12.80	0.75	10	6.80	65.28	8.00	76.80	9.20	88.32	11.55	110.88	53.22	57.66	Surface flow to Proposed Detention Pond
A-2	1.40	0.90	10	6.80	8.57	8.00	10.08	9.20	11.59	11.55	14.55	6.99	7.57	Surface flow to Proposed Detention Pond
A-3	2.50	0.90	10	6.80	15.30	8.00	18.00	9.20	20.70	11.55	25.99	12.47	13.51	Surface flow to Proposed Detention Pond
A-4	8.40	0.90	10	6.80	51.41	8.00	60.48	9.20	69.55	11.55	87.32	41.91	45.41	Surface flow to Proposed Detention Pond
A-5	5.82	0.90	10	6.80	35.62	8.00	41.90	9.20	48.19	11.55	60.50	29.04	31.46	Surface flow to Proposed Detention Pond
Total	30.92				176.17		207.26		238.35		299.24	143.63	155.60	Total Proposed Flow to Design Point 1

MIN	I-100YR	C	AREA	TOTAL CFS	TOTAL FLOW	OUTFLOW	STORAGE (CF)	
5	14.82	0.90	30.92	412.41	123723	46681	77042	
10	11.55	0.90	30.92	321.41	192848	93362	99486	
15	9.57	0.90	30.92	266.31	239683	116703	122960	
20	8.23	0.90	30.92	229.02	274829	140043	134786	
30	6.51	0.90	30.92	181.16	326089	186724	139364	
40	5.44	0.90	30.92	151.38	363322	233405	129917	
50	4.71	0.90	30.92	131.07	393210	280986	115123	
60	4.17	0.90	30.92	116.04	417754	326787	90957	
70	3.75	0.90	30.92	104.36	436291	373448	64843	
80	3.42	0.90	30.92	95.17	456824	420129	36695	
90	3.15	0.90	30.92	87.66	473354	466810	6544	
							Storage Required	139364

ELEV. (FT.)	AREA (S.F.)	VOL. (C.F.)	TOTAL VOL. (C.F.)
645.5	32234	0	0
646.0	32234	16117	16117
647.0	32234	32234	48351
648.0	32234	32234	80585
649.0	32234	32234	112819
650.0	32234	32234	145053

INTERPOLATION	0.18
100 YR WSEL	649.82

- NOTES:
1. DRAINAGE AREAS ARE CONCEPTUAL AND SUBJECT TO CHANGE AT FINAL PD SITE PLAN SUBMITTAL.
 2. THE SIZE AND SHAPE OF PONDS ARE CONCEPTUAL AND SUBJECT TO CHANGE AT FINAL PD SITE PLAN SUBMITTAL.
 3. THE SIZE AND MATERIAL OF STORM DRAINS ARE CONCEPTUAL AND SUBJECT TO CHANGE AT FINAL PD SITE PLAN SUBMITTAL.
 4. PROPOSED POND WILL BE DESIGNED TO DETAIN FLOW FOR THE 2, 5, 25, 50 AND 100 YR STORM EVENTS TO A RATE THAT IS LESS THAN THE ALLOWABLE CAPACITY OF THE EXISTING OUTFALL LOCATED AT DESIGN POINT 1. THE ALLOWABLE Q₁₀₀ = 185.6 CFS
 5. A DETENTION / MAINTENANCE AGREEMENT WILL BE REQUIRED WHEN THE PROPERTY IS PLATTED.

CASE # ZC2018-15

<p>BURGESS & NIPLE 10701 CORPORATE DR., SUITE 118, STAFFORD, TX 77477 PHONE: (281) 980-7705 TXBE FIRM REGISTRATION NO. F-10834 CONTACT: JOSEPH T. REUE</p>		<p>WATERMERE AT THE PRESERVE NORTH RICHLAND HILLS, TARRANT COUNTY, TEXAS</p>	<p>PRELIMINARY POST DEVELOPED DRAINAGE AREA MAP</p>
---	--	--	---