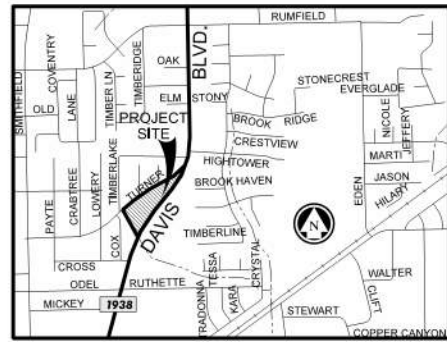


Exhibit C - Site Plan Exhibits - Ordinance No. 3856 - Page 1 of 17



VICINITY MAP  
N.T.S.

← GARAGES AT CORNER LOTS TO BE FURTHEST FROM THE INTERSECTION

ITEM	R-2	RI-PD (4.293 AC) 18 UNITS
MIN. LOT AREA	9,000 SF	5,265 SF
AVG. LOT AREA	-	5,900 SF
MIN FRONT YARD	20 FT	20 FT
MIN REAR YARD	10 FT AND 20%	10 FT
MIN. LOT WIDTH	72.5 FT	55 FT (56 FT AVG.)
MIN. SIDE YARD	10 FT & 6 FT	5 FT AND 5 FT
TOTAL OPEN SPACE	-	(32,511 S.F.) 17.39 %
USEABLE OPEN SPACE	-	23,771 SF (12.71 %)
DENSITY	4 UNITS/AC	4.19 UNITS/AC

AREA CALCULATIONS	
AREA OF DEVELOPMENT	= 4.293 ACRES (187,003 SF)
NUMBER OF UNITS	= 18
OPEN SPACE	= (32,511 S.F.) 17.39 %
ROW DEDICATION	= 2,112 S.F.

LEGAL DESCRIPTION  
BEING A 4.293 ACRE TRACT OF LAND BEING A PORTION OF THE COMMERCIAL TRACT IN BLOCK 12, SMITHFIELD ACRES ADDITION, 2ND SECTION, AN ADDITION TO THE CITY OF NORTH RICHLAND HILLS AS SHOWN ON THE PLAT RECORDED IN VOLUME 388/21, PAGE 36, PLAT RECORDS, TARRANT COUNTY, TEXAS, AS CONVEYED TO CELESTIAL LONE STAR HOMES LLC, BY DEEDS RECORDED IN INSTRUMENTS NUMBER D23214155, DEED RECORDS, TARRANT COUNTY, TEXAS. SAID 4.293 ACRE TRACT IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 5/8" IRON WITH CAP SET AT THE EASTERLY CORNER OF SAID COMMERCIAL TRACT, IN THE SOUTHERLY LINE OF TURNER ROAD, IN THE NORTHWESTERLY LINE OF DAVIS BOULEVARD (F.M. 1938) AND THE BEGINNING OF A CURVE TO THE RIGHT:

THENCE S 39 DEGREES 45 MINUTES 14 SECONDS W WITH A LINE OF SAID COMMERCIAL TRACT AND THE NORTHWESTERLY LINE OF DAVID BOULEVARD TO A 5/8" IRON WITH CAP SET. SAID CURVE TO THE RIGHT HAS A RADIUS OF 1,849.86 FEET A CENTRAL ANGLE OF 14 DEGREES 28 MINUTES 33 SECONDS AND A LONG CHORD WHICH BEARS S 32 DEGREES 30 MINUTES 57 SECONDS W 466.13 FEET;

THENCE S 39 DEGREES 45 MINUTES 14 SECONDS W WITH A LINE OF SAID COMMERCIAL TRACT AND THE NORTHWESTERLY LINE OF DAVID BOULEVARD, 40.20 FEET TO A HIGHWAY MONUMENT FOUND AT THE NORTHEAST CORNER OF A TRACT OF LAND DESCRIBED IN A DEED TO THE STATE OF TEXAS AND RECORDED IN VOLUME 9421, PAGE 2172, DEED RECORDS, TARRANT COUNTY, TEXAS;

THENCE WITH THE NORTHWESTERLY LINE OF DAVIS BOULEVARD AND THE STATE OF TEXAS TRACT THE FOLLOWING CALLS:

S 43 DEGREES 50 MINUTES 14 SECONDS W, 291.89 FEET TO A 5/8" IRON WITH CAP SET;

S 39 DEGREES 55 MINUTES 14 SECONDS W, 104.80 FEET TO A 5/8" IRON WITH CAP SET;

S 30 DEGREES 54 MINUTES 14 SECONDS W, 104.66 FEET TO A 5/8" IRON WITH CAP SET;

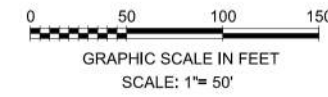
S 21 DEGREES 04 MINUTES 14 SECONDS W, 85.40 FEET TO A 5/8" IRON WITH CAP SET;

S 01 DEGREES 59 MINUTES 13 SECONDS W, 33.02 FEET TO A 5/8" IRON WITH CAP SET AT THE SOUTHWEST CORNER AT SAID COMMERCIAL TRACT;

THENCE N 12 DEGREES 14 MINUTES 23 SECONDS W WITH THE WESTERLY LINE OF SAID COMMERCIAL TRACT, 463.06 FEET TO A 1/2" IRON FOUND AT THE NORTHWEST CORNER OF SAID COMMERCIAL TRACT AND BEING IN THE SOUTHEASTERLY LINE OF TURNER ROAD;

THENCE N 42 DEGREES 10 MINUTES 57 SECONDS E WITH THE NORTHWESTERLY LINE OF SAID COMMERCIAL TRACT AND THE SOUTHEASTERLY LINE OF TURNER ROAD, 36.56 FEET TO A 1/2" IRON FOUND;

THENCE N 58 DEGREES 09 MINUTES 37 SECONDS E WITH THE NORTHWESTERLY LINE OF SAID COMMERCIAL TRACT AND THE SOUTHEASTERLY LINE OF TURNER ROAD 829.77 FEET TO THE POINT OF BEGINNING AND CONTAINING 4.293 ACRES.



ZONING EXHIBIT  
**ORCHARD WALK ESTATES**

EXIST. ZONING "C-2" COMMERCIAL  
PROP. ZONING "RI-PD" RESIDENTIAL  
INFILL PLANNED DEVELOPMENT"

LOTS 1-7, 8X & 9X BLOCK 1 &  
LOTS 1-11, 12X, 13X, 14X & 15X BLOCK 2  
BEING A REPLAT OF LOT "A" BLOCK 12  
SMITHFIELD ACRES ADDITION  
AND BEING 4.293 ACRES OF LAND  
18 RESIDENTIAL LOTS &  
6 OPEN SPACE LOTS  
IN THE COX, WILLIAM SURVEY  
ABSTRACT NO. 321,  
AN ADDITION TO THE CITY OF NORTH RICHLAND HILLS,  
TARRANT COUNTY, TEXAS.

PREPARED MAY 2024

ENGINEER / SURVEYOR  
A.N.A. CONSULTANTS, L.L.C.  
5000 THOMPSON TERRACE  
COLLEYVILLE, TEXAS 76034  
TEL (817) 335-9900  
FAX (817) 335-9955

OWNER / DEVELOPER  
CELESTIAL LONE STAR HOMES, LLC  
3612 TINSDALE DR  
FLOWER MOUND, TX 75022  
TEL (469) 502-1567

ZONING EXHIBIT  
ORCHARD WALK ESTATES

5000 THOMPSON TERRACE  
COLLEYVILLE, TX 76034  
(817) 335-9900  
FAX: (817) 335-9955

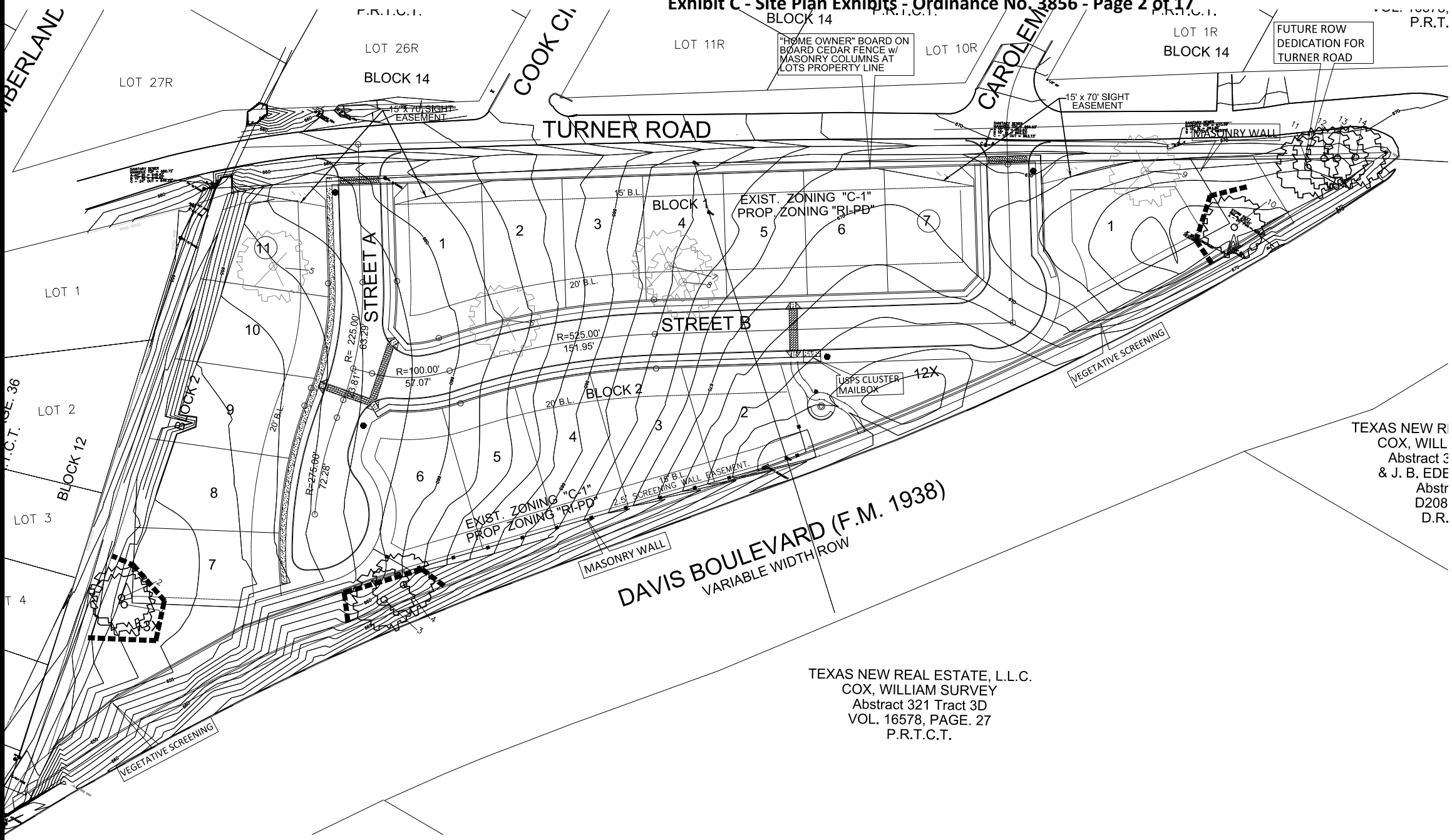


SHEET 1 OF 1

CASE ZC 2023-XX

11:17:07 AM  
5/21/2024  
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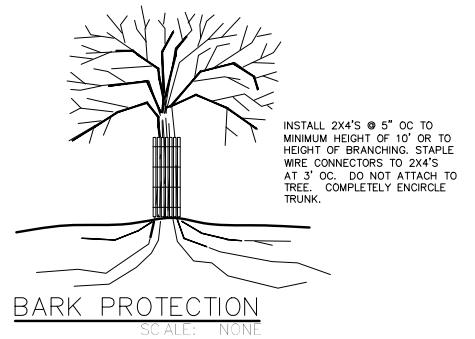
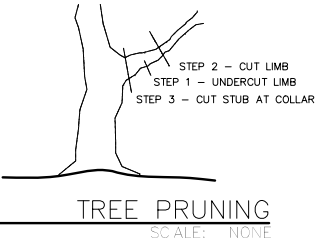
Date MAY 20, 2024  
 Drawn By GAC  
 Checked By GAC  
 Revisions



SITE

VICINITY MAP  
 N.T.S.

TEXAS NEW REAL ESTATE, L.L.C.  
 COX, WILLIAM SURVEY  
 Abstract 321 Tract 3D  
 VOL. 16578, PAGE. 27  
 P.R.T.C.T.



FAIN • CUPPETT  
 LANDSCAPE ARCHITECTS, L.L.C.  
 1921 MAPLEWOOD DR  
 WEATHERFORD, TX 76087  
 682-215-9151  
 PLANS AND OPEN SPACE PLANNING - LANDSCAPE ARCHITECTURE - IRRIGATION DESIGN



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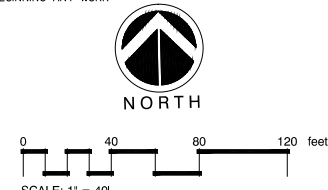
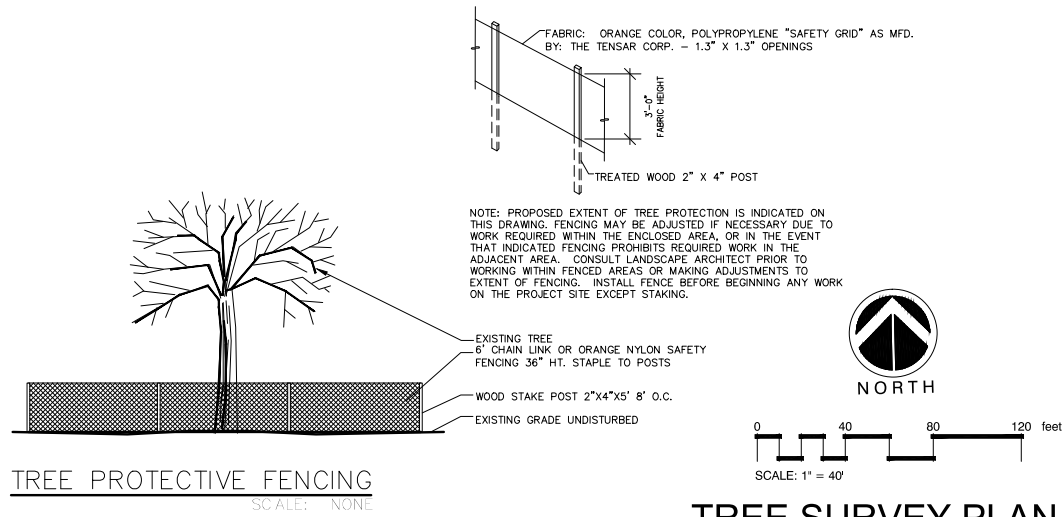
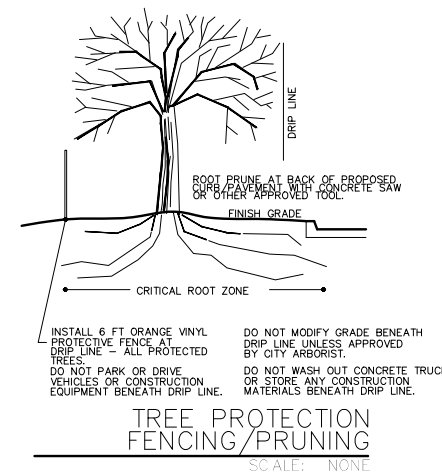
**LEGEND**

1656 DENOTES TREE TO BE PRESERVED

1657 DENOTES TREE TO BE REMOVED

--- LOCATION OF PROTECTIVE FENCE

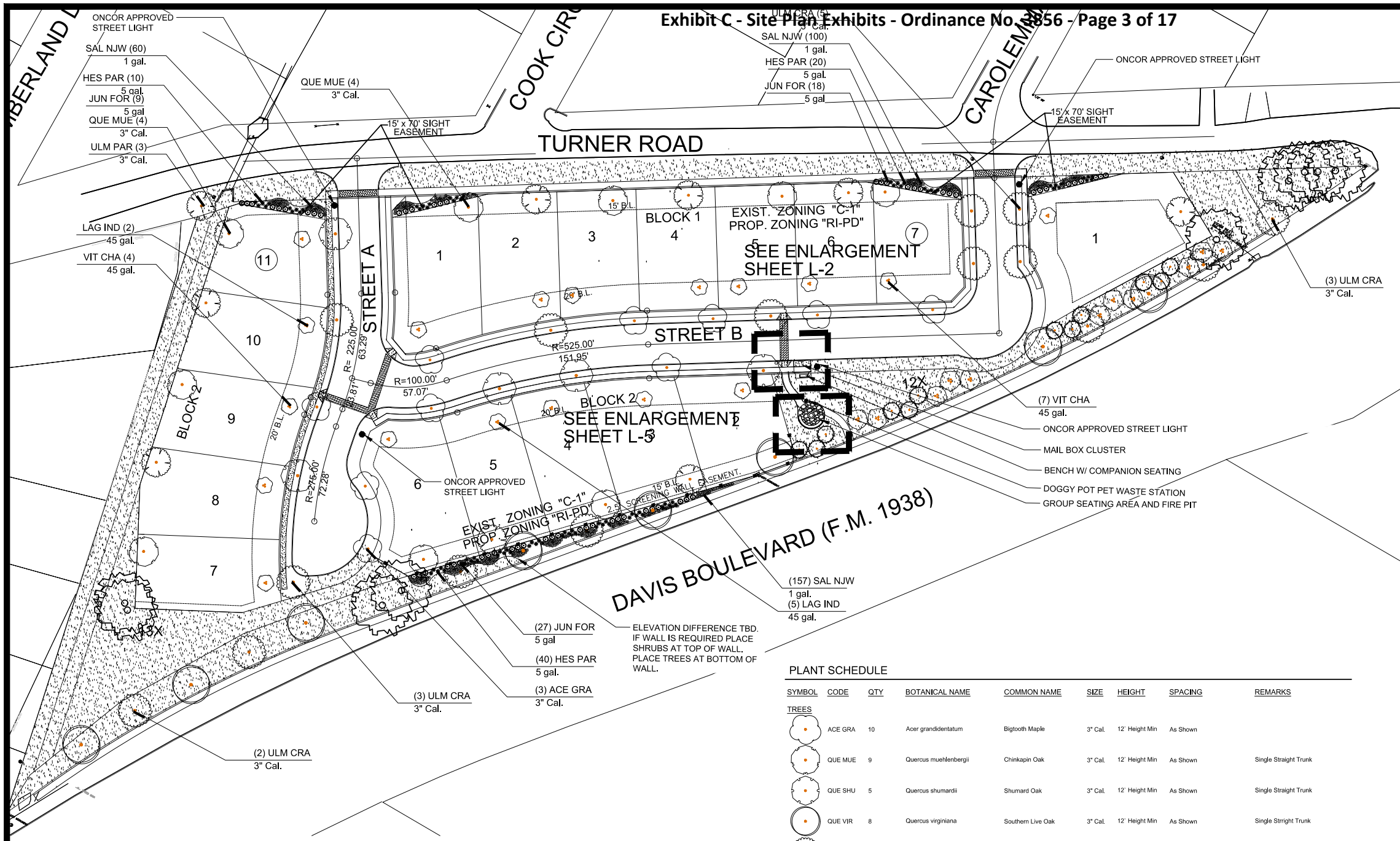
Tree Inventory and Mitigation				
Orchard Walk Estates			North Richland Hills TX	
Tree No.	Caliper In	Description	Status	Reason for Mitigation
1	36	Oak	Preserve	
2	42	Oak	Preserve	
3	12	Oak	Preserve	Off site
4	14	Oak	Preserve	Off site
5	NA	Walnut	Remove	Buildable Area
6	NA	Locust	Remove	Buildable Area
7	14	Oak	Remove	Buildable Area
8	28	Oak	Remove	Buildable Area
9	12	Oak	Remove	Buildable Area
10	8	Oak	Preserve	
11	8	Oak	Preserve	Off site
12	38	Hackberry	Preserve	Off site
13	12	Hackberry	Preserve	Off site
14	28	Oak	Preserve	Off site
Total Caliper Inches on Lot		140		
Total Caliper Inches Preserved		86		
Total Caliper Inches Exempt (Mitigation Not Required)		54		
Total Caliper Inches Removed		54		



TREE SURVEY PLAN

ORCHARD WALK ESTATES  
 8220 TURNER ROAD  
 NORTH RICHLAND HILLS, TEXAS

Sheet No.  
**T-1**



VICINITY MAP  
N.T.S.

CITY OF NORTH RICHLAND HILLS LANDSCAPE REQUIREMENTS		
REQUIRED STREET FRONTAGE TREES	1 TREE REQUIRED PER EVERY 50 FT OF FRONTAGE	
	REQUIRED	PROVIDED
REQUIRED STREET FRONTAGE SHRUBS	1 SHRUB REQUIRED PER EVERY 5 FT OF FRONTAGE	
	REQUIRED	PROVIDED
RESIDENTIAL LOTS	3 - 5 TREES PER LOT	
	REQUIRED	PROVIDED
OPEN SPACE AREAS	APPROXIMATE SQUARE FOOTAGE OF SITE = 187,000 SF OPEN SPACE AREAS = APPROXIMATELY 28,475 SF OPEN SPACE AREAS = APPROX. 15% OF SITE	

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPACING	REMARKS	
<b>TREES</b>									
	ACE GRA	10	Acer grandidentatum	Bigtooth Maple	3" Cal.	12' Height Min	As Shown		
	QUE MUE	9	Quercus muehlenbergii	Chinkapin Oak	3" Cal.	12' Height Min	As Shown	Single Straight Trunk	
	QUE SHU	5	Quercus shumardii	Shumard Oak	3" Cal.	12' Height Min	As Shown	Single Straight Trunk	
	QUE VIR	8	Quercus virginiana	Southern Live Oak	3" Cal.	12' Height Min	As Shown	Single Straight Trunk	
	ULM CRA	15	Ulmus crassifolia	Cedar Elm	3" Cal.	12' Height Min	As Shown		
	ULM PAR	9	Ulmus parvifolia	Lacebark Elm	3" Cal.	12' Height Min	As Shown	Single Straight Trunk	
<b>ORNAMENTAL TREES</b>									
	ILE NEL	12	Ilex 'Nellie R. Stevens'	Nellie R. Stevens Holly	30 gal.	6' Min Ht	15' o.c.		
	LAG IND	8	Lagerstroemia indica	Crape Myrtle	45 gal.	8'-10' Ht.			
	MYR CER	11	Myrica cerifera	Wax Myrtle	30 gal.	6' Min Ht	15' o.c.		
	VIT CHA	10	Vitex agnus-castus	Chaste Tree	45 gal.	8'-10' Ht.			
<b>SHRUBS</b>									
	HES PAR	80	Hesperaloe parviflora 'Perpa'™	Brakelights Red Yucc	5 gal.	18"-24"	36" oc	Container grown, mature root system but not root bound. Full broad top	
	JUN FOR	60	Juniperus chinensis 'Sea Green'	Sea Green Juniper	5 gal.	18"-24"	36" O.C.		
	SAL NJW	310	Salvia greggii 'Navajo White'	Navajo White Autumn Sage	1 gal.		24" O.C.		
<b>GROUND COVERS</b>									
	NATE	25	Nassella tenuissima 'Pony Tail'	Mexican Feathergrass	1 gal.	10"-12"	24" o.c.	24" o.c.	Container grown, mature root system but not root bound. Full broad top
<b>SOD/SEED</b>									
	CD	53,497 sf	Cynodon dactylon	Bermuda Grass	sod				See Specifications.

PLANTING NOTES:

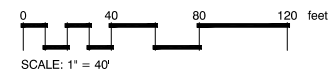
- PLANT SIZE, TYPE, AND CONDITION SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE.
- ALL PLANT MATERIAL TO BE NURSERY GROWN STOCK.
- CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF ALL PLANT MATERIAL UNTIL PROJECT ACCEPTANCE.
- ALL CONTAINER GROWN PLANTS TO HAVE FULL, VIGOROUS ROOT SYSTEM, COMPLETELY ENCOMPASSING CONTAINER.
- ALL PLANTS WELL ROUNDED AND FULLY BRANCHED, ALL TREES WITH SPREAD 2/3 OF HEIGHT.
- CONTRACTOR TO PROVIDE OWNER WITH PREFERRED MAINTENANCE SCHEDULE OF ALL PLANTS AND LAWNS.
- MAINTAIN/PROTECT VISIBILITY TRIANGLE WITH PLANT MATERIAL PER CITY STANDARDS AT ALL ENTRANCES TO SITE.
- PREP ENTIRE WIDTH OF ALL DEFINED PLANTING BEDS WITH MIX AS OUTLINED IN SPECS. WHERE SHRUBS ARE LOCATED ALONG CURB, SET SHRUBS BACK FROM CURB 3 FT.
- SEE DETAIL SHEET FOLLOWING FOR PLANTING DETAILS.
- CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL UTILITIES, INCLUDING BUT NOT LIMITED TO TELEPHONE, TELECABLE, ELECTRIC, GAS, WATER AND SEWER. ANY DAMAGE TO UTILITIES TO BE REPAIRED BY CONTRACTOR AT NO COST TO OWNER.
- EXISTING TREES ARE SHOWN TO REMAIN, CONTRACTOR SHALL PRUNE ONLY ON APPROVAL OF CITY ARBORIST. WORK TO INCLUDE REMOVAL OF ALL SUCKER GROWTH, DEAD AND DISEASED BRANCHES AND LIMBS; VINES, BRIARS AND OTHER INVASIVE GROWTH; AND ALL INTERFERING BRANCHES. MAKE ALL CUTS FLUSH TO REMAINING LIMB. RETAIN NATURAL SHAPE OF PLANT. ALL WORK SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE.
- QUANTITIES ARE PROVIDED AS A COURTESY AND NOT INTENDED FOR BID PURPOSES. CONTRACTOR TO VERIFY PRIOR TO PRICING.
- INSTALL EDGING BETWEEN LAWN AND PLANTING BEDS, REFER TO SPECIFICATIONS. FILE ALL CORNERS SMOOTH.
- INSTALL CURLEX BLANKET (OR EQUAL) PER MANUFACTURES INSTRUCTIONS ON ALL GROUNDCOVER/SHRUB BEDS WITH A SLOPE OF 4:1 OR GREATER.
- AT TIME OF PLAN PREPARATION, SEASONAL PLANT AVAILABILITY CANNOT BE DETERMINED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SECURE AND RESERVE ALL B&B PLANTS WHEN AVAILABLE IN CASE ACTUAL INSTALLATION OCCURS DURING THE OFF-SEASON. PURCHASE AND HOLD B&B PLANTS FOR LATE SEASON INSTALLATION.
- BERM ALL PARKING LOT ISLANDS AS SHOWN ON ENCLOSED DETAIL SHEET. (BERMS MAY NOT BE SHOWN ON GRADING PLAN.)
- PRIOR TO PLANTING, CONTRACTOR SHALL STAKE TREE LOCATIONS FOR APPROVAL BY OWNER.
- NO PLANTINGS WITHIN 18" OF PARKING LOT CURBS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING TREE AND SHRUB SIZES CONFORM TO CITY LANDSCAPE STANDARDS AND MITIGATION REQUIREMENTS.

LANDSCAPE NOTES:

- ALL LANDSCAPING WILL BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM EQUIPPED WITH A RAIN AND FREEZE SENSOR.
- NO LANDSCAPE PLANTINGS WITHIN 18" OF PARKING LOT CURBS.
- REFERENCE SHEET L-2 FOR LANDSCAPE DETAILS AND NOTES.
- ALL DISTURBED AREAS WILL BE COVERED WITH BERMUDA SOD.
- ALL WOOD FENCING TO BE BOARD-ON-BOARD PRE-STAINED CEDAR WITH TOP TAP, TOP TRIM, TREATED WOOD BASEBOARD, AND METAL POLES WITH THE FINISHED SIDE FACING OUT AWAY FROM THE LOT.

**SIGHT VISIBILITY NOTE:**  
SIGHT VISIBILITY EASEMENT MUST BE KEPT FREE AND CLEAR OF ANY VISUAL OBSTRUCTIONS BETWEEN 30" AND 9' IN HEIGHT.

**CAUTION!**  
UNDERGROUND UTILITIES ARE LOCATED IN THIS AREA. 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES, CONTACT THE LOCATOR FOR FRANCHISE UTILITY INFO. CALL BEFORE YOU DIG!  
TEXAS EVACUATION SAFETY SYSTEM (TESS) 1-800-44-SAFETY  
TEXAS ONE CALL SYSTEM 1-800-44-4SOS  
LONE STAR NOTIFICATION CENTER 1-800-698-0344 EXT. 517



OVERALL LANDSCAPE PLAN

Date MAY 20, 2024  
Drawn By GAC  
Checked By GAC  
Revisions

**FAIN • CUPPETT LANDSCAPE ARCHITECTS, LLC**  
1921 MAPLEWOOD DR WEATHERFORD, TX 76087  
682-215-9151  
PLANS AND OPEN SPACE PLANNING • LANDSCAPE ARCHITECTURE • IRRIGATION DESIGN

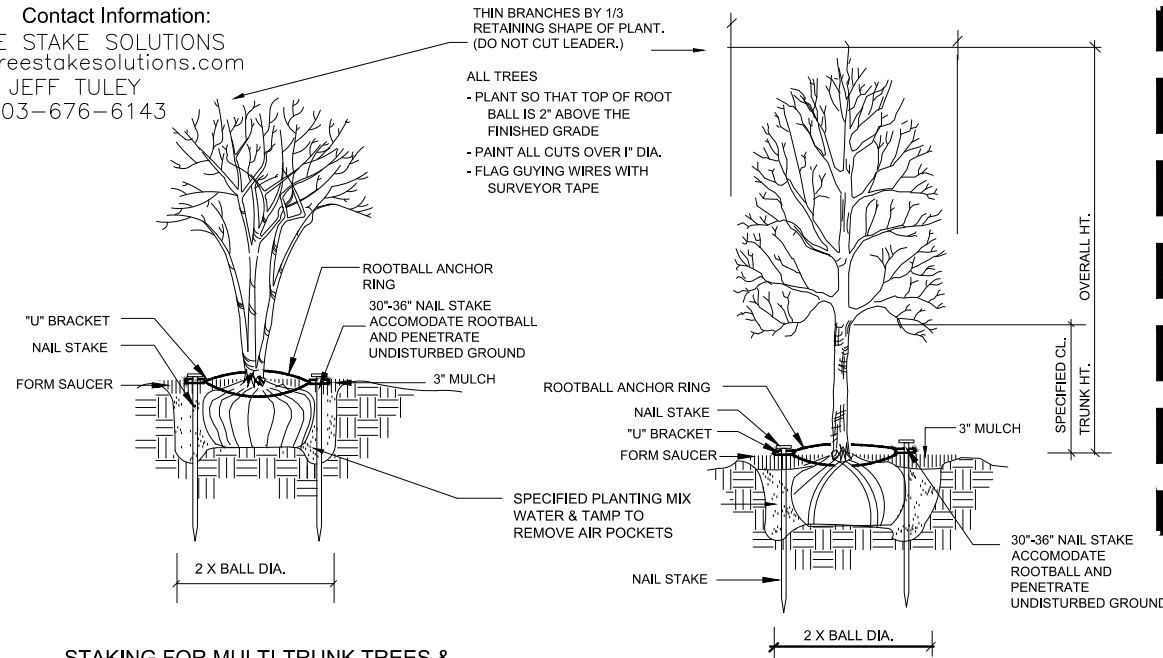


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**ORCHARD WALK ESTATES**  
8220 TURNER ROAD  
NORTH RICHLAND HILLS, TEXAS

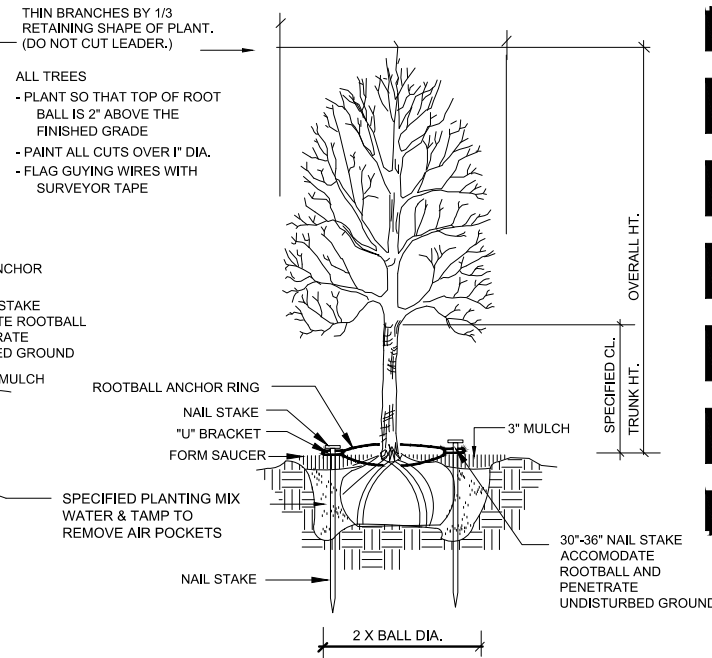
Sheet No.  
**L-1**

Contact Information:  
 TREE STAKE SOLUTIONS  
 www.treestakesolutions.com  
 JEFF TULEY  
 903-676-6143



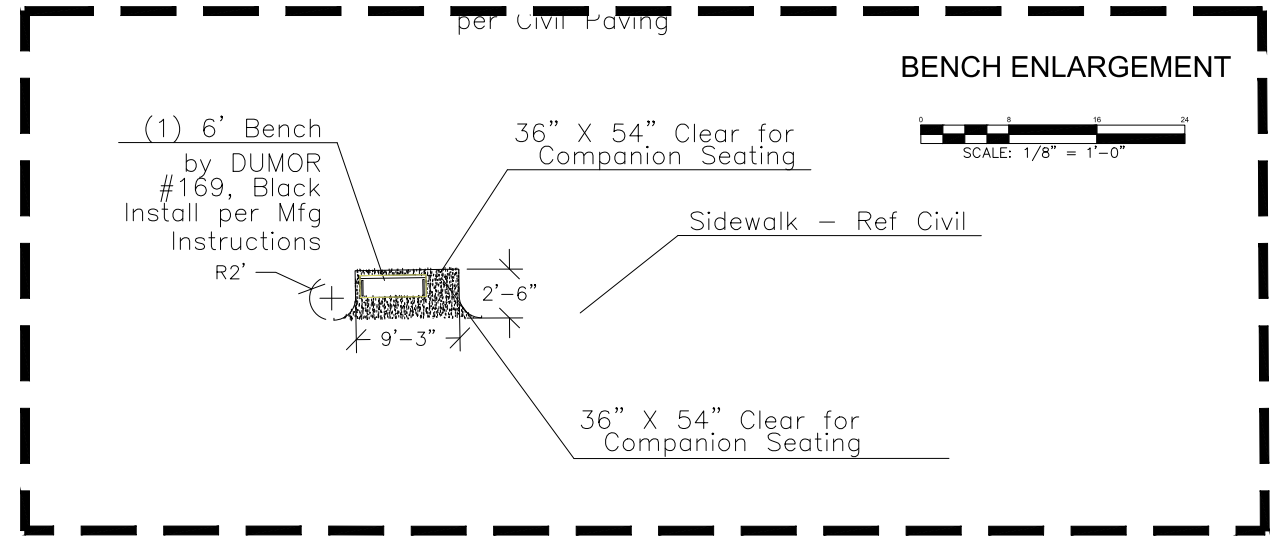
STAKING FOR MULTI-TRUNK TREES & TREES 2" CAL. & UNDER

SCALE: NOT TO SCALE



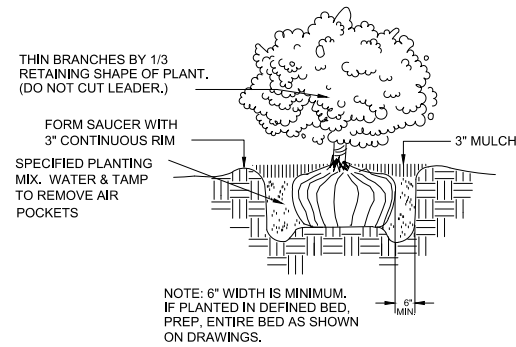
SAFETY STAKE BY TREE STAKE SOLUTIONS

SCALE: NOT TO SCALE



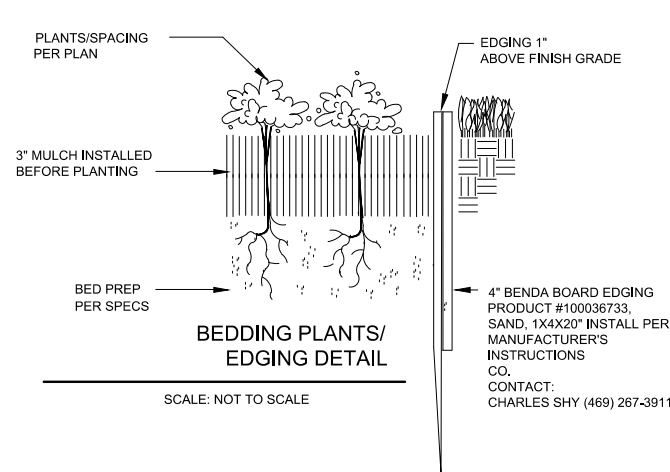
BENCH ENLARGEMENT

SCALE: 1/8" = 1'-0"



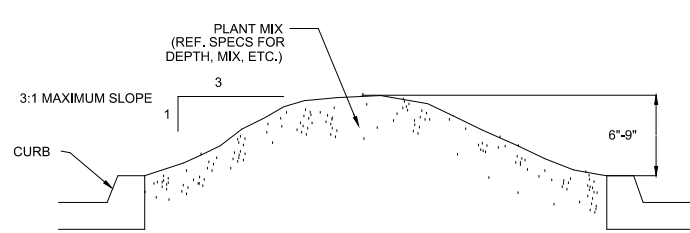
SHRUB PLANTING

SCALE: NOT TO SCALE



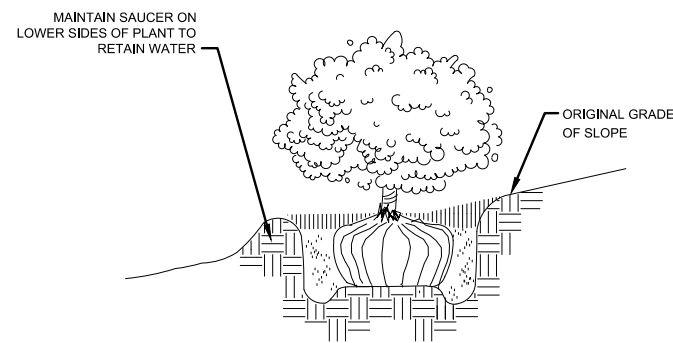
BEDDING PLANTS/ EDGING DETAIL

SCALE: NOT TO SCALE



TYPICAL PARKING LOT ISLAND MOUNDING

SCALE: NOT TO SCALE



TREE/SHRUB PLANTING ON SLOPES

SCALE: NOT TO SCALE

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 682-215-9151  
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**ORCHARD WALK ESTATES**  
 8220 TURNER ROAD  
 NORTH RICHLAND HILLS, TEXAS

Sheet No.  
**L-2**

Exhibit C - Site Plan Exhibits - Ordinance No. 3856 - Page 5 of 17

Date MAY 20, 2024  
 Drawn By GAC  
 Checked By GAC  
 Revisions

**FAIN • CUPPETT**  
**LANDSCAPE ARCHITECTS, LLC**  
 1921 MAPLEWOOD DR  
 WEATHERFORD, TX 76087  
 682-215-9151  
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**ORCHARD WALK ESTATES**  
 8220 TURNER ROAD  
 NORTH RICHLAND HILLS, TEXAS

Sheet No.

L-3

PLANTING SPECS

SECTION 02830

TREES SHRUBS, AND GROUNDCOVERS

PART I GENERAL

1.01 DESCRIPTION OF WORK

A. Scope

1. Bed prep
2. Metal edging
3. Topsoil
4. Planting
5. Mulching
6. Guarantee

B. Related Work Specified Elsewhere

1. General Requirements – All locations
2. Section 02740 – Irrigation Trenching
3. Section 02750 – Irrigation
4. Section 02800 – Lawns

1.02 QUALITY ASSURANCE

A. Contractor Qualifications

Minimum of three (3) years experience on projects of similar characteristics and size.

B. Reference Standards:

1. American Joint Committee Of Horticultural Nomenclature: Standardized Plant Names, Second Edition, 1942;
2. American Association Of Nurserymen: American Standard For Nursery Stock, 1973

C. Substitutions

1. Substitutions accepted only upon written approval of Landscape Architect and Owner.
2. Submit substitutions possessing same characteristics as indicated on plans and specifications.

D. Inspection and Testing

1. The project Owner's representative reserves the right to inspect and tag plants at the place of growth with the Contractor.
2. Inspection at place of growth does not preclude the right of rejection due to improper digging or handling.
3. Owner's representative reserves the right to request soil samples and analysis of soil and plant mix. Remove or correct unacceptable soil. Cost of testing by Contractor.

1.03 SUBMITTALS

A. Certificates

1. Submit State and Federal certificates of inspection with invoice. (Only if required by Landscape Architect.)
2. File certificates with Owner's representative prior to material acceptance.

1.04 PRODUCT DELIVERY, STORAGE, & HANDLING

A. Preparation of Delivery

1. Balled & Burlaped (B&B) Plants

- a. Dig and prepare for shipment in manner that will not damage roots, branches, shape, and future development after replanting.
  - b. Ball with firm, natural ball of soil, wrapped tightly with burlap covering entire ball.
  - c. Ball size and ratios: conform to American Association of Nurserymen standards unless otherwise shown on plant list.
2. Pack plant material to protect against climatic & seasonal damage, as well as breakage injuries during transit.
  3. Securely cover plant tops with ventilated tarpaulin or canvas to minimize wind-whipping and drying in transit.
  4. Pack and ventilate to prevent sweating of plants during transit. Give special attention to insure prompt delivery and careful handling to point of delivery at job site.

B. Delivery

1. Deliver fertilizer, fertilizer tablets, peat, mulch, soil additives, and amendment materials to site in original, unopened containers, bearing manufacturer's guaranteed chemical analysis, name, trade name, trademark, and conformance to State law.
2. Deliver plants with legible identification and size labels on example plants.
3. Protect during delivery to prevent damage to root ball or desiccation of leaves.
4. Notify Owner's representative of delivery schedule in advance so plant material may be inspected upon arrival at job site.
5. Deliver plants to job site only when areas are prepared.

C. Storage

1. Protect roots of plant material from drying or other possible injury with wetted mulch or other acceptable material.
2. Protect from weather.
3. Maintain and protect plant material not to be planted immediately upon delivery.

D. Handling

1. Do not drop plants.
2. Do not damage ball, trunk, or crown.
3. Lift and handle plants from bottom of container or ball.

1.05 JOB CONDITIONS

- A. Planting Season Perform actual planting only when weather and soil conditions are suitable in accordance with locally acceptable practices.
- F. Protection Before excavations are made, take precautionary measures to protect areas trucked over and where soil is temporarily stacked.

1.06 GUARANTEE

- A. Guarantee new plant material for one year after acceptance of final installation (ie Final Acceptance of project).
- B. Make replacement (one per plant) during one year guarantee period at appropriate season with original plant type, size and planting mixture.
- C. Repair damage to other plants, lawns, & irrigation caused during plant replacement at no cost to Owner.
- D. Use only plant replacements of indicated size and species.

PART II PRODUCTS

2.01 MATERIALS

A. Plant Materials

1. Hardy under climatic conditions similar to locality of project.
2. True to botanical and common name variety.
3. Sound, healthy, vigorous, well branched, and densely foliated when in leaf; with healthy well-developed root system.
4. Free from disease, insects, and defects such as knots, sun-scall, windburn, injuries, disfigurement, or abrasions.
5. Conform to measurements after pruning with branches in normal positions.
6. Conform to American Association of Nurserymen standards unless shown differently on plant list.
7. Trees:
  - a. Single, straight trunks, unless indicated otherwise
  - b. Trees with weak, thin trunks not capable of support will not be accepted.
  - c. All multi-stem trees are to have a minimum of three stems, similar in size and shape, with a spread of approximately 2/3 of the height. All youpons to be female. Grape myrtle color selection by Landscape Architect.
8. Nursery grown stock only.
9. Subject to approval of Landscape Architect.
10. Seasonal color
  - a. Annuals in 4" pots or as specified
  - b. Perennials in 4" pots, clumps, bulbs as specified

B. Topsoil

1. Natural, fertile, friable soils having a textural classification of loam or sandy loam possessing characteristics of soils in vicinity which produce heavy growth of crops, grass, or other vegetation.
2. Free of subsoil, brush, organic litter, objectionable weeds, clods, shale, stones 3/4" diameter or larger, stumps, roots or other material harmful to grading, planting, plant growth, or maintenance operations.
3. Presence of vegetative parts of Bermuda grass (Cynodon dactylon), Johnson grass, nut grass (Cyperus rotundus), and other hard to eradicate weeds or grass will be cause for rejection of topsoil.
4. Test topsoil (cost by Contractor):
  - a. Available nitrogen
  - b. Available phosphorus
  - c. Available potash
  - d. Iron
  - e. Ph: 5.5 to 7.0
  - f. Decomposed organic matter: 6-10%

C. Mulch

1. Top Dressing Mulch – Shredded cypress or hard wood only
2. Mulch for soil prep – Shredded pine bark
3. In pre-packaged bags only; bulk shredded material is unacceptable.

D. Peat Moss Commercially available baled peat moss or approved equivalent.

E. Staking Material

1. Stakes for tree support
  - a. Construction grade yellow pine, stain brown
  - b. Size as noted on plans
2. Wires
  - a. Padded with rubbed hose to protect tree
  - b. Galvanized
  - c. With galvanized turnbuckle
  - d. Evenly tighten turnbuckles with plant in vertical position.

F. Water

1. Free of oils, acids, alkali, salt, and other substances harmful to plant growth
2. Location: Furnish temporary hoses and connections on site.

G. Sand Washed builders sand

H. Antidesicant – "Wilt-proof" or equal.

- I. Edging – 3/16" X 4" green, new and unused; with stakes.

2.02 MIXES

A. Planting Mixture

- Existing topsoil – 50%  
 3. Shredded pine bark – 50%  
 4. Fertilizer 10:20:10 at 30 lb./1000 SF

B. Planting Mix for Annuals/Perennials

1. Prepare above mix
  2. Add 2" of sand
- C. Azalea mix: solid peat moss in hole 9" wider than root ball each direction. Plant in solid peat moss and provide mound at base of plant to allow for drainage.  
 D. Japanese maple, dogwood, camellias: Provide 50/50 peat moss to topsoil mix, raise for drainage.

PART III – EXECUTION

3.01 UTILITIES – verify location of all utilities prior to initiating construction; repair any damage caused by construction at no cost to owner.

3.02 INSPECTION

- A. Inspect plants for injury and insect infestation; prune prior to installation.
- B. Inspect site to verify suitable job conditions.

3.03 FIELD MEASUREMENTS

- A. Location of all trees and shrubs to staked in the field and approved by Owner's representative prior to installation.
- B. Location of all groundcover and seeding limits as shown on plans.

3.04 EXCAVATION FOR PLANTING

A. Pits

1. Shape – Vertical hand scarified sides and flat bottom.
2. Size for trees – 2 feet wider or twice the root ball, whichever is greater.
3. Size for shrubs – Size of planting bed as shown on drawings.
4. Rototill soil mix thoroughly, full depth.
5. NOTE: If beds are proposed beneath drip line of existing tree canopy, pocket prep plants. Do not rato-till beneath existing trees.

B. Obstructions Below Ground

1. Remove rock or underground obstructions to depth necessary to permit planting.
2. If underground obstructions cannot be removed, notify Owner's representative for instruction.

C. Excess Soil Dispense of unacceptable or excess soil away from the project site at Contractor's expense.

3.05 PLANTING

A. General

1. Set plants 2" above existing grade to allow for settling.
2. Set plants plumb and rigidly braced in position until planting mixture has been tamped solidly around ball.
3. Apply soil in accordance with standard industry practice for the region.
4. Thoroughly settle by water jetting and tamping soil in 6" lifts.
5. Prepare 3" dish outside root ball after planting.
6. Thoroughly water all beds and plants.
7. Stake trees and large shrubs as indicated on plans.
8. Apply anti-desicant according to manufacturer's instructions.
9. Apply commercially manufactured root stimulator as directed by printed instruction.
10. Plant and fertilize bedding plants per trade standards.
11. Apply 3" mulch top dressing.

B. Balled Plants

1. Place in pit of planting mixture that has been hand tamped prior to placing plant.
2. Place with burlap intact to ground line. Top of ball to be 2" above surrounding soil to allow for settling.
3. Remove binding at top of ball and lay top of burlap back 6".
4. Do not pull wrapping from under ball, but cut all binding cord.
5. Do not plant if ball is cracked or broken before or during planting process or if stem or trunk is loose.
6. Backfill with planting mixture in 6" lifts.

C. Container Grown Plants

1. Place in pit on planting mixture that has been hand tamped prior to placing plant.
2. Cut cans on two sides with an acceptable can cutter, and remove root ball from can.

Do not injure root ball.

3. Carefully remove plants without injury or damage to root balls.
4. Backfill with planting mixture in 6" lifts.

D. Mulching

1. Cover planting bed evenly with 3" of mulch.
2. Water immediately after mulching.
3. Where mulch has settled, add additional mulch to regain 3" thickness.
4. Hose down planting area with fine spray to wash leaves of plants.

D. Pruning

1. Prune minimum necessary to remove injured twigs and branches, dead wood, and succors; remove approximately 1/3 of twig growth as directed by landscape architect; do not cut leaders or other major branches of plant unless directed by landscape architect.
2. Make cuts flush, leaving no stubs.
3. Point cuts over 1" diameter with approved tree wound paint.
4. Do not prune evergreens except to remove injured branches.

3.06 EDGING

- A. Stake edging alignment with string line prior to installation. Use framing square to insure right angles are true.
- B. Install all edging straight and true as indicated on drawings. Where edging layout is circular in design, maintain true and constant radii as shown.
- C. When required on slopes, make vertical cuts (approximately 6" on center) on bottom of edging to allow bending without crimping edging.
- D. Install edging so that approximately 1" is exposed on lawn side. Edging should not be visible from bed side after application of mulch.
- E. Align edging with architectural features (ie pavement joints, windows, columns, wall, etc.) when drawings indicate.
- F. Bend all corners, do not cut corners.
- G. Interlock all pieces with pre-fabricated connectors.
- H. Install with all stakes on inside of planting bed.
- I. Remove, file off all sharp corners and burrs.

3.07 CLEAN-UP

A. Sweep and wash all paved surfaces.

Remove all planting and construction debris from site, including rocks, trash and all other miscellaneous materials.

3.08 MAINTENANCE

A. Contractor responsible for routine, and regular maintenance of site until Final Acceptance is awarded by Owner. Work includes:

1. Weeding (weekly)
2. Watering (as required)
3. Pruning
4. Spraying
5. Fertilizing
6. Mulching
7. Mowing (weekly)

B. Provide Owner and Landscape Architect with preferred maintenance schedule in writing. Schedule shall include the above-listed tasks and shall address all frequencies, rates, times, levels, etc.

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Exhibit C - Site Plan Exhibits - Ordinance No. 3856 - Page 6 of 17

Date MAY 20, 2024  
 Drawn By GAC  
 Checked By GAC  
 Revisions

SECTION 02800

FINISH GRADING, LAWN WORK, WILD FLOWERS

PART 1 - GENERAL

1.01 DESCRIPTION

- A. Work includes turf establishment (sod, hydromulch, etc.) as described on drawings.
- B. Make required analysis and material tests for topsoil, fertilizers, and other materials of similar character per current methods of the Association of Official Agricultural Chemists, when required.
- C. Grass seed shall conform to tolerances for germination and purity per applicable standards of U.S. Department of Agriculture.
- D. The turf contractor shall have a stand of grass established prior to substantial completion of the project. If this is not possible due to time of year or schedule, he shall maintain and protect the seeded areas until the grass is established.

PART 2 - PRODUCTS

2.01 TOPSOIL MATERIAL

- A. Topsoil material (stockpiled, as specified in Specifications) has been saved for use in finish grading. After sifting out all plant growth, rubbish, and stones, use for areas designated to receive grass. If stockpiled topsoil is not sufficient quantity to complete work, furnish acceptable topsoil from another approved source to provide four inches (4") of topsoil for grass areas unless otherwise noted on drawings. Grass areas shall be defined as the graded areas disturbed during construction not to be paved or built upon.
- B. Acceptable topsoil material shall be defined as natural, fertile, agricultural soil, capable of sustaining vigorous plant growth, uniform composition throughout admixture of subsoil, free of stones, lumps, plants, and their roots, sticks, or other extraneous matter; do not deliver while in a frozen or muddy condition.

2.02 FERTILIZER

- A. Provide a commercial balanced fertilizer delivered to the job in bags labeled with manufacturer's guaranteed analysis. Store in weatherproof storage, place in such a manner that its effectiveness will not be impaired.
- B. Fertilizer shall be a grade containing the percentages of plant food elements by weight as specified elsewhere in these specifications.
- C. Availability of various elements shall be per Standards of the Association of Official Agricultural Chemists.

2.03 GRASS SEED

- A. Grass seed shall be of the previous season's crop and the date of analysis shown on each bag shall be within nine (9) months of the time of delivery to the project. When requested by the Owner or Representative, the seeding contractor shall furnish a sample of seed from each bag for testing.
- B. The seed shall comply with all provisions of the U.S. Department of Agriculture as to labeling, purity, and germination.

2.04 MULCHING

- A. Dry straw or hay of good quality, free of seeds of competing plants and at such rate of 1 1/2 - 2 tons per acre; or,
- B. Wood cellulose or cane fiber mulch at a rate of 1,000 pounds per acre when the slope is 3/4:1 and steeper; or,
- C. A combination of good quality dry straw or hay free of seeds of competing plants at a rate of 2 1/2 tons per acre and wood cellulose or cane fiber mulch at a rate of 500 pounds per acre. This combination shall be used when the slope is flatter than 3/4:1; or,
- D. Sericeo lespedza seed bearing hay at a rate of 3 tons per acre. This mulch may be applied green or air dried, but must contain mature seed.
- E. Manufactured mulch materials, such as soil retention blankets, erosion control netting, or others that may be required on special areas of high water concentration or unstable soils. When these materials are used, follow the manufacturer's recommendations for installation.

2.05 HYDRO-MULCHING

- Wood cellulose fiber or cane fiber mulch will be applied with hydraulic seeding and fertilizing equipment. All slurry ingredients shall be mixed to form a homogeneous slurry and spray applied within one hour after the mixture is made.
- When wood cellulose or cane fiber mulch is used at the 500 pound per acre rate, straw or hay mulch with asphalt emulsion is applied over this to complete the mulch.
- Wood cellulose or cane fiber mulch at the 1,000 pound per acre rate is used alone where other mulch material will not stick.
- Wood cellulose or cane fiber mulch is self anchoring.

PART III - EXECUTION

3.01 RESPONSIBILITY

The site grading contractor will be responsible to stockpile acceptable topsoil in a sufficient quantity to provide four inches (4") minimum cover for all grass areas, including but not limited to all curbed islands, and topsoil planting mounds/berms at the appropriate height and width as defined and shown on the landscaping and/or planting drawings. The topsoil and grass areas shall be further defined as any area disturbed during the grading and construction process.

The site grading contractor, shall be responsible to spread the topsoil within all perimeter graded areas and future building areas only.

The site grading contractor shall be responsible for backfilling of all curbed islands and planting mounds/berms. They shall also be responsible for removal of all stones, roots, and raking of all topsoil areas that are to be seeded and/or planted. It will also be the site grading contractor's responsibility to provide fertilizer, grass seed, and any additional topsoil required and mulching.

3.02 GRASS SEEDING

- A. Remove stones, roots, rubbish and other deleterious materials from topsoiled areas that are to be seeded.
- B. Immediately prior to sowing seed, scarify ground as necessary; rake until surface is smooth and friable. Sow seed evenly, lightly wood rake into 02800-3
- C. ground, then roll ground with suitable roller; water thoroughly with fine spray. During any weather, keep lawn watered with sprinklers or other approved methods. Re-seed any areas not doing well or damaged. At intervals as may be required according to seasonal conditions, mow and water grass and execute necessary weeding until acceptable and full stand of grass has been obtained.
- D. Provide permanent grass seeding for lawn areas so indicated. Seed in accordance with the following schedule (unless otherwise directed by Owner or Owner's Representative):

1. Sow areas ready for seeding between March 1 and October 1 with Hulled Common Bermuda at a rate of 85 pounds per acre.
2. Sow areas ready for seeding between October 1 and March 1 with Unhulled Common Bermuda at a rate of 90 pounds per acre, and Annual Rye Grass at the rate of 50 pounds per acre.
3. Apply fertilizer at a rate of 20/25 pounds per 1,000 square feet.

3.03 WILD FLOWERS

- A. Areas indicated on plans to receive wild flower coverage shall be fine graded, fertilized, and prepared in a manner similar to traditional turf establishment.
- B. Area to be hydromulched with seed mix as follows:

Tickseed	10 pounds/acre
Cosmos	15 pounds/acre
Ox-Eyed Daisy	5 pounds/acre
Side Oats Grama	4 pounds/acre
Showy Primrose	0.5 pounds/acre
Plains Coreopsis	2 pounds/acre
Black Eyed Susan	2 pounds/acre
Indian Blanket	10 pounds/acre
Texas Bluebonnet	4 pounds/acre
Little Bluestem	4 pounds/acre

3.04 MULCH

- A. All areas to be seeded shall be mulched.
- B. Mulch materials shall be applied uniformly over the seeded area. Mulch shall be straw and shall be at the rate of 1 1/2 - 2 tons per acre.
- B. Mulch shall be anchored with an emulsified asphalt binder at the rate of 10 gallons per 1,000 square feet.

3.05 PROTECTION

Provide, at no additional cost to Owner, fencing, railing, wire or other types of protection for topsoiled and seeded areas against trespassing and damage. If lawns are damaged prior to Final Acceptance, treat or replace them as directed. Remove protection when so directed.

3.06 MAINTENANCE

Provide maintenance from start of work until Final Acceptance. Maintenance includes watering of lawns, weeding, mowing, edging, repairs of wash-outs and gullies, repairs to protection, and other necessary work of maintenance. Maintain slopes against erosion.

3.07 REHYDROMULCHING

The Owner's representative will designate areas to be replanted. Areas on which a stand of growing grass is not present in a reasonable length of time, (Bermuda grass seed should be germinating in 6-8 days) shall be prepared, reseeded and remulched, as specified for original planting at no additional cost to Owner. A stand shall be defined as live plants from seed occurring at a rate of not less than 1,000 growing plants per square foot. Replanting required because of faulty operations or negligence on the part of the Contractor shall be performed without cost to Owner.

3.08 FINAL CLEAN-UP

- A. At time of final inspection of work, and before final acceptance, clean paved areas that are soiled or stained by operations of work of this section. Clean by sweeping or washing, and remove all defacements or stains.
- B. Remove construction equipment, excess material and tools. Cart away from site any debris resulting from work of this section and dispose of as directed.

SECTION 02922

SODDING

PART 1 - GENERAL

1.01 DESCRIPTION

A. Work Included

1. Sod bed preparation
2. Fertilizing
3. Sodding
4. Miscellaneous management practices

B. Related Work Specified Elsewhere

1. Finish Grading, Section 02800
2. Lawns and Grasses, Section 02930

1.02 REFERENCE STANDARDS

A. Standardized Plant Names

American Joint Committee of Horticultural Nomenclature, Second Edition, 1942.

B. Texas Highway Department - Standard Specifications for Construction, Item 164, Seeding for Erosion Control.

1.03 SUBMITTALS

- A. Vendors Certification That Sod Meets Texas State Sod Law
- 1. Include labeling requirements.
- 2. Include purity and type.

1.04 PRODUCT DELIVERY, STORAGE AND HANDLING

A. Sod:

1. Previous season's crop with date of analysis on each bag.
2. Furnish and deliver each variety in separate bags or containers.
3. Sod to be cut no more than three days before delivery.

B. Fertilizer:

1. Unopened bags labeled with the analysis.
2. Conform to Texas Fertilizer Law.

1.05 JOB CONDITIONS

A. Planting Season:

1. Only during suitable weather and soil conditions.
2. As specifically authorized by the Owner's Representative.

B. Schedule - Only after all other construction is complete.

C. Protect and Maintain Sodded Areas

1. From traffic and all other use.
2. Until sodding is complete and accepted.

PART 2 - PRODUCTS

2.01 MATERIALS

A. Sod:

1. Sod: As specified on drawings, weed, insect, and disease free having a minimum of 1 inch of topsoil attached to the roots and cut no more than three days prior to installation.
2. The sod shall be cut in strips of at least 1/2 sq. yd. and not more than 1 sq. yd. Sod shall be cut into strips not less than 12" in width or more than 9' in length. At the time of harvest, the top growth shall not exceed 3" in length.
3. All sod shall conform to the laws of the State and shall be obtained from sources meeting the approval of the Department of Agriculture, Division of Entomology.

B. Fertilizer:

1. Uniform in composition, free flowing.
2. Suitable for application in approved equipment.
3. Analysis of 16-20-0, 16-8-8 or as directed.

C. Water:

1. Free of oil, acid, alkali, salts or other substances harmful to growth of grasses.

PART 3 - EXECUTION

3.01 SOD BED PREPARATION

- A. Cultivate to a depth of four (4") inches by disking and tilling with a power tiller.

B. Clear surfaces of all materials:

1. Stumps, stones, and other objects larger than one inch (1").
2. Roots, brush, wire, stakes, etc.
3. Any objects that may interfere with sodding or maintenance.

C. Prepare sod bed:

1. Remove soil clods larger than one inch (1").
2. Grade areas to smooth, even surface, removing ridges and filling depressions. Final grade to be below finish grade of curbing and edging as shown on details. All grades shall meet approval of Owner's Representative before sodding.

3.02 SODDING

A. Sodding:

1. Lightly water prepared grade, lay sod with staggered joints and with edges touching. Topdress with topsoil at edges if necessary to provide smooth surface. On slopes of 2 to 1 and greater, fasten sod in place with wood pegs (two each piece) or other approved method. Sod damaged by storage or during installation shall be rejected. Following settling, topdress with screened, approved topsoil.
2. Water and fertilize at 5 lbs. per 1,000 sq. ft.
3. Sod shall not be placed during a drought, nor during periods when sod is not normally placed in the area, and shall not be placed on frozen ground. No dry or frozen sod is acceptable.
4. The contractor shall keep all sodded areas moist and growing until Final Acceptance. All areas shall be maintained in an acceptable condition until acceptance by Owner.

B. Rolling:

1. After placing sod, roll with a hand roller, weighing not more than 100 lbs. per foot of width, in two directions.
2. Eliminate all air pockets; finished surface should be free of excessive undulations.

3.05 MAINTENANCE AND MANAGEMENT

A. Includes protection, replanting, maintaining grades, repair of erosion damage. Also includes weekly mowing at 1 1/2" height until final acceptance.

B. Resodding:

1. Resod damaged or unacceptable areas.
2. Ruts, ridges, and other surface irregularities shall be corrected.

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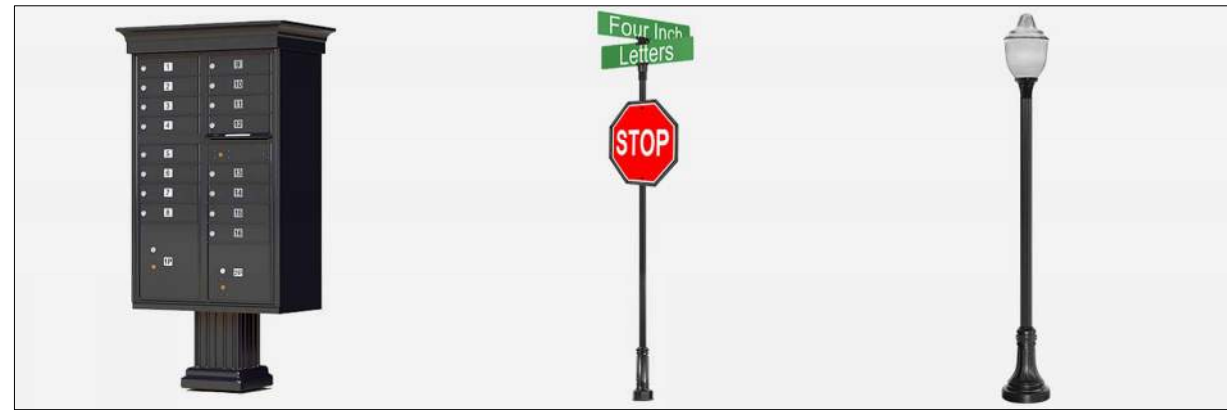


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ORCHARD WALK ESTATES  
 8220 TURNER ROAD  
 NORTH RICHLAND HILLS, TEXAS

Sheet No.  
**L-4**

TURF SPECS



CLUSTER MAILBOXES

3" FLUTED TRAFFIC SIGNS BY BRANDON INDUSTRIES

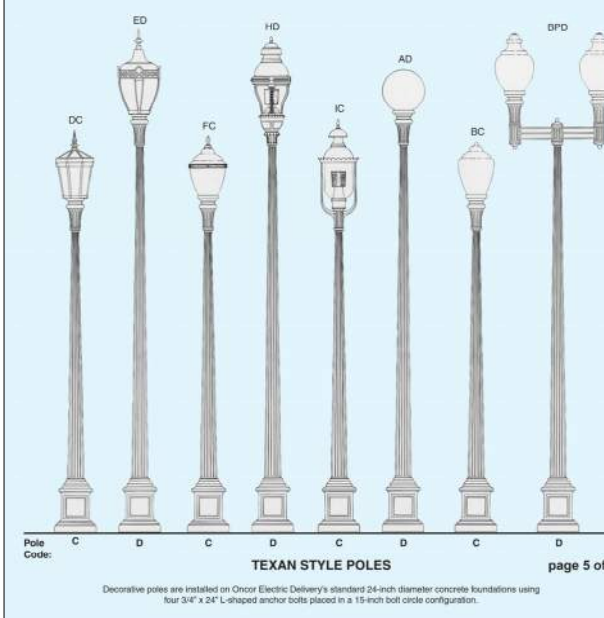
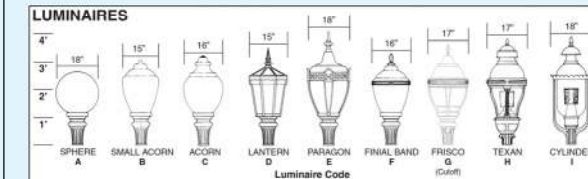
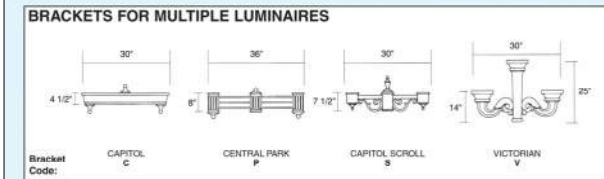
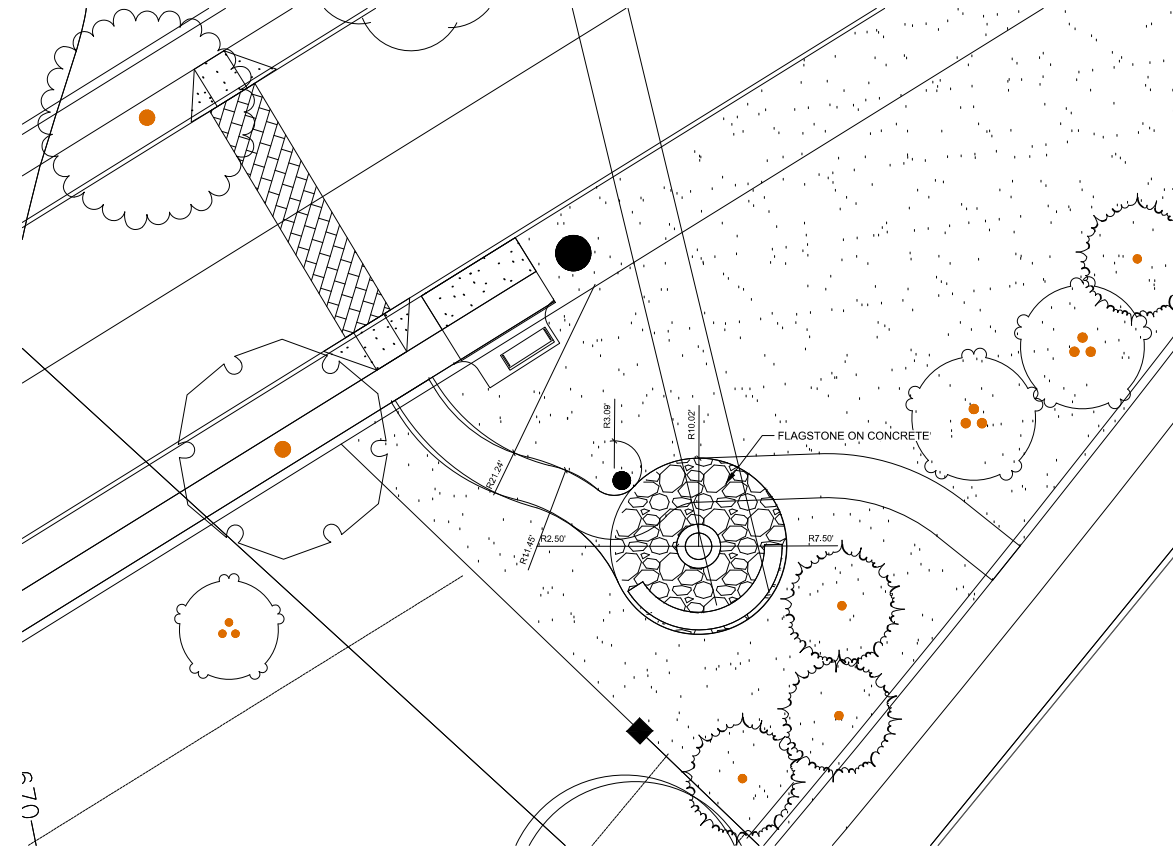
ONCOR APPROVED STREET LIGHT



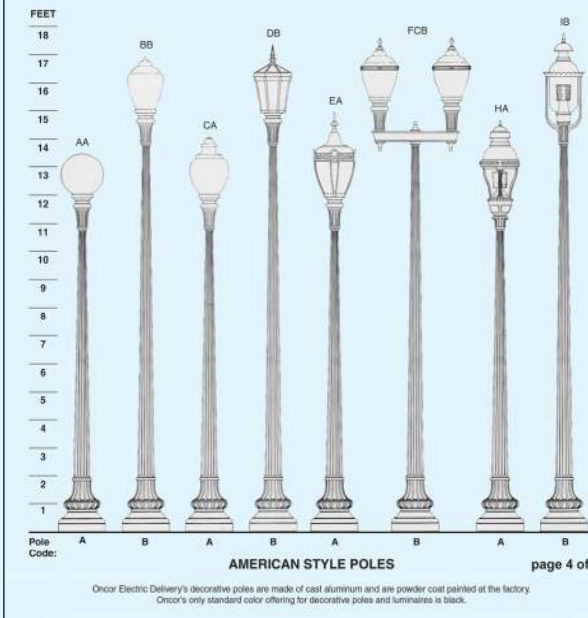
VICTOR STANLEY BENCHES

VICTOR STANLEY TRASH RECEPTACLES

VICTOR STANLEY BIKE RACK



TEXAS STYLE BASE C



LUMINARIES B

Date MAY 20, 2024  
 Drawn By GAC  
 Checked By GAC  
 Revisions

FAIN • CUPPETT  
 LANDSCAPE ARCHITECTS, LLC  
 1921 MAPLEWOOD DR  
 WEATHERFORD, TX 76087  
 682-715-9151  
 PLANS AND OPEN SPACE PLANNING • LANDSCAPE ARCHITECTURE • IRRIGATION DESIGN



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ORCHARD WALK ESTATES  
 8220 TURNER ROAD  
 NORTH RICHLAND HILLS, TEXAS

Sheet No.  
**L-5**

**DOGIPOT**  
 800.364.7681 www.DOGIPOT.com

**ALL ALUMINUM DOGIPOT® PET STATION (ITEM #1003A-L)**  
 SPECIFICATION, INSTALLATION AND OPERATION SHEET

**YOUR ALL ALUMINUM DOGIPOT® PET STATION INCLUDES:**

- Aluminum DOGIPOT® Pet Sign, with mounting hardware two (2) 2 1/4" x 1/4" top bolts, washers and locknuts
- Aluminum DOGIPOT® JUNIOR Bag Dispenser (ITEM #1002-2), with mounting hardware two (2) 2 1/4" x 1/4" top bolts, washers and locknuts
- Two (2) sets of DOGIPOT® Smart Liner Pick Up Bags® (ITEM #1402) (200 count per roll), installed in DOGIPOT® JUNIOR Bag Dispenser
- 10 Gallon Aluminum Trash Receptacle (ITEM #1206A-L) with attached hinged lid and trash liner bag retainer bands, with mounting hardware (one (1) 2 1/4" x 1/4" and (1) 2 1/4" x 1/4" top bolts, washers and locknuts)
- One (1) box DOGIPOT® Smart Liner Trash Bags® (ITEM #1404) (50 count)

**SEPARATE SHIPPING BOX**

- 2" x 2" x 4" - 8" Galvanized Steel Telescopic Mounting Post, with installation hardware two (2) carriage bolts (2 1/2" x 5/16"), washers and locknuts

**PLEASE CHECK THE ABOVE INVENTORY AND CALL YOUR DISTRIBUTOR IF ANY PARTS ARE MISSING.**

**INSTALLATION AND OPERATION INSTRUCTIONS**

1. Select a good visible spot in your community or park where you want to install the All Aluminum DOGIPOT® Pet Station.
2. Prior to installation, remove the 1 1/2" x 1 1/4" x 4" portion of the mounting post from the 2" x 2" x 4" portion of the mounting post before connecting. Insert the larger portion of the mounting post (2" x 2" x 4") approximately 5/8" into an 1 1/2" deep by 1 1/4" diameter hole filled with a 40 lb. bag of "ready to use" concrete mix. To stabilize the post while cementing, place a mop, ball or other device through the two bottom holes, prior to inserting into the ground and cementing. Level the post in a straight vertical position and let concrete dry for at least 12 hours.
3. After the concrete is dry, insert the smaller portion of the post (1 1/2" x 1 1/4" x 4") into the larger cemented portion of the post (2" x 2" x 4") until the first 4 holes are lined up between the two posts. Use two (2) carriage bolts, washers and locknuts to fix the telescopic post in position, the upper bolt in the top overlapping hole, pointing from right to left and the lower bolt in the bottom overlapping hole, pointing from front to back. The total height above ground with both post parts should be approximately 4'9".
4. Start by installing the DOGIPOT® Pet Sign on top of the 1 1/2" post, with the upper hole matching the most upper hole in the square post using the enclosed 2 1/4" bolts, washers and locknuts. Continue installing the Aluminum DOGIPOT® JUNIOR Bag Dispenser according to the mounting instructions enclosed with the Dispenser, ensuring that the upper edge of the Dispenser is approximately 1" below the lower edge of the DOGIPOT® Pet Sign.
5. Install the Aluminum DOGIPOT® Trash Receptacle through the pre-drilled top oval holes in the back wall of the receptacle and through the square post with the remaining top, medium and bottom holes using the 2 1/2" bolt on top and the 2 1/2" bolt below. The upper edge of the trash receptacle must be approximately 12 1/2" below the lower end of your Aluminum DOGIPOT® JUNIOR Bag Dispenser so that the lid may completely open. The upper back wall of the trash receptacle is supported to touch the head of the lower post carriage bolt, which creates some space between the post and the receptacle, allowing the receptacle lid to open from left to right, without touching the post.
6. Insert one of the enclosed DOGIPOT® Smart Liner Trash Bags® into the trash receptacle, folding it over the interior exterior bands. Proper installation and general maintenance will help extend the life of the trash receptacle and dispenser unit. DOGIPOT® offers Product Maintenance Paint to help cover any paint chips which may occur in the powder coating during the life of the product.
7. ENJOY WATCHING PET OWNERS PICK UP AFTER THEIR DOGS!

**DOGIPOT**  
 800.364.7681 www.DOGIPOT.com

**ALL ALUMINUM DOGIPOT® PET STATION (ITEM #1003A-L)**  
 SPECIFICATION, INSTALLATION AND OPERATION SHEET

**(A) DOGIPOT® PET SIGN (ITEM #1203 / 1204)**

- H: 18" x W: 11.5"
- 14 gauge reflective aluminum
- Weight: 1.35 lbs.
- Forest green on white

**(B) ALUMINUM DOGIPOT® JUNIOR BAG DISPENSER (ITEM #1002-2)**

- H: 15 1/2" x W: 9 1/4" x D: 3.25"
- 12 gauge powder coated forest green aluminum
- Weight: 7 lbs.
- 400 bag capacity
- Two diamond shaped bag dispenser slots
- Front locking access panel
- Clearly coded instructions

**(C) ALUMINUM TRASH RECEPTACLE WITH LID (ITEM #1206A-L)**

- 14 gauge powder coated forest green aluminum
- Weight: 9 lbs.
- 10 gallon capacity with interior trash liner bag retainer bands
- Attached aluminum hinged lid
- One (1) box 50 count DOGIPOT® Smart Liner Trash Bags® (ITEM #1404) included (5 lbs.)

**(D) TELESCOPIC GALVANIZED STEEL MOUNTING POST (ITEM #1301-P)**

- 14 1/2" x 11.5" diameter
- 2" x 2" x 8"
- 11 gauge galvanized steel
- Weight: 15 lbs.

**TOTAL HEIGHT FROM ABOVE GROUND:**  
 • 6'6"

**SPACE BETWEEN DISPENSER AND SIGN:**  
 • 1.0"

**SPACE BETWEEN RECEPTACLE AND DISPENSER:**  
 • 12.5"

**SPACE BETWEEN GROUND AND RECEPTACLE:**  
 • 6.0"

**HOLES:**

- D: 18.0" x W: 8.0"
- Fill with 40 lbs. "ready to use" cement

**TOTAL SHIP WEIGHT: 45 LBS. (MOUNTING HARDWARE INCLUDED)**

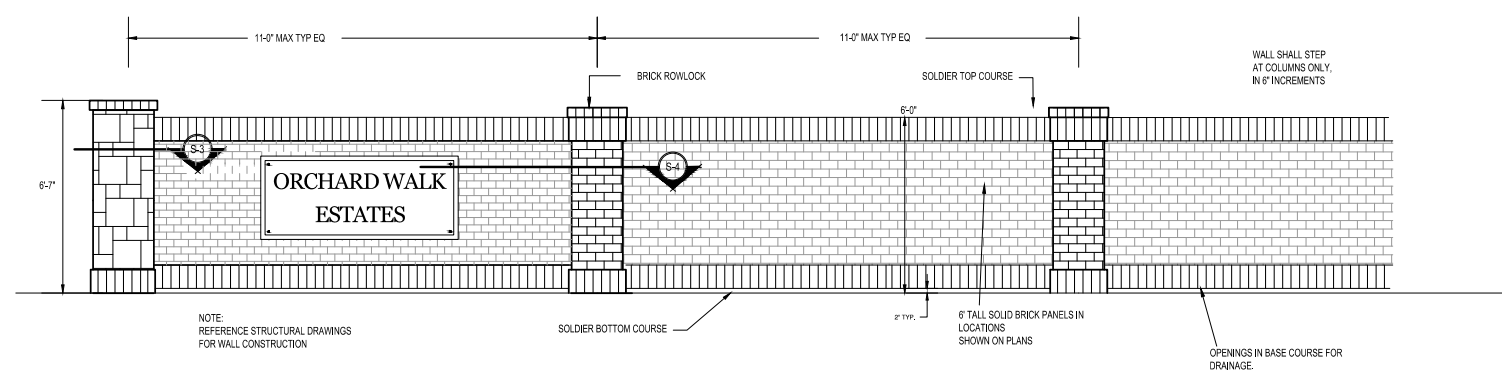
**FAIN • CUPPETT**  
**LANDSCAPE ARCHITECTS, LLC**  
 1921 MAPLEWOOD DR  
 WEATHERFORD, TX 76087  
 682-215-9151  
 PLANS AND OPEN SPACE PLANNING - LANDSCAPE ARCHITECTURE - IRRIGATION DESIGN



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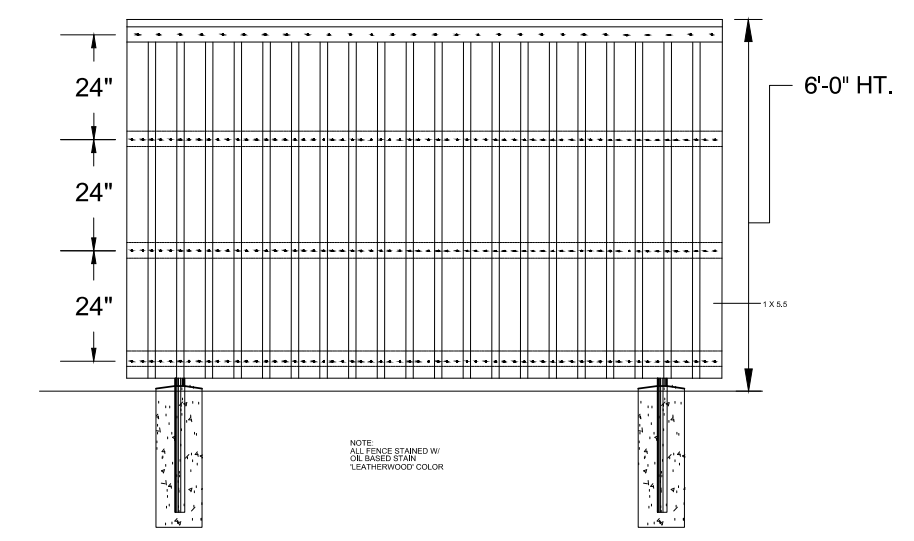
**ORCHARD WALK ESTATES**  
 8220 TURNER ROAD  
 NORTH RICHLAND HILLS, TEXAS

Sheet No.  
**L-6**



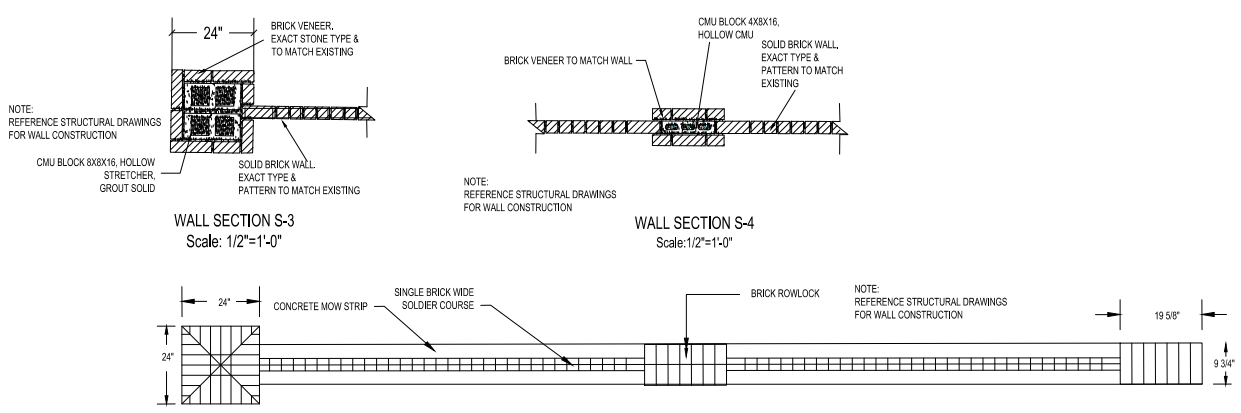
**TYPICAL MASONRY WALL ELEVATION**

SCALE: NOT TO SCALE



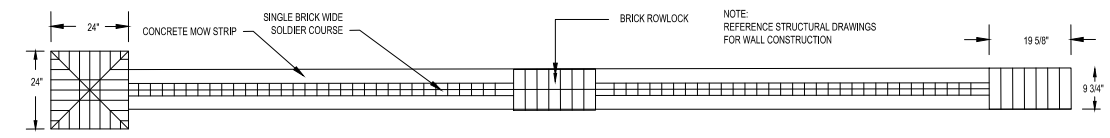
**TYPICAL 6' WOODEN FENCE ELEVATION**

SCALE: NOT TO SCALE



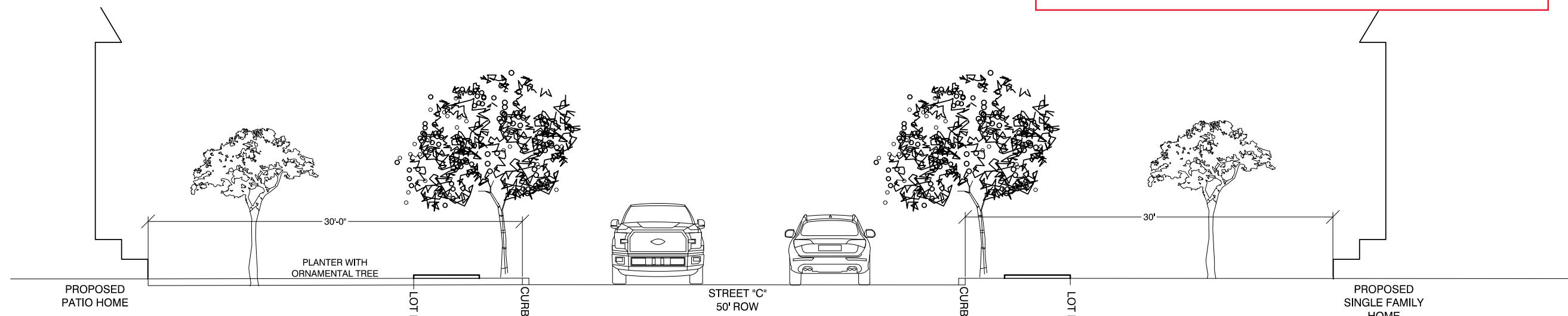
**WALL SECTION S-3**  
 Scale: 1/2"=1'-0"

**WALL SECTION S-4**  
 Scale: 1/2"=1'-0"



**WALL PLAN**  
 Scale: 1/4"=1'-0"  
**TYPICAL COLUMN / WALL DETAILS**

SCALE: NOT TO SCALE



**TYPICAL STREET SECTION**  
 Scale: 1/4"=1'-0"

**FENCE AND WALL DETAILS**

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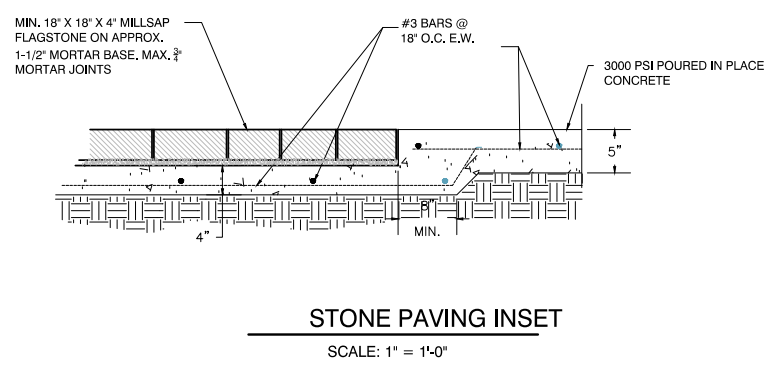
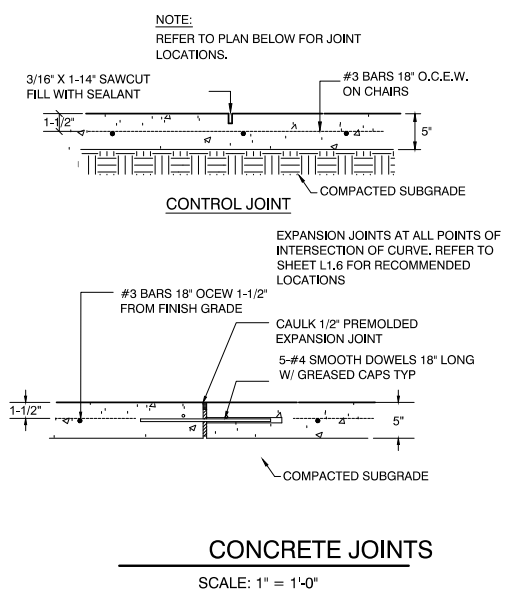
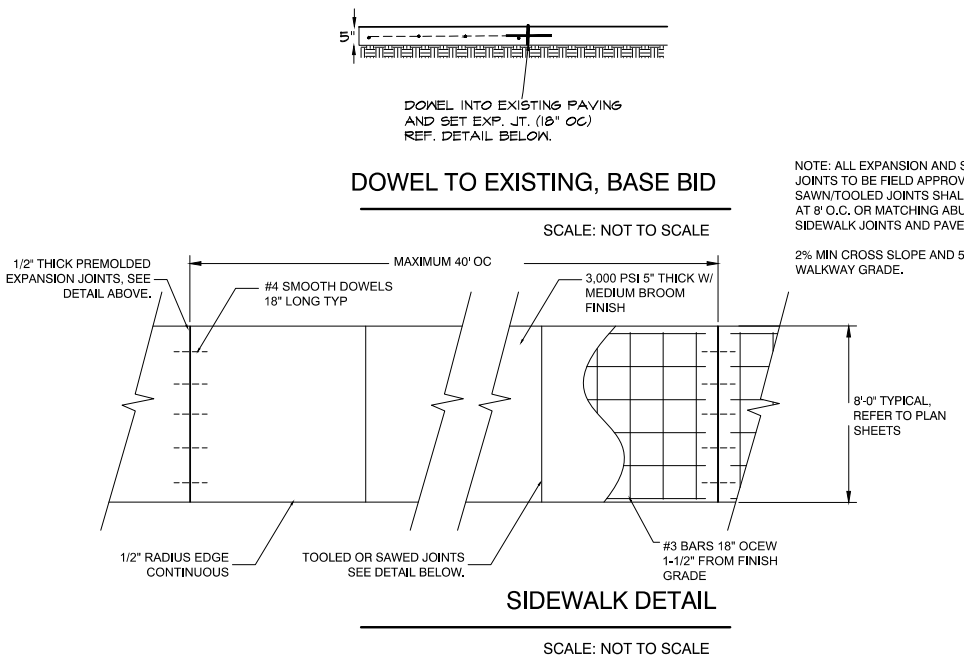
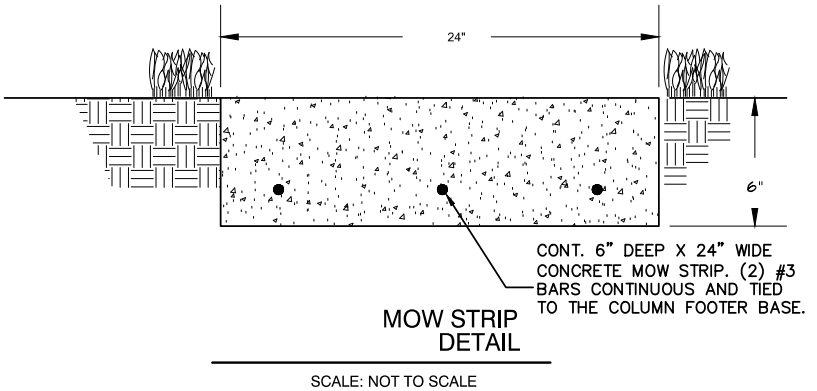
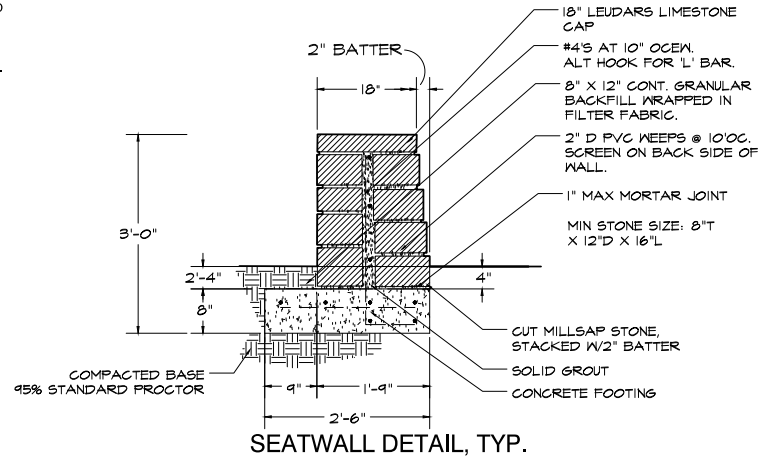
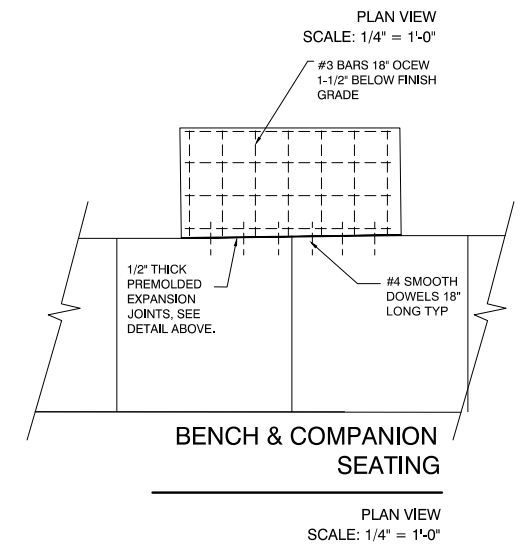
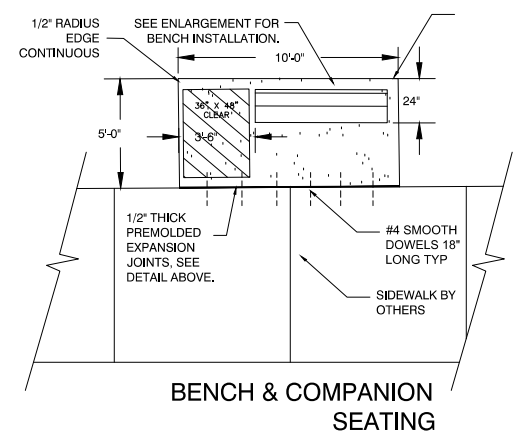
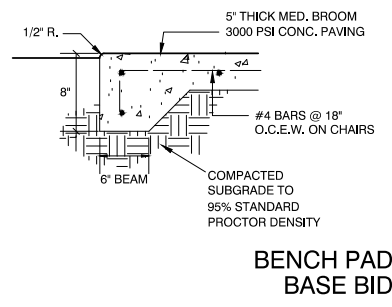


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 PLANS AND OPEN SPACE PLANNING - LANDSCAPE ARCHITECTURE - IRRIGATION DESIGN

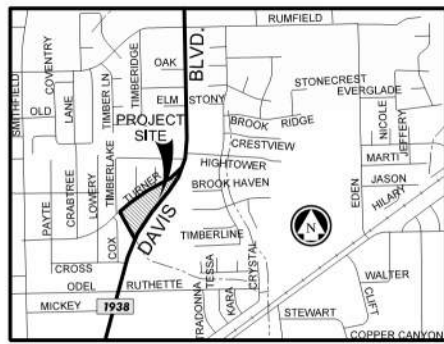


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**ORCHARD WALK ESTATES**  
 8220 TURNER ROAD  
 NORTH RICHLAND HILLS, TEXAS



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VICINITY MAP  
N.T.S.

GARAGES AT CORNER LOTS TO BE FURTHEST FROM THE INTERSECTION

**FENCE EXHIBIT LEGEND**

Masonry screening wall

Wood fence

ITEM	R-2	RI-PD (4.293 AC) 18 UNITS
MIN. LOT AREA	9,000 SF	5,265 SF
AVG. LOT AREA	-	5,900 SF
MIN FRONT YARD	20 FT	20 FT
MINN REAR YARD	10 FT AND 20%	10 FT
MIN. LOT WIDTH	72.5 FT	55 FT (56 FT AVG.)
MIN. SIDE YARD	10 FT & 6 FT	5 FT AND 5 FT
TOTAL OPEN SPACE	-	(32,511 S.F.) 17.39 %
USEABLE OPEN SPACE	-	23,771 SF (12.71 %)
DENSITY	4 UNITS/AC	4.19 UNITS/AC

AREA CALCULATIONS	
AREA OF DEVELOPMENT	= 4.293 ACRES (187,003 SF)
NUMBER OF UNITS	= 18
OPEN SPACE	= (32,511 S.F.) 17.39 %
ROW DEDICATION	= 2,112 S.F.

LEGAL DESCRIPTION  
BEING A 4.293 ACRE TRACT OF LAND BEING A PORTION OF THE COMMERCIAL TRACT IN BLOCK 12, SMITHFIELD ACRES ADDITION, 2ND SECTION, AN ADDITION TO THE CITY OF NORTH RICHLAND HILLS AS SHOWN ON THE PLAT RECORDED IN VOLUME 388/21, PAGE 36, PLAT RECORDS, TARRANT COUNTY, TEXAS, AS CONVEYED TO CELESTIAL LONE STAR HOMES LLC, BY DEEDS RECORDED IN INSTRUMENTS NUMBER D223214155, DEED RECORDS, TARRANT COUNTY, TEXAS.SAID 4.293 ACRE TRACT IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 5/8" IRON WITH CAP SET AT THE EASTERLY CORNER OF SAID COMMERCIAL TRACT, IN THE SOUTHERLY LINE OF TURNER ROAD, IN THE NORTHWESTERLY LINE OF DAVIS BOULEVARD (F.M. 1938) AND THE BEGINNING OF A CURVE TO THE RIGHT:

THENCE S 39 DEGREES 45 MINUTES 14 SECONDS W WITH A LINE OF SAID COMMERCIAL TRACT AND THE NORTHWESTERLY LINE OF DAVID BOULEVARD TO A 5/8" IRON WITH CAP SET. SAID CURVE TO THE RIGHT HAS A RADIUS OF 1,849.86 FEET A CENTRAL ANGLE OF 14 DEGREES 28 MINUTES 33 SECONDS AND A LONG CHORD WHICH BEARS S 32 DEGREES 30 MINUTES 57 SECONDS W 466.13 FEET;

THENCE S 39 DEGREES 45 MINUTES 14 SECONDS W WITH A LINE OF SAID COMMERCIAL TRACT AND THE NORTHWESTERLY LINE OF DAVID BOULEVARD, 40.20 FEET TO A HIGHWAY MONUMENT FOUND AT THE NORTHEAST CORNER OF A TRACT OF LAND DESCRIBED IN A DEED TO THE STATE OF TEXAS AND RECORDED IN VOLUME 9421, PAGE 2172, DEED RECORDS, TARRANT COUNTY, TEXAS;

THENCE WITH THE NORTHWESTERLY LINE OF DAVIS BOULEVARD AND THE STATE OF TEXAS TRACT THE FOLLOWING CALLS:

S 43 DEGREES 50 MINUTES 14 SECONDS W, 291.89 FEET TO A 5/8" IRON WITH CAP SET;

S 39 DEGREES 55 MINUTES 14 SECONDS W, 104.80 FEET TO A 5/8" IRON WITH CAP SET;

S 30 DEGREES 54 MINUTES 14 SECONDS W, 104.66 FEET TO A 5/8" IRON WITH CAP SET;

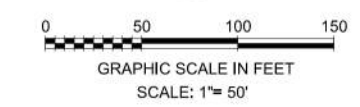
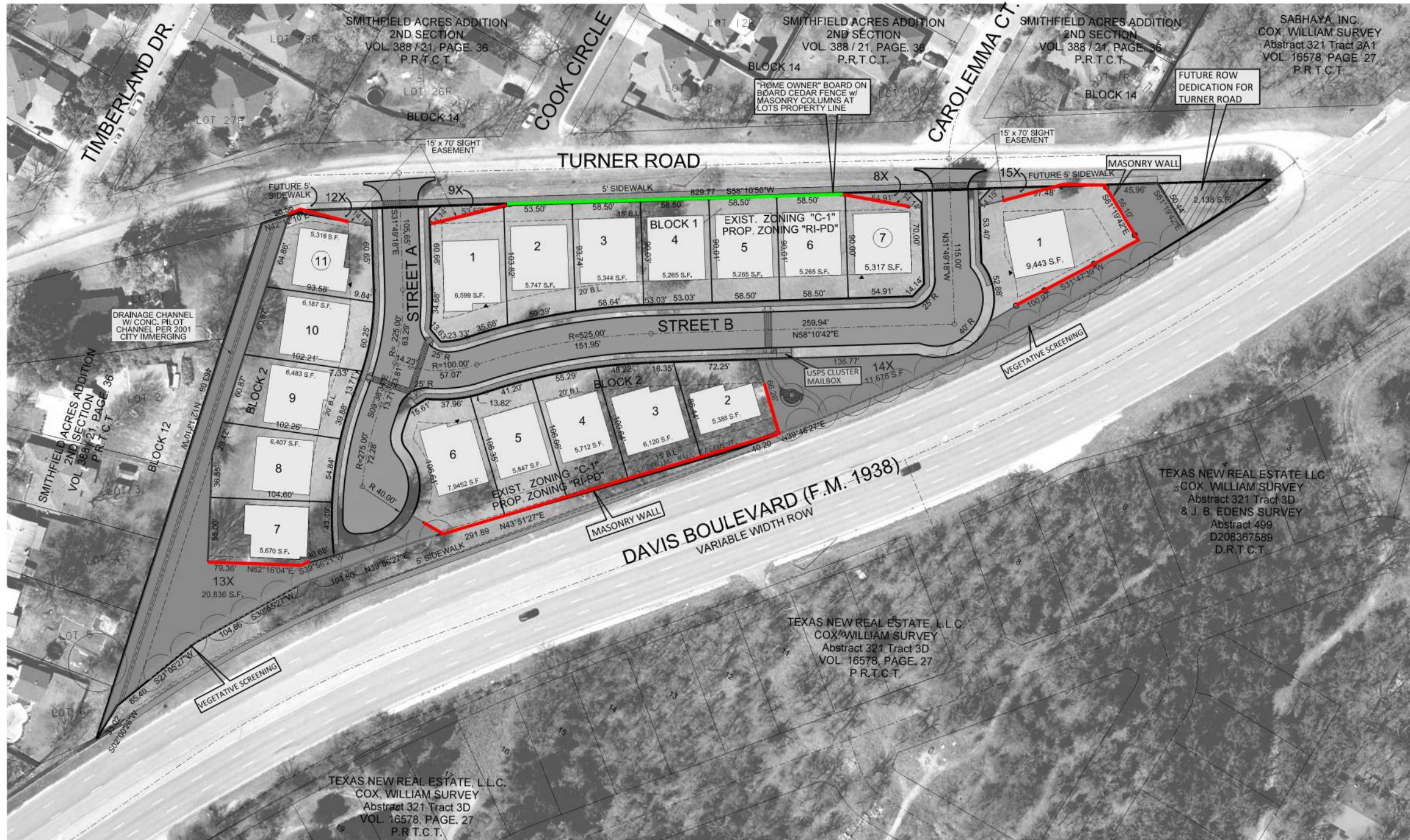
S 21 DEGREES 04 MINUTES 14 SECONDS W, 85.40 FEET TO A 5/8" IRON WITH CAP SET;

S 01 DEGREES 59 MINUTES 13 SECONDS W, 33.02 FEET TO A 5/8" IRON WITH CAP SET AT THE SOUTHWEST CORNER AT SAID COMMERCIAL TRACT;

THENCE N 12 DEGREES 14 MINUTES 23 SECONDS W WITH THE WESTERLY LINE OF SAID COMMERCIAL TRACT, 463.06 FEET TO A 1/2" IRON FOUND AT THE NORTHWEST CORNER OF SAID COMMERCIAL TRACT AND BEING IN THE SOUTHEASTERLY LINE OF TURNER ROAD;

THENCE N 42 DEGREES 10 MINUTES 57 SECONDS E WITH THE NORTHWESTERLY LINE OF SAID COMMERCIAL TRACT AND THE SOUTHEASTERLY LINE OF TURNER ROAD, 36.56 FEET TO A 1/2" IRON FOUND;

THENCE N 58 DEGREES 09 MINUTES 37 SECONDS E WITH THE NORTHWESTERLY LINE OF SAID COMMERCIAL TRACT AND THE SOUTHEASTERLY LINE OF TURNER ROAD 829.77 FEET TO THE POINT OF BEGINNING AND CONTAINING 4.293 ACRES.



ZONING EXHIBIT  
**ORCHARD WALK ESTATES**

EXIST. ZONING "C-2" COMMERCIAL  
PROP. ZONING "RI-PD" RESIDENTIAL  
INFILL PLANNED DEVELOPMENT"

LOTS 1-7, 8X & 9X BLOCK 1 &  
LOTS 1-11, 12X, 13X, 14X & 15X BLOCK 2  
BEING A REPLAT OF LOT "A" BLOCK 12  
SMITHFIELD ACRES ADDITION  
AND BEING 4.293 ACRES OF LAND  
18 RESIDENTIAL LOTS &  
6 OPEN SPACE LOTS  
IN THE COX, WILLIAM SURVEY  
ABSTRACT NO. 321,  
AN ADDITION TO THE CITY OF NORTH RICHLAND HILLS,  
TARRANT COUNTY, TEXAS.

PREPARED MAY 2024

PROJECT NO.	DATE	REVISIONS
150300	05-21-2024	

ZONING EXHIBIT  
**ORCHARD WALK ESTATES**

5000 THOMPSON TERRACE  
COLLEYVILLE, TX. 76034  
(817) 335-9900  
FAX: (817) 335-9955



SHEET 1 OF 1  
CASE ZC 2023-XX

ENGINEER / SURVEYOR  
A.N.A. CONSULTANTS, L.L.C.  
5000 THOMPSON TERRACE  
COLLEYVILLE, TEXAS 76034  
TEL. (817) 335-9900  
FAX (817) 335-9955

OWNER / DEVELOPER  
CELESTIAL LONE STAR HOMES, LLC  
3612 TINSDALE DR  
FLOWER MOUND, TX 75022  
TEL. (469) 502-1567

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5/21/2024  
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