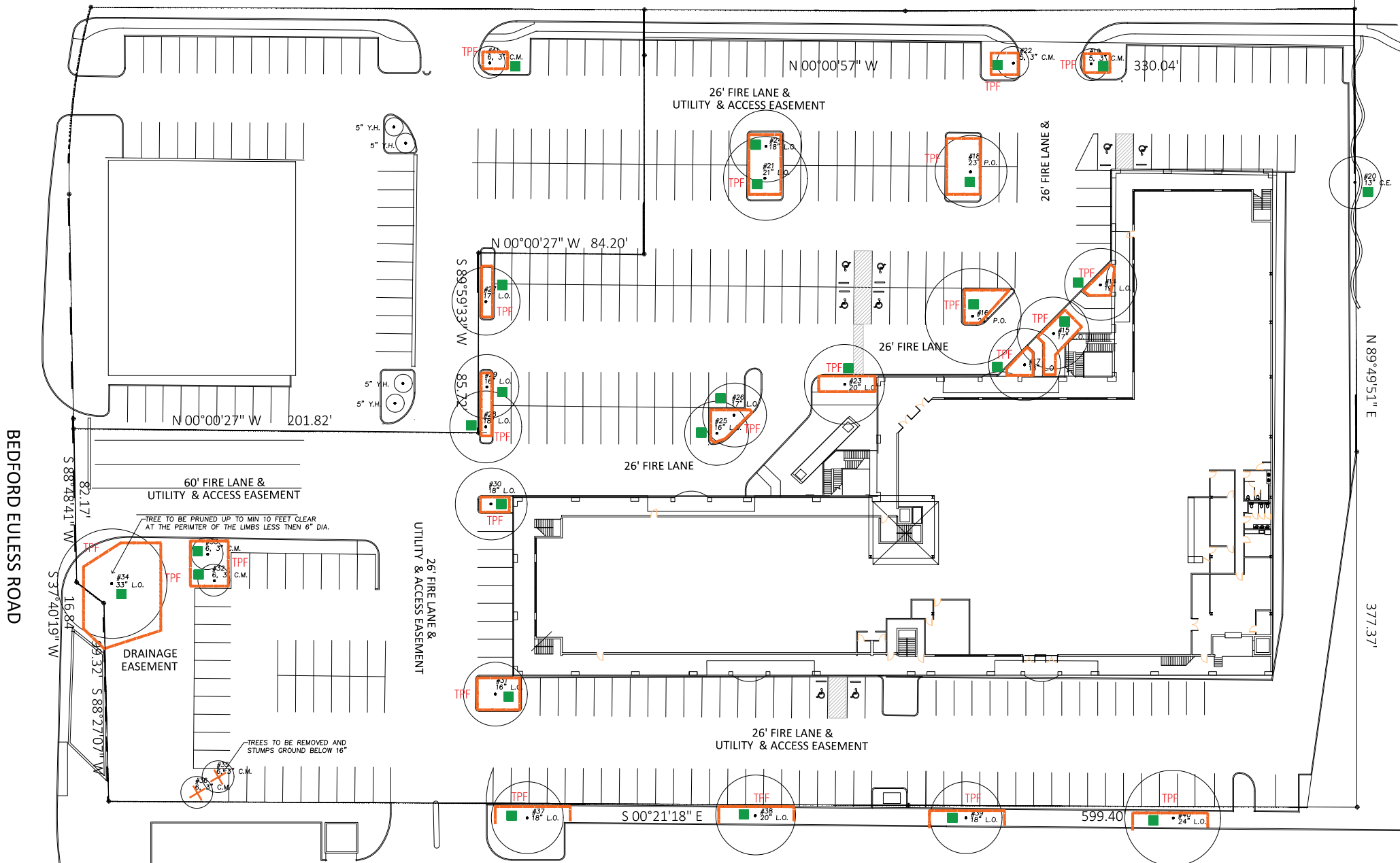


STRUMMER ROAD

NOTE: THE CONTRACTOR SHALL CONTACT THE FOLLOWING AT LEAST 48 HOURS PRIOR TO EXCAVATING IN THIS AREA.

UTILITY LOCATE 811  
 TXU ELECTRIC & GAS 800-242-9113  
 SOUTHWESTERN BELL TELEPHONE COMPANY 800-246-8464  
 AT&T 800-878-8711  
 WESTERN UNION CABLE DIVISION 214-939-1930  
 MANSFIELD TRAFFIC SIGNAL & LIGHT 817-453-1137  
 FOR OTHER FACILITIES 800-DIG-TEST



POPE KYRILLOS CHURCH  
 NORTH RICHLAND HILLS, TEXAS

8/2/2024

TREE SURVEY			4" AND LARGER	PROTECTED	PROTECTED	PROTECTED	PROTECTED TREE
LARGE CANOPY TREE LIST			EXISTING	EXISTING TREE	TREE MITIGATION	TREE MITIGATION	DBH SAVED
TREE NO	COMMON NAME	BOTANICAL NAME	DBH, TOTAL	DBH, TOTAL	TOTAL PER TREE REPLACEMENT REQUIRED	TOTAL PER TREE REPLACEMENT MINIMUM	ON SITE
14	LIVE OAK	QUERCUS VIRGINIANA	19	19	0	0	19
15	LIVE OAK	QUERCUS VIRGINIANA	17	17	0	0	17
16	POST OAK	QUERCUS STELLATA	24	24	0	0	24
17	LIVE OAK	QUERCUS VIRGINIANA	18	18	0	0	18
18	POST OAK	QUERCUS STELLATA	23	23	0	0	23
19	CREPE MYRTLE	LAGERSTROMIA INDICA	9	9	0	0	9
20	CEDRAR ELM	ULMUS CRASSIFOLIA	13	13	0	0	13
21	LIVE OAK	QUERCUS VIRGINIANA	18	18	0	0	18
22	CREPE MYRTLE	LAGERSTROMIA INDICA	9	9	0	0	9
23	LIVE OAK	QUERCUS VIRGINIANA	20	20	0	0	20
24	LIVE OAK	QUERCUS VIRGINIANA	18	18	0	0	18
25	LIVE OAK	QUERCUS VIRGINIANA	16	16	0	0	16
26	LIVE OAK	QUERCUS VIRGINIANA	17	17	0	0	17
27	LIVE OAK	QUERCUS VIRGINIANA	17	17	0	0	17
28	LIVE OAK	QUERCUS VIRGINIANA	16	16	0	0	16
29	LIVE OAK	QUERCUS VIRGINIANA	13	13	0	0	13
30	LIVE OAK	QUERCUS VIRGINIANA	18	18	0	0	18
31	LIVE OAK	QUERCUS VIRGINIANA	16	16	0	0	16
32	CREPE MYRTLE	LAGERSTROMIA INDICA	10	10	0	0	10
33	CREPE MYRTLE	LAGERSTROMIA INDICA	10	10	0	0	10
34	LIVE OAK	QUERCUS VIRGINIANA	33	33	0	0	33
35	CREPE MYRTLE	LAGERSTROMIA INDICA	8	DEAD	DEAD	DEAD	0
36	CREPE MYRTLE	LAGERSTROMIA INDICA	8	DEAD	DEAD	DEAD	0
37	LIVE OAK	QUERCUS VIRGINIANA	18	OFF SITE	0	0	OFF SITE
38	LIVE OAK	QUERCUS VIRGINIANA	20	OFF SITE	0	0	OFF SITE
39	LIVE OAK	QUERCUS VIRGINIANA	18	OFF SITE	0	0	OFF SITE
40	LIVE OAK	QUERCUS VIRGINIANA	24	OFF SITE	0	0	OFF SITE
41	CREPE MYRTLE	LAGERSTROMIA INDICA	8	OFF SITE	0	0	OFF SITE

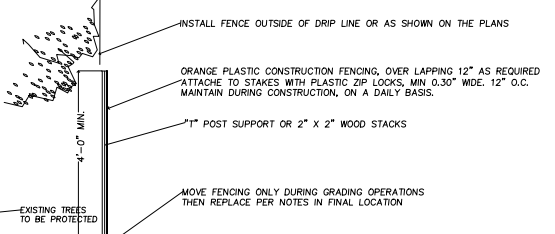
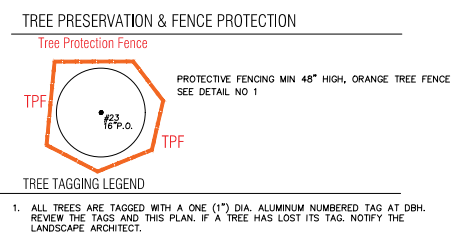
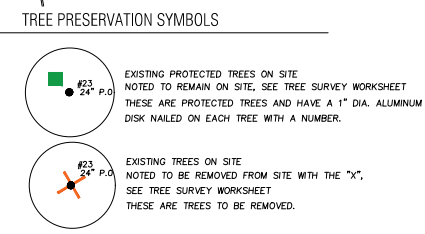
TREE SURVEY

LARGE CANOPY TREE LIST			4" AND LARGER	PROTECTED	PROTECTED	PROTECTED	PROTECTED TREE
TREE NO	COMMON NAME	BOTANICAL NAME	EXISTING DBH, TOTAL	EXISTING TREE CALIPER DBH, TOTAL	TOTAL PER TREE REPLACEMENT REQUIRED	TOTAL PER TREE REPLACEMENT MINIMUM	DBH SAVED ON SITE
TOTAL INCHES			450	354	0	0	345
TOTAL TREES ON SURVEY			27				
TOTAL TREES ON SITE			22				

EXISTING TREE DATE CHART

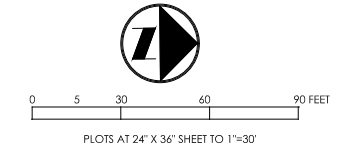
TOTAL TREES ON SITE	22		
TOTAL PROTECTED DBH INCHES ON SITE MINUS EXEMPTED SPECIES	354	79%	
TOTAL SAVED PROTECTED TREE DBH ON SITE	354		
TOTAL PROTECTED NON EXEMPT DBH INCHES REMOVED	9	0%	
TOTAL TREES TO REMAIN	22	0%	
TOTAL TREES TO BE REMOVED	2	9%	DEAD

BEDFORD EULESS ROAD



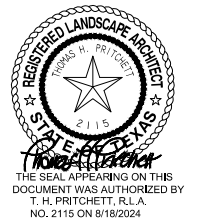
1. ALL TREES ARE TAGGED WITH A ONE (1") DIA. ALUMINUM NUMBERED TAG AT DBH. REVIEW THE TAGS AND THIS PLAN, IF A TREE HAS LOST ITS TAG, NOTIFY THE LANDSCAPE ARCHITECT.
2. ALL TREES ON SITE WITH A GREEN SQUARES AND OR GREEN RIBBON OR WITHOUT A TREE RIBBON AROUND THE TRUNK AT "DBH" ARE TO REMAIN. ALL SHRUBS OVER 5 FEET ARE TO REMAIN AND BE PROTECTED.
3. ALL TREES WITH A RED "X" OR RED RIBBON ON THEM AT "DBH" ARE TO BE REMOVED FOR CONSTRUCTION OF THE HOUSE AND DRIVEWAY AND PAVING.
4. THIS PLAN MAY BE REVIEWED BY LANDSCAPE ARCHITECT AFTER PRE-CONSTRUCTION AND OVERALL TREE REMOVAL MEETING PRIOR TO CONSTRUCTION ACTIVITIES.
- EXISTING TREE PRUNING
1. REQUIRED TREE PRUNING TO ALLOW ROOM TO CONSTRUCTION THE PROJECT IS NOT REQUIRED.
2. THIS WORK IF REQUIRED IS TO BE COMPLETED BY A PROFESSIONAL TREE TRIMMER WITH OVER 10 YEARS OF EXPERIENCE AND WORKING WITH AN ARBORIST WILL REMOVE ALL REQUIRED LIMBS.
3. LIFTING UP OF THE CANOPY IS TO BE ONE OF THE LAST PRUNING ALLOWED ON THE TREE DURING CONSTRUCTION. THE LOWER LIMBS OFF SHADE TO THE ROOTS AND BARK AND THIS WORK WHEN REQUIRED WILL BE COMPLETED AS PER NOTE 2 ABOVE.
4. LANDSCAPE ARCHITECT MAY DIRECT LANDSCAPE CONTRACTOR TO REMOVE FURTHER LIMBS AND TREES LESS THAN 8" CALIPER DURING PLANTING AND IRRIGATION FOR VISUAL AND AESTHETIC PURPOSES.
5. TIMING OF ALL WORK TO BE REVIEWED FOR BEST PERIOD OR SEASON DURING THE YEAR.

- TREE PROTECTION FENCING
1. DURING CONSTRUCTION PERIOD DO NOT CONFLICT WITH SOIL EROSION NETTING OR HAY BALES ALSO INSTALLED ON SITE.
2. REVIEW NOTES ON THIS SHEET ABOUT CARE OF TREES.
3. GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN FENCING DURING CONSTRUCTION.
4. MAINTAIN TREE PROTECTION FENCING AS SHOWN FOR TREES ON SITE AND ADJACENT PROPERTY TREES WITH IN 40 FEET OF CONSTRUCTION WORK.
- 1 TREE PROTECTION FENCE DETAIL  
 NOT TO SCALE



OWNER:  
 NATURON PROPERTIES LLC  
 DILTZ DARLISSA JEANETTE  
 ADDRESS: 8251 BEDFORD BLVD,  
 SUITE 231  
 NORTH RICHLAND HILLS, TEXAS

DEVELOPER:  
 POPE KYRILLOS THE SIXTH  
 COPTIC ORTHODOX CHURCH  
 ADDRESS: 8251 BEDFORD BLVD,  
 NORTH RICHLAND HILLS, TEXAS  
 CONTACT: FR.VICTORSHAHAT  
 PHONE: 404-884-9471  
 EMAIL: FR.VICTORSHAHATA@GMAIL.COM



**POPE KYRILLOS THE SIXTH  
 COPTIC ORTHODOX CHURCH**

CITY OF NORTH RICHLAND HILLS, TEXAS

**T. H. Pritchett / Associates**  
 LANDSCAPE ARCHITECTS / SITE PLANNERS / LICENSED IRRIGATORS  
 1218 Camino Lago - Irving, Texas 75039 214.697.2580  
 tom@landdesignplan.com

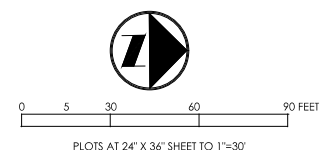
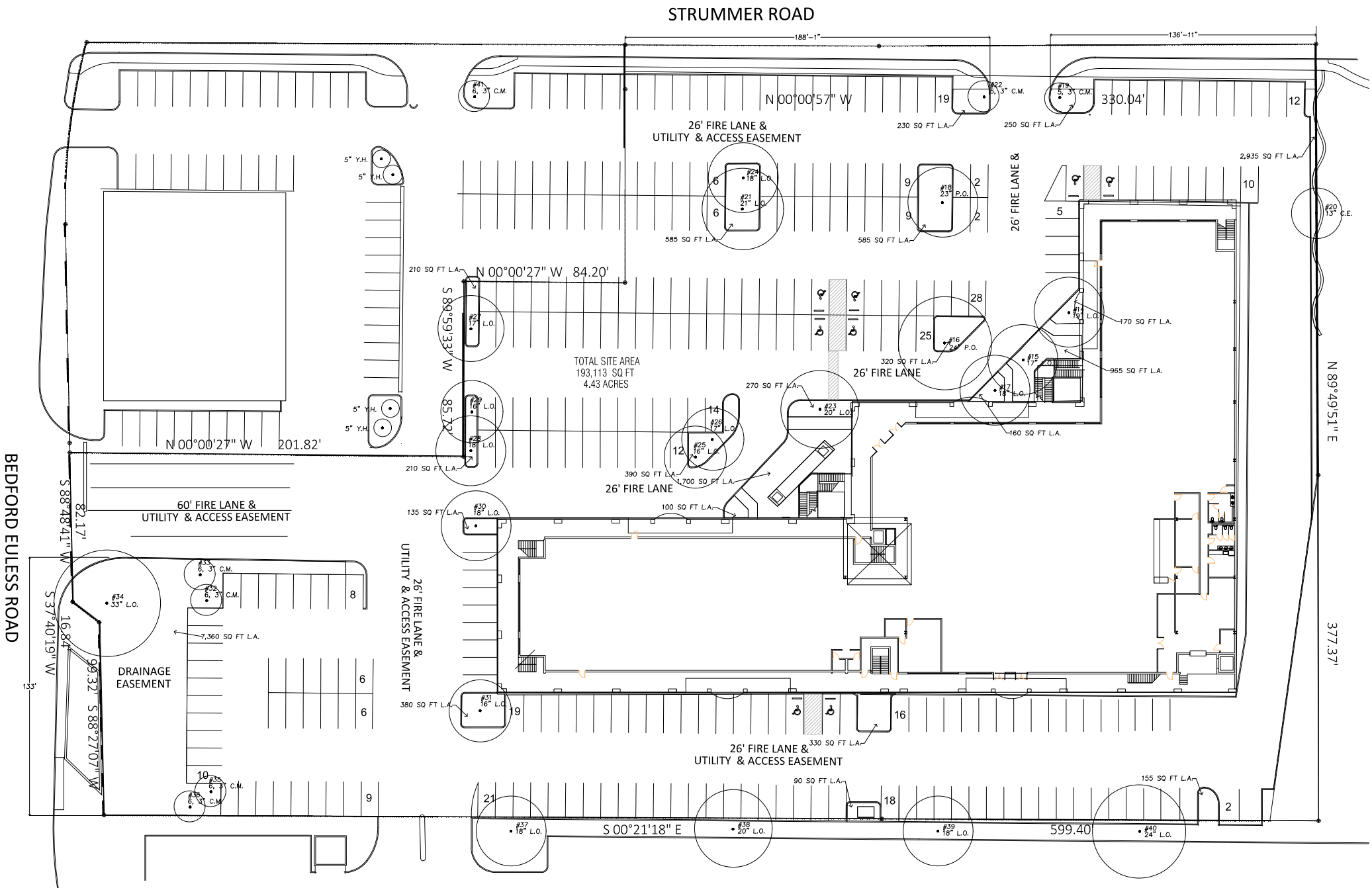
**SITE TREE SURVEY WITH CHART  
 TREE PRESERVATION PLAN & DETAIL**

DESIGNED:	DATE	PROJ. NO.	SHEET
THP	AUGUST 18, 2024		LA-1

NOTE: THE CONTRACTOR SHALL CONTACT THE FOLLOWING AT LEAST 48 HOURS PRIOR TO EXCAVATING IN THIS AREA:

UTILITY LOCATE	811
TXU ELECTRIC & GAS	800-242-9113
SOUTHWESTERN BELL TELEPHONE COMPANY	800-246-8464
AT&T	800-878-8711
WESTERN UNION CABLE DIVISION	214-439-1930
MANSFIELD TRAFFIC SIGNAL & LIGHT	817-453-1137
FOR OTHER FACILITIES	800-DIG-TEST

NORTH RICHLAND HILLS LANDSCAPING AND BUFFERING STANDARDS		
TOTAL SITE AREA: 193,113 SQ FEET 4.43 ACRES	REQUIRED	PROVIDED
<b>TOTAL SITE LANDSCAPED AREA</b> a) At least 15% of the site must be maintained in a landscaped area The site has 17,405 sq ft landscape area within the property lines. Equals 11.09 % landscape area.	Yes	No
<b>LANDSCAPE SETBACK</b> a) The landscape setback shall be 15 feet adjacent to all public street rights-of-way The site does not meet the 15 foot setback as in the past the lot dedicated property to the city b) 1 tree / 50 linear feet required in landscape setback The landscape setback on Strummer total is 325' requiring 7 trees c) 10 shrubs / 50 linear feet required in landscape setback The landscape setback on Strummer total is 325' requiring 70 shrubs d) Landscape entrance islands shall be planted with small shrubs placed at three-foot centers The landscape entrance islands are planted with small shrubs at three foot center	Yes Yes Yes Yes	No Yes Yes Yes
<b>PARKING LOT REQUIREMENTS</b> a) Parking spaces adjacent to public right-of-way shall be screened from view by solid screening barrier b) All parking lots must contain at least 5% landscaped area The existing landscaping in the parking lot in the lot is 9.75% c) 1 large/canopy tree per 20 parking spaces, planted in island There are 264 parking spaces in the lot requiring 14 trees. The lot has 14 trees in islands. d) All parking spaces must be located within 100 feet of a large/canopy tree e) Drive approach must include parking entrance islands on each side of driveway. Islands must be perpendicular to property line. Must measure 16 feet in length, as measured from end of landscape setback, and 6 feet wide. Plantings include small shrubs 3 ft on center. Yes	Yes Yes Yes Yes Yes	Yes Yes Yes Yes Yes
<b>BUFFER YARD</b> a) A 15-foot landscape buffer must be provided between nonresidential and residential uses 1 tree / 30 linear feet of buffer yard No Residential Adjacency 40% of trees must be evergreen species b) A 6- to 8-foot tall screening wall must be provided where nonresidential property abuts residential property	No No	
<b>FREWAY CORRIDOR OVERLAY</b> a) The landscape setback shall be 10 feet adjacent to right-of-way of NE Loop 820 and Airport Freeway (SH121/SH183). Applicable to properties that adjoin right-of-way or are located within 200 feet of right-of-way. Airport Freeway (SH 121) Adjacent within 200'. b) 1 tree / 60 linear feet required in landscape setback The landscape setback on Bedford Eules Road total is 133' requiring 3 trees Trees must be one or combination of: Shumard oak, Chinquapin oak, Bur oak, Live oak, Texas red oak, Caddo maple, Cedar elm. Live oaks not more than 50% of trees. 2 Cedar Elm new and 1 Live Oak #34 is existing c) Hardscape elements required (one of following) - Low wall: one or multiple 18- to 30-inch Leuders limestone walls or raised planter beds with minimum 30 SF of stone facade per 50 linear feet street frontage - Urban design monuments: Leuders limestone in ashlar pattern measuring 36 inches tall and 30 inches wide with solid cast stone cap 6 inches in height. Must be spaced 50 foot on center and 25 feet on center from large trees. The Low Leuders limestone walls are shown in 3 locations in the landscape setback.	Yes Yes Yes Yes	Yes Yes Yes Yes



**POPE KYRILLOS THE SIXTH  
COPTIC ORTHODOX CHURCH**

CITY OF NORTH RICHLAND HILLS, TEXAS

**T. H. Pritchett / Associates**

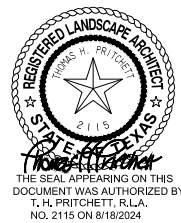
LANDSCAPE ARCHITECTS / SITE PLANNERS / LICENSED IRRIGATORS  
1218 Camino Logo - Irving, Texas 75039 214-617-2380  
tom@landdesignplan.com

**NRH LANDSCAPE CRITERIA DATA & CHART**

DESIGNED: THP	DATE	PROJ. NO.	SHEET
DRAWN: THP	AUGUST 18, 2024		LA-2
CHECKED: THP			

OWNER:  
NATURON PROPERTIES LLC  
DILTZ DARUSSA JEANETTE  
ADDRESS : 8251 BEDFORD BLVD,  
SUITE 231  
NORTH RICHLAND HILLS, TEXAS

DEVELOPER:  
POPE KYRILLOS THE SIXTH  
COPTIC ORTHODOX CHURCH  
ADDRESS : 8251 BEDFORD BLVD,  
NORTH RICHLAND HILLS, TEXAS  
CONTACT : FR.VICTOR SHAHAT  
PHONE : 404-884-9471  
EMAIL : FR.VICTORSHATA @ GMAIL.COM



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY T. H. PRITCHETT, R.L.A. NO. 2115 ON 8/18/2024

NOTE: THE CONTRACTOR SHALL CONTACT THE FOLLOWING AT LEAST 48 HOURS PRIOR TO EXCAVATING IN THIS AREA.

UTILITY LOCATE	811
TXU ELECTRIC & GAS	800-242-9113
SOUTHWESTERN BELL TELEPHONE COMPANY	800-246-6464
AT&T	800-878-8711
WESTERN UNION CABLE DIVISION	214-938-1930
MANSFIELD TRAFFIC SIGNAL & LIGHT	817-453-1137
FOR OTHER FACILITIES	800-DIG-TEST

**PLANT SYMBOLS**

- PLANT SYMBOL
- PLANT MATERIAL SEE PLANT LIST
- PLANT MATERIALS QUANTITY
- 585 SQ FT L.A. LANDSCAPE BED AREA SQ FT.
- NEW GRASS SOD SQ FT REQUIRED

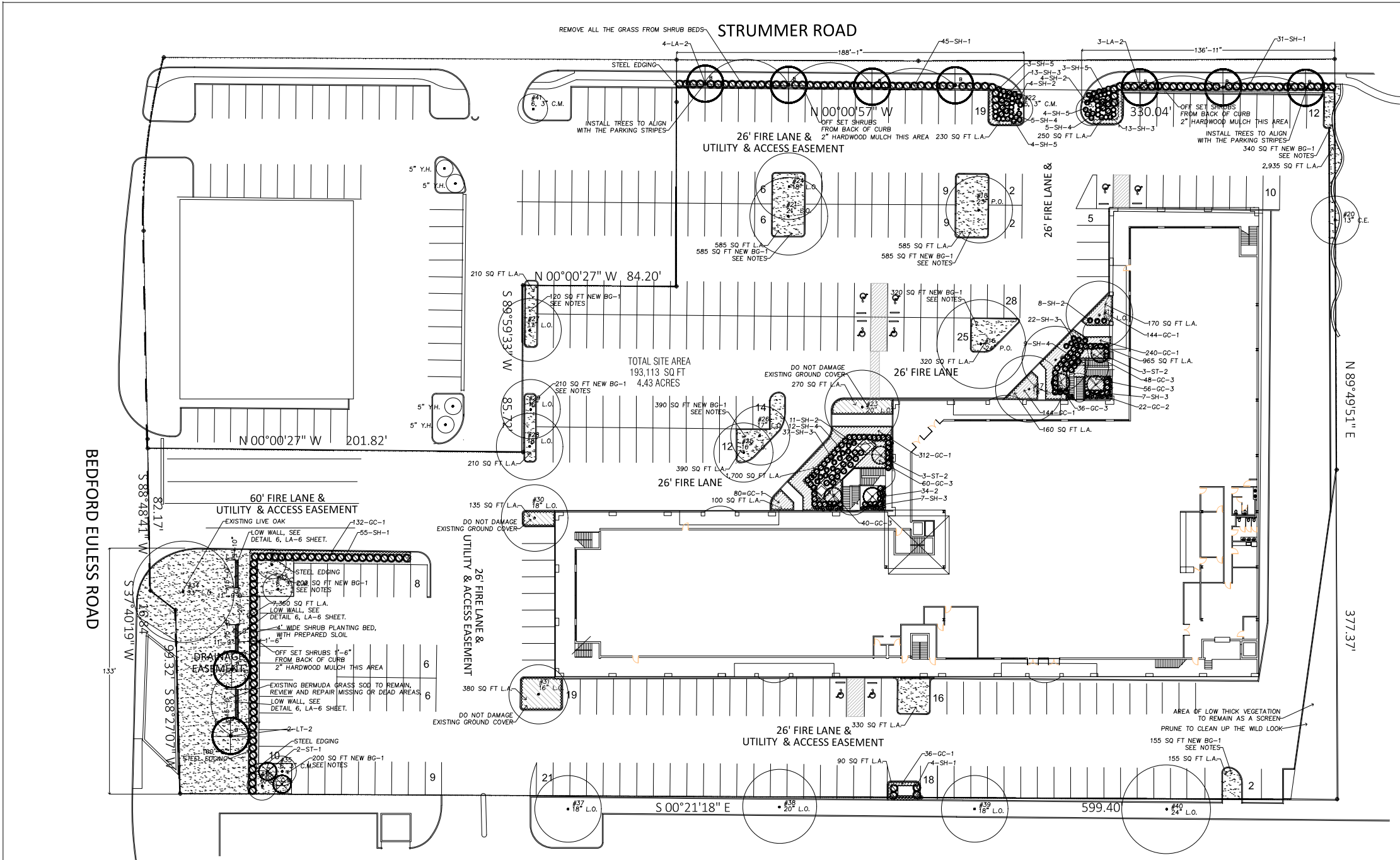
**LANDSCAPE SYMBOLS**

- EXISTING TREES ON SITE TO BE PROTECTED, SEE LA-1
- LANDSCAPE BUFFER TREES SEE LA-2 FOR CRITERIA
- ORNAMENTAL TREES
- SCREENING SHRUB LARGE TO 6' HIGH
- EVERGREEN SCREEN SHRUBS TO 4' HIGH
- EVERGREEN SHRUB TO 18" HIGH
- COLORFUL LEAVES SHRUB TO 18" HIGH
- FLOWERING SHRUB TO 18" HIGH
- GROUND COVER 12" HIGH
- NEW GROUND COVER/PERENNIALS
- EXISTING GROUND COVER TO REMAIN
- NEW BERMUDA GRASS SOD WHERE NOTED, INSTALL OVER FINE GRADED SOIL AND ADD AS REQUIRED FOR SMOOTH SURFACE AND WATER TO DRAIN OVER TOP OF THE CURB. THEN ADJUST EXISTING IRRIGATION SYSTEM IN ALL AREAS. ROLL NEW SOD, ONE TIME WITHIN 1 WEEK OF INSTALLATION.

**PLANT LIST**

NOTE: NOT ALL PLANT MAYBE REQUIRED FOR THIS PLAN OR USED. SEE ADDITIONAL NOTES ON PLANT SYMBOL ON PLAN FOR MORE BIDDING INFORMATION IN BASE BID.

LT-1	CANOPY TREES	BOTANICAL NAME	SIZE
LT-1	LIVE OAK	QUERCUS VIRGINIANA	3.0" - 3.5" CALIPER
LT-2	CEDAR ELM	ULMUS CRASSIFOLIA	3.0" - 3.5" CALIPER
ST-1	ORNAMENTAL TREES	CREPE MYRTLE COLOR TBD	
ST-2	JAPANESE MAPLE	LAGERSTROMIA INDICA	25 GAL & 2.5" CAL COLOR TBD
SH-1	SHRUBS	ACRE PALMATUM, RED LEAF	35 GAL & 2.5" CAL
SH-2	DWARF BURFORD HOLLY	ILEX CORNUTA, BURFORDII	5 GAL
SH-3	DRIFT ROSES, COLOR TBD	ROSA 'DRIFT ROSES'	3 GAL 12" WIDE
SH-4	DWARF YALPUN HOLLY	ILEX VOMITORIA, NANA	3 GAL
SH-5	AUTUMN SAGE	SALVIA SP. COLOR TBD	3 GAL
SH-5	DWARF NANDINA "OBSESSION"	NADINA NANA "OBSESSION"	3 GAL
GC-1	GROUND COVER/PERENNIALS	WINTER CREEPER	1 GAL, 12" O.C., 1 PER FT
GC-2	GRASS	GIANT LIRIOPE	1 GAL, 12" O.C.
GC-3		SOUTHERN WOOD FERN	1 GAL
BG-1	GRASS	BERMUDA GRASS, SOLID SOD	CYNODON DACTYLON SOD IN IRRIGATED AREAS



**SOIL AMENDMENT NOTES**

SOIL AMENDMENT 'A' FOR SHRUB AND GROUND COVER BEDS (GENERAL)

- PRIOR TO SOIL AMENDING, THE SUB-GRADES SHALL BE 8" BELOW FINISH GRADE TO ALLOW FOR THE FOLLOWING AMENDMENTS AND FERTILIZER. THE LAYER OF SOIL AMENDMENTS SHALL BE 4" DEEP WITH A LAYER OF MULCH 2" DEEP AS SPECIFIED, LEAVING A FINISH GRADE OF 2" BELOW THE ADJACENT PAVED AREA. EXCAVATION AND/OR FILL MAY BE REQUIRED TO ACHIEVE THESE GRADES.
- APPLICATION RATES FOR SOIL AMENDMENTS:
  - A) ORGANIC SOIL CONDITIONER - 2" LAYER
  - B) TOPSOIL - 2" LAYER
  - C) FERTILIZER - OZEMOCOTE 10 LBS./1,000 SQ. FT. OF BED AREA
- AMENDMENTS SHALL BE UNIFORMLY SPREAD AND THOROUGHLY CULTIVATED IN A LIGHT AND FRABLE CONSISTENCY BY MEANS OF A MECHANICAL ROTILLER INTO THE TOP 2" OF SUB-GRADE WHICH WILL MAKE A BED OF APPROXIMATELY 6" TOTAL DEPTH OF AMENDED SOIL.
- SOIL AMENDMENT 'C' PREPARED BACK FILL FOR TREES AND LARGE SHRUBS (3 GALLON AND LARGER)
  - 1. BACK FILL MIX: PRIOR TO BACK FILL PROVIDE TREE DRAIN AND GRAVEL.
  - 2. AMENDMENTS SHALL BE UNIFORMLY SPREAD AND THOROUGHLY CULTIVATED INTO THE TOP 2" OF SUB-GRADE WHICH WILL MAKE A BED OF APPROXIMATELY 6" TOTAL DEPTH OF AMENDED SOIL.
  - 3. SOIL AMENDMENT 'C' PREPARED BACK FILL FOR TREES AND LARGE SHRUBS (3 GALLON AND LARGER)
    - A) TOPSOIL - 3 PARTS
    - B) PEATMOSS - 1 PART
    - C) SHARP SAND - 1 PART
  - 4. PRE-PLANT WEED CONTROL: ROUND-UP TO BE APPLIED UNIFORMLY TO TREAT WEEDS.
  - 5. SOIL AMENDMENTS FOR LAWN AND GRASS AREAS:
    - A) FOR HYDRO-SEEDING PREPARATION AND SOLID SOIL OPERATIONS.
    - B) PRIOR TO SOIL AMENDING, THE SUB-GRADES SHALL BE 2" BELOW FINISH GRADE TO ALLOW FOR THE FOLLOWING AMENDMENTS AND FERTILIZER. THE LAYER OF SOIL AMENDMENTS SHALL BE 1" DEEP LEAVING A FINISH GRADE 1" BELOW THE ADJACENT PAVED AREA. EXCAVATION AND/OR FILL MAY BE REQUIRED TO ACHIEVE THESE GRADES.
    - 6. APPLICATION RATES FOR SOIL AMENDMENTS:
      - A) TOP SOIL - 1/2" LAYER ON BASE OF CUT SOD
      - B) FERTILIZER - 10 LBS./1,000 SQ. FT. OF LAWN AREA
      - C) AMENDMENTS SHALL BE UNIFORMLY SPREAD AND THOROUGHLY CULTIVATED TO LIGHT AND FRABLE CONSISTENCY, BY MEANS OF A MECHANICAL ROTILLER INTO THE TOP 1" OF SUB-GRADE WHICH WILL MAKE A BED OF APPROXIMATELY 4" DEPTH OF AMENDED SOIL.

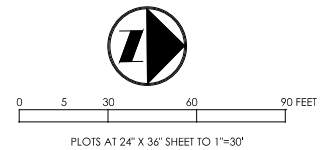
**LANDSCAPE NOTES**

- CONTRACTOR SHALL BE RESPONSIBLE FOR BEING FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF SOIL UTILITIES.
- CONTRACTOR SHALL NOT WAIVFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS, AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AT (972)869-3535. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH GENERAL CONTRACTOR AND SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH PLANTING OPERATIONS.
- IF CONFLICTS ARISE BETWEEN SIZE OF AREAS AND PLANS, CONTRACTOR IS TO CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH CONTACTS KNOWN TO THE LANDSCAPE ARCHITECT WILL RESULT IN CONTRACTOR'S LIABILITY TO RELOCATE THE MATERIALS.
- ALL PLANT MATERIAL SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION.
- FINAL LOCATION OF PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT AND OWNER. LOCATIONS TO CONFORM TO THE SITE AESTHETIC STANDARDS.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT 48 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT INSPECTION SCHEDULES. SEE SPECIFICATIONS FOR OBSERVATION SCHEDULES.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL SHRUB AND GROUND COVER AREA IN A WEED-FREE, DEBRIS-FREE, AND BERMUDA-FREE CONDITION. ALL BERMUDA SHALL BE DIG OUT BY THE ROOTS AND REMOVED FROM THE SITE.
- ALL PAINTING AREA SHALL SLOPE AWAY FROM BUILDINGS TOWARDS THE AREA DRAINS AT MINIMUMUM SLOPE.
- FINAL GRADE SHALL BE 1" BELOW FINISH PAVING SURFACE IN ADJACENT LAWN AREA AND 2" IN SHRUB AREAS. SOME SOIL EXCAVATION MAY BE REQUIRED TO ACCOMPLISH FINISH GRADE. (SEE SOIL PREPARATION SPECIFICATIONS).
- GROUND FOR ALL PLANT ROOT SYSTEMS SHALL BE SLIGHTLY HIGHER AFTER SETTLING ADJACENT SOIL.
- ALL TREES SHALL BE LOCATED A MINIMUM OF 4 FEET FROM WALLS, HEADERS, WALKS, AND OTHER TREES WITHIN THE PROJECT AND CONFORM TO THE SITE AESTHETIC STANDARDS. IF CONFLICTS THEN CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH CONTACTS KNOWN TO THE LANDSCAPE ARCHITECT WILL RESULT IN CONTRACTOR LIABILITY TO RELOCATE THE MATERIALS.
- SHRUBS, GROUND COVERS, AND SEASONAL COLOR SHALL BE TRIANGULARLY SPACED AT SPAN SHOWN ON PLANT LIST AND SHALL RECEIVE A 2" LAYER OF MULCH.
- ALL TREES SHALL BE LOCATED A MINIMUM OF 4 FEET FROM WALLS, HEADERS, WALKS, AND OTHER TREES WITHIN THE PROJECT AND CONFORM TO THE SITE AESTHETIC STANDARDS. IF CONFLICTS THEN CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH CONTACTS KNOWN TO THE LANDSCAPE ARCHITECT WILL RESULT IN CONTRACTOR LIABILITY TO RELOCATE THE MATERIALS.

**IRRIGATION SYSTEM GUIDELINES**

AUTOMATIC IRRIGATION SYSTEMS SHALL COMPLY WITH THE FOLLOWING GUIDELINES:

- ADJUSTABLE FLOW CONTROLS SHALL BE REQUIRED ON CIRCUIT REMOTE CONTROL VALVES. PRESSURE REGULATION COMPONENT(S) SHALL BE REQUIRED WHERE STATIC PRESSURE EXCEEDS MANUFACTURER'S RECOMMENDED OPERATING RANGE.
- VALVES AND CIRCUITS SHALL BE SEPARATED BASED ON WATER USE, SO THAT TURF AREAS CAN BE WATERED SEPARATELY FROM SHRUB AND GROUND COVER AREAS.
- SPRINKLER HEADS SHALL HAVE MATCHED PRECIPITATION RATES WITHIN EACH CONTROL VALVE CIRCUIT.
- SERVICEABLE CHECK VALVES SHALL BE REQUIRED WHERE ELEVATION DIFFERENTIAL MAY CAUSE LOW HEAD DRAINAGE ADJACENT TO PAVING AREAS.
- SPRINKLER HEAD SPACING SHALL BE DESIGNED FOR HEAD-TO-HEAD COVERAGE OR HEADS SHALL BE PLACED AS PER MANUFACTURER'S RECOMMENDATIONS AND ADJUSTED FOR PREVAILING WINDS. THE SYSTEM SHALL BE DESIGNED FOR MINIMUM RUN-OFF AND MINIMUM OVERSPRAY ONTO NON-IRRIGATED AREAS. (I.E. PAVING AND STRUCTURES).
- ALL AUTOMATIC IRRIGATION SYSTEMS SHALL BE EQUIPPED WITH A CONTROLLER CAPABLE OF DUAL OR MULTIPLE PROGRAMMING. CONTROLLERS SHALL HAVE MULTIPLE CYCLE START CAPACITY AND A FLEXIBLE CALENDAR PROGRAMMING, INCLUDING THE CAPACITY OF BEING SET TO WATER EVERY FIVE DAYS. ALL AUTOMATION IRRIGATION SYSTEMS SHALL BE EQUIPPED WITH A RAIN SENSOR SHUT-OFF DEVICE.
- IRRIGATION CONSTRUCTION PLANS SHALL INCLUDE A WATER BUDGET. A LAMINATED COPY OF THE WATER BUDGET SHALL BE PERMANENTLY INSTALLED INSIDE THE IRRIGATION CONTROLLER DOOR. WATER BUDGET (REFER TO CITY LAND DEVELOPMENT CODE) SHALL INCLUDE:
  - A) ESTIMATED MONTHLY WATER USE (IN GALLONS PER APPLICATION) AND THE AREA (IN SQUARE FEET) IRRIGATED.
  - B) PRECIPITATION RATES FOR EACH VALVE CIRCUIT
  - C) MONTHLY IRRIGATION SCHEDULE FOR THE PLANT ESTABLISHMENT PERIOD (FIRST THREE MONTHS) AND RECOMMENDED YEARLY WATERING SCHEDULE, INCLUDING SEASONAL ADJUSTMENTS.
  - D) LOCATION OF EMERGENCY IRRIGATION SYSTEM SHUT-OFF VALVE.



**POPE KYRILLOS THE SIXTH  
COPTIC ORTHODOX CHURCH**

CITY OF NORTH RICHLAND HILLS, TEXAS

**T. H. Pritchett / Associates**

LANDSCAPE ARCHITECTS / SITE PLANNERS / LICENSED IRRIGATORS  
1218 Camino Lago - Irving, Texas 75039 214.697.2580  
tom@kndesdesign.com

**LANDSCAPE PLANTING PLAN**

DESIGNED: THP	DATE	PROJ. NO.	SHEET
DRAWN: THP	AUGUST 18, 2024		LA-3
CHECKED: THP			



OWNER: NATUREN PROPERTIES LLC  
DILTZ DARLISSA JEANETTE  
ADDRESS: 8251 BEDFORD BLVD,  
SUITE 231  
NORTH RICHLAND HILLS, TEXAS

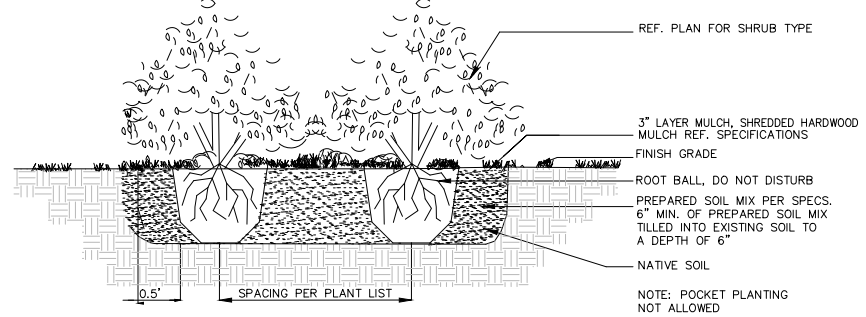
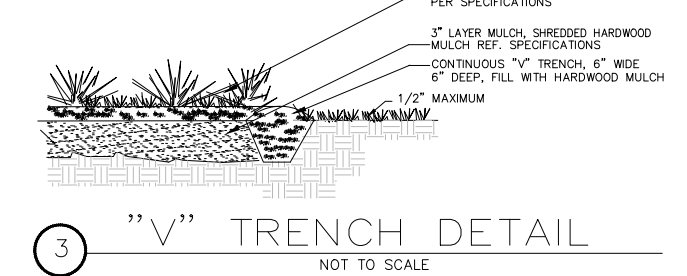
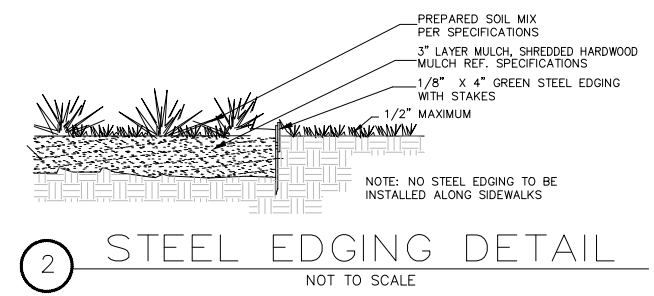
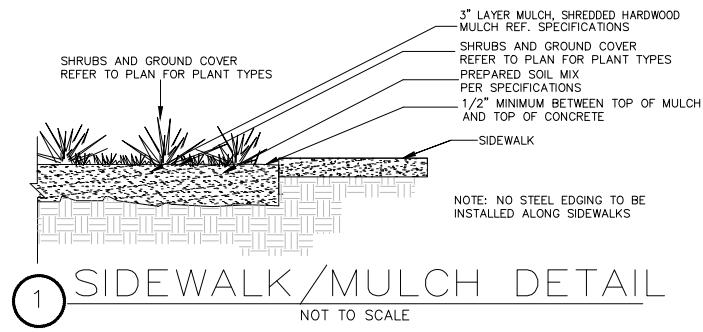
DEVELOPER: POPE KYRILLOS THE SIXTH  
COPTIC ORTHODOX CHURCH  
ADDRESS: 8251 BEDFORD BLVD,  
NORTH RICHLAND HILLS, TEXAS  
CONTACT: FR.VICTOR SHAHAT  
PHONE: 404-884-9471  
EMAIL: FR.VICTORSHATA@GMAIL.COM

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY T. H. PRITCHETT, R.L.A. NO. 2115 ON 8/18/2024

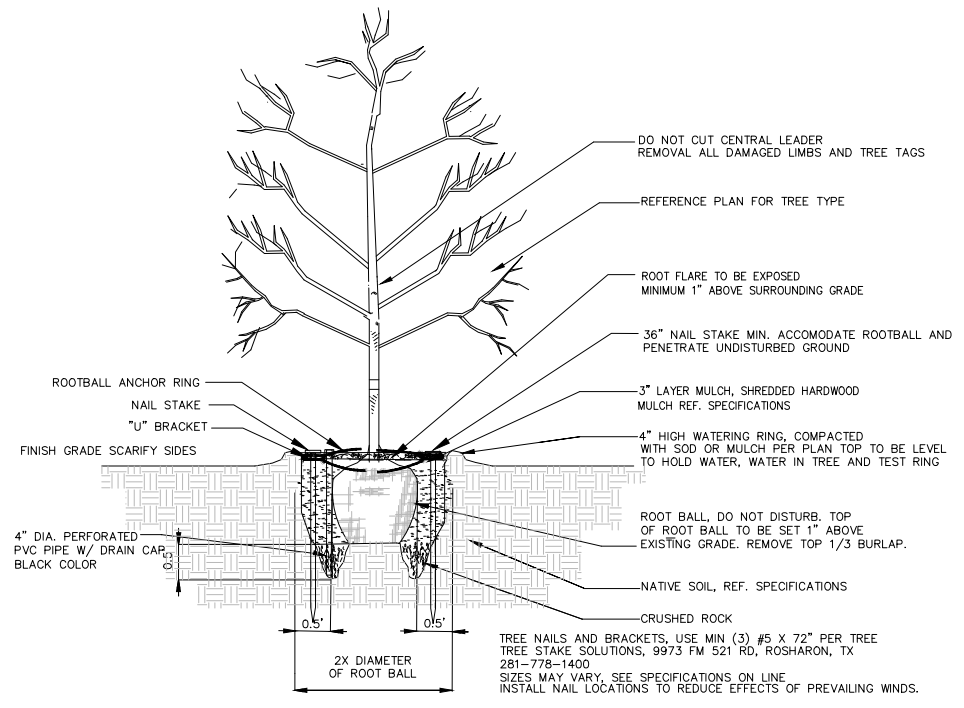


NOTE: THE CONTRACTOR SHALL CONTACT THE FOLLOWING AT LEAST 48 HOURS PRIOR TO EXCAVATING IN THIS AREA:

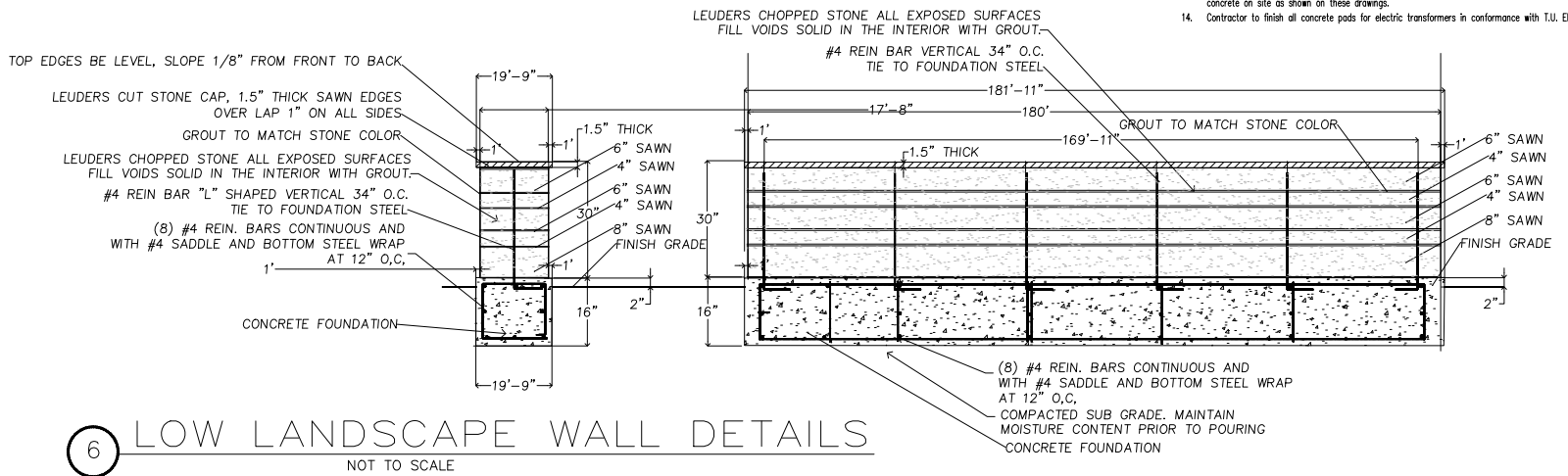
UTILITY LOCATE	811
TXU ELECTRIC & GAS	800-242-9113
SOUTHWESTERN BELL TELEPHONE COMPANY	800-246-8464
AT&T	800-878-8711
WESTERN UNION CABLE DIVISION	214-895-1930
MANSFIELD TRAFFIC SIGNAL & LIGHT	817-453-1137
FOR OTHER FACILITIES	800-DIG-TEST



4 SHRUB/GROUNDCOVER DETAIL  
NOT TO SCALE



5 FOR LARGE CANOPY TREES STAKING & TREE DETAIL  
TREE PLANTING DETAIL  
NOT TO SCALE



6 LOW LANDSCAPE WALL DETAILS  
NOT TO SCALE

CONCRETE CONSTRUCTION NOTES

- All concrete construction shall be in accordance with the latest building code of the City of North Richland Hills, Texas and any other codes of applicable regulatory agencies. The soils report furnished by the owner or general contractor shall override all notes and details on this plan if the requirement exceeds what is shown on the drawings.
- All concrete detailing and construction shall be in accordance with ACI 318.
- All concrete reinforcing steel shall conform to ASTM A615, Grade 60, #3 bars may conform to Grade 40 as contractors option.
- All concrete shall be normal weight sand and aggregate with 28-day compressive strength as follows:
 

Drilled Piers	3000 psi
All Other Concrete	3000 psi
- All concrete (except drilled piers) shall be delivered to the job site at a slump of 3" +/- 1". No additional water shall be added to the concrete at the job site. All concrete (except drilled piers) shall utilize a high range water reducer (superplasticizer) conforming to ASTM C-494, Type F and as air entrainment admixture conforming to ASTM C-260. All admixtures shall be used in accordance with the manufacturer's recommendations.
- Proportions of ingredients for concrete shall be selected by past field experience or based on laboratory trial mixes to produce placability, durability, specified strength, and properties as specified. The mix design shall be submitted to the Landscape Architect for approval.
- Immediately following placement, concrete shall be protected from premature drying, hot and cold temperatures, rain, flowing water, and mechanical injury. Approved methods of curing include: ponding, continuous sprinkling, continuous wet mats, and liquid membrane forming compounds.
- Contraction joints may be formed, tooled, or sawed approximately equal to 1/3 the thickness of the member. The distance between contraction joints in all elements shall not exceed 5 feet or as per plan. Construction joints shown on these drawings shall be made and located to least impair the strength and structure. Reinforcement shall be continuous across joints.
- Reinforcement splices shall be 24" overlap of all reinforcing steel bars and mesh. Where necessary, top bars shall be spliced at mid-span between piers and bottom bars shall be spliced over supports.
- When sawing the drilled piers, care shall be taken to avoid overflows of concrete at the top of the shaft. The shaft size must remain constant to the underside of the supported slab, beam, or wall.
- Temporary construction and final grading must slope away from all concrete elements. All grading materials near the same elements to be compacted to minimize water infiltration. Install backfill around all concrete immediately after concrete is cast. If rain occurs before backfill is placed the excavations must be pumped immediately and kept dry at all times.
- Colored concrete placed on the site shall be protected as above and covered with plastic to protect color finish. Cure as per manufacturer's recommendations and specifications. Trained concrete color placement sub contractor shall have no less than ten years experience in finishing concrete that has been colored. All workers and finishers shall be trained.
- Sample color finishes for all concrete shall be placed on site for owner approval before placing concrete on site as shown on these drawings.
- Contractor to finish all concrete pads for electric transformers in conformance with T.U. Electric

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tom@landscapesignplan.com

LANDSCAPE PLANTING & LOW WALL DETAIL

DESIGNED: THP	DATE	PROJ. NO.	SHEET
DRAWN: THP	AUGUST 18, 2024		LA-5
CHECKED: THP			

OWNER:  
NATURON PROPERTIES LLC  
DLTZ DARLISSA JEANETTE  
ADDRESS : 8251 BEDFORD BLVD.  
SUITE 231  
NORTH RICHLAND HILLS, TEXAS

DEVELOPER:  
POPE KYRILLOS THE SIXTH  
COPTIC ORTHODOX CHURCH  
ADDRESS : 8251 BEDFORD BLVD.  
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