

**ORDINANCE NO. 3418  
ZONING CASE ZC 2016-06**

**AN ORDINANCE OF THE CITY OF NORTH RICHLAND HILLS, TEXAS AMENDING THE ZONING ORDINANCE OF THE CITY OF NORTH RICHLAND HILLS, AND THE ZONING MAP OF THE CITY OF NORTH RICHLAND HILLS, TEXAS BY AMENDING PLANNED DEVELOPMENT 36 OF THE CITY OF NORTH RICHLAND HILLS FOR THE PURPOSE OF INCORPORATING PREVIOUSLY APPROVED SITE PLANS AND APPROVING A NEW SITE PLAN FOR LOTS 1A, 1B, 2, 3, 4, 5, 6R AND 7R, BLOCK 1, WAL-MART ADDITION LOCATED IN THE 9000-9100 BLOCKS OF NORTH TARRANT PARKWAY, INCLUDING ADJACENT PARCELS ON DAVIS BOULEVARD AND PRECINT LINE ROAD; PROVIDING THAT THIS ORDINANCE SHALL BE CUMULATIVE OF ALL ORDINANCES; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY FOR VIOLATIONS HEREOF; PROVIDING A SAVINGS CLAUSE; PROVIDING FOR PUBLICATION; AND PROVIDING AN EFFECTIVE DATE.**

**WHEREAS,** the City of North Richland Hills, Texas is a home-rule municipality located in Tarrant County, Texas acting under its charter adopted by the electorate pursuant to Article XI, Section 5 of the Texas Constitution and Chapter 9 of the Local Government Code; and

**WHEREAS,** the Zoning Ordinance of the City of North Richland Hills regulates and restricts the location and use of buildings, structures, and land for trade, industry, residence, and other purposes, and provides for the establishment of zoning districts of such number, shape, and area as may be best suited to carry out these regulations; and

**WHEREAS,** the City Council of the City of North Richland Hills previously approved Planned Development 36; and

**WHEREAS,** Planned Development 36 requires Planning and Zoning Commission and the City Council approval of all site plans for development on the property within the zoning district; and

**WHEREAS,** the City Council previously approved several site plans for development on the property within the zoning district; and

**WHEREAS,** the City Council desires to consolidate all previously approved site plans into one ordinance; and

**WHEREAS,** the owner of a Lot 1A, Block 1, Wal-mart Addition, a portion of Planned Development 36, has requested approval of a site plan for development of a portion of the property; and

**WHEREAS,** the Planning and Zoning Commission of the City of North Richland Hills, Texas held a public hearing on June 2, 2016, and the City Council of the City of North Richland Hills, Texas, held a public hearing on June 27, 2016 with respect to the zoning change described herein; and

**WHEREAS,** the City has complied with all requirements of Chapter 211 of the Local Government Code, the Zoning Ordinance of the City of North Richland Hills, and all other laws dealing with notice, publication, and procedural requirements for the rezoning of the Property; and

**WHEREAS,** upon review of the application, and after such public hearing, the City Council finds that granting the request herein furthers the purpose of zoning as set forth in the Zoning Ordinance of the City of North Richland Hills and that the zoning change should be granted, subject to the conditions imposed herein.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NORTH RICHLAND HILLS, TEXAS:**

Section 1: THAT the Zoning Ordinance of the City of North Richland Hills and Planned Development 36 of the City of North Richland Hills are hereby revised to incorporate all site plans and development regulations found in Ordinance Numbers 2548, 2634, 2635, 2710, 2780, 3041, 3395, and 3408 for Lots 1A, 1B, 2, 3, 4, 5, 6R, and 7R, Block 1, Wal-Mart Addition in the City of North Richland Hills, Tarrant County, Texas, located in the 9000-9100 blocks of North Tarrant Parkway, including adjacent parcels on Davis Boulevard and Precinct Line Road, into this Ordinance with the site plans for those ordinances attached hereto as Exhibits A through I and incorporated herein.

Section 2: The Zoning Ordinance of the City of North Richland Hills and Planned Development 36 of the City of North Richland Hills are hereby revised for the purpose of approving a revised site plan attached hereto as Exhibit J, for Lots 1A, 1B, 2, 3, 4, 5, 6R, and 7R, Block 1, Wal-Mart Addition in the City of North Richland Hills, Tarrant County, Texas, located in the 9000-9100 blocks of North Tarrant Parkway, including adjacent parcels on Davis Boulevard and Precinct Line Road for the purposes of new construction on Lot 1A.

Section 3: The City Council finds that the information submitted by the applicant pursuant to the requirements of the Zoning Ordinance and Planned

Development 36 is sufficient to approve the revised site plan attached hereto as Exhibit "J" and incorporated for all purposes.

Section 4: That the official zoning map of the City of North Richland Hills is amended and the Planning Manager is directed to revise the official zoning map to and Planned Development 36, as set forth above.

Section 5: The use of the Property described above shall be subject to the restrictions, terms and conditions set forth in the Planned Development 36 and the Site Plans attached as Exhibits "A" through "J". Unless otherwise provided in Exhibits "A" through "J", the Property shall be governed by all applicable regulations contained in the Building and Land Use Regulations and all other applicable and pertinent ordinances of the City of North Richland Hills. Furthermore, the permitted uses and development regulations originally adopted by Ordinance 2548 for this planned development district shall remain as follows:

1. Permitted Uses

- A. Retail/Grocery center including garden center, automobile servicing, fuel sales, outdoor display and storage constructed in accordance with the site plan and building elevations attached as Exhibit A.
- B. Retail, Office, and Commercial Uses permitted in the C-1 Commercial zoning district as provided in the table of permitted uses. Prior to the issuance of a building permit for any new development, a site plan for each development shall be submitted to the Planning & Zoning Commission for review and comment and forwarded to the City Council for consideration.

2. Hours of Operation for Home Improvement Center: 24 hours a day, 365 days a year.

3. All exterior lighting shall be limited to a maximum of 400 watt fixtures.

Section 6: The zoning district as herein established has been made in accordance with a comprehensive plan for the purpose of promoting the health, safety, morals and general welfare of the community.

Section 7: This Ordinance shall be cumulative of all provisions of ordinances and of the Code of Ordinances of the City of North Richland Hills, Texas, as amended, except when the provisions of this Ordinance are in direct conflict with the provisions of such ordinances and such code, in which event the conflicting provisions of such ordinances and such code are

hereby repealed. Ordinance Numbers 2548, 2634, 2635, 2710, 2780, 3041, 3395, and 3408 are hereby repealed.

- Section 8: It is hereby declared to be the intention of the City Council that the sections, paragraphs, sentences, clauses, and phrases of this Ordinance are severable, and if any section, paragraph, sentence, clause, or phrase of this Ordinance shall be declared unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining sections, paragraphs, sentences, clauses, and phrases of this Ordinance, since the same would have been enacted by the City Council without the incorporation in this Ordinance of any such unconstitutional section, paragraph, sentence, clause or phrase.
- Section 9: Any person, firm or corporation violating any provision of the Zoning Ordinance and the zoning map of the City of North Richland Hills as amended hereby shall be deemed guilty of a misdemeanor and upon final conviction thereof fined in an amount not to exceed Two Thousand Dollars (\$2,000.00). Each day any such violation shall be allowed to continue shall constitute a separate violation and punishable hereunder.
- Section 10: All rights and remedies of the City of North Richland Hills are expressly saved as to any and all violations of the provisions of any ordinances governing zoning that have accrued at the time of the effective date of this Ordinance; and, as to such accrued violations and all pending litigation, both civil and criminal, whether pending in court or not, under such ordinances, same shall not be affected by this Ordinance but may be prosecuted until final disposition by the courts.
- Section 11: The City Secretary is hereby authorized and directed to cause the publication of the descriptive caption and penalty clause of this ordinance two times.
- Section 12: This ordinance shall be in full force and effect immediately after passage.

**AND IT IS SO ORDAINED.**

PASSED AND APPROVED on the 27th day of June, 2016.

**CITY OF NORTH RICHLAND HILLS**



By: \_\_\_\_\_  
Oscar Trevino, Mayor

ATTEST:

\_\_\_\_\_  
Alicia Richardson, City Secretary

Approved as to form and legality:

\_\_\_\_\_  
Cara Leahy White, Assistant City Attorney

Approved as to content:

\_\_\_\_\_  
Clayton Comstock, Planning Manager

EXHIBIT A - WALMART

GRAPHIC SCALE

BENCHMARK: 1 inch = 60 ft  
Box-cut in center of 10' inlet on the top of curb on the east side of Davis Boulevard, 170+/- north of Shady Grove Road (1st inlet north of intersection) Elevation = 688.61

SUNMIT COMMUNITY BANK, N.A.  
VOL. 13438, PG. 130  
D.R.T.C.T.

NOTE: IF SHADY GROVE INTERSECTION IS SIGNALIZED, DRIVEWAY (RIGHT IN RIGHT OUT) TO DAVIS BLVD. TO SERVE LOTS 6 & 7 WILL BE LOCATED AT THE COMMON PROPERTY LINE BETWEEN THE TWO LOTS. IF SHADY GROVE RD. IS NOT SIGNALIZED, DRIVEWAY TO DAVIS BLVD. FOR LOTS 6 & 7 WILL BE LOCATED AT NORTHERN EDGE OF LOT 7 & WILL BE A FULLY OPERATIONAL DRIVE.

NOTE: PROPOSED WAL-MART DRIVE WHICH ALIGNS WITH SHADY GROVE RD. TO THE WEST WILL EITHER BE PROPOSED TO BE SIGNALIZED (SUBJECT TO TDDT APPROVAL) OR A "WOODED" RIGHT IN RIGHT OUT ONLY WHICH WILL PREVENT THROUGH TRAFFIC FROM SHADY GROVE RD.

NOTE: INTERNAL CROSS ACCESS EASEMENTS BETWEEN LOTS 6 & 7 SHALL BE DEDICATED AT THE TIME OF PD SITE PLAN & FINAL PLAT

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NOTE: INTERNAL CROSS ACCESS EASEMENTS BETWEEN LOTS 4 & 5 SHALL BE DEDICATED AT THE TIME OF PD SITE PLAN & FINAL PLAT

NOTE: INTERNAL CROSS ACCESS EASEMENTS BETWEEN LOTS 4 & 5 SHALL BE DEDICATED AT THE TIME OF PD SITE PLAN & FINAL PLAT

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CROSS ACCESS ESMT.  
VOL. 13509, PG. 538

TRACT 3-B  
BRENTWOOD ESTATES  
VOL. 348-37, PG. 31  
P.R.T.C.T.

LANDSCAPE ARCHITECT:  
DUNAWAY ASSOCIATES, INC.  
1501 MERRIMAC CIRCLE  
SUITE 100  
FT. WORTH, TEXAS 76107  
(817) 335-1121  
TOM HUFFHINES

ENGINEER/SURVEYOR:  
DUNAWAY ASSOCIATES, INC.  
1501 MERRIMAC CIRCLE  
SUITE 100  
FT. WORTH, TEXAS 76107  
(817) 335-1121  
TOM HUFFHINES

OWNER / DEVELOPER:  
WAL-MART STORES EAST INC.,  
2001 S.E. 10TH STREET  
BENTONVILLE, AR 72712  
(501) 273-4814

SITE LIGHTING FIXTURES  
+ GV + J-MOD  
+ AV + KV  
+ BV

COUNCIL APPROVED  
3/26/01

SITE DATA	WAL-MART
TOTAL SITE AREA (LOTS 1-7)	37.424 ACRES
WAL-MART SITE AREA (LOTS 1)	25.255 ACRES
OUTLOT SITE AREA (LOTS 2-7)	12.169 ACRES
BUILDING AREA (192 PROTO)	±206,913 S.F.
ZONING	C-1
WAL-MART PARKING REQUIRED (5.0/1000 S.F. OR 1/200 S.F.)	1,035
PARKING REQUIRED BY CITY (1/250 S.F.)	828
PARKING PROVIDED (5.06/1000 S.F.)	1,046
ACCESSIBLE PARKING REQ. BY CITY (1% OF TOTAL SPACES)	11
ACCESSIBLE PARKING REQ./PROV. (2% OF TOTAL SPACES)	21/21

NOTES:  
MINIMUM DISTRICT AREA 1 ACRE  
MINIMUM FRONTAGE 50'  
MAX. LOT COVERAGE 50%  
LOT AREA MIN. NONE  
MIN. LOT WIDTH NONE  
MIN. LOT DEPTH NONE  
MIN. FRONT BLDG. LINE 25'  
MIN. SIDE BLDG. LINE NONE  
MIN. REAR BLDG. LINE 35'  
PARKING REQUIRED 1:250  
MIN. MASONRY REQUIREMENT 100%

SIGNAGE NOTES:  
MONUMENT SIGNS ALLOWED 1 PER LOT FOR EVERY 300 FEET OF STREET FRONTAGE.  
MONUMENT SIGNS SHALL BE MAX. 12' IN HEIGHT FOR SIGNS LOCATED IN AN AREA THAT IS MORE THAN 10' FROM THE PROPERTY LINE ABUTTING AND PARALLEL TO THE STREET.  
FOR SIGNS LOCATED IN AN AREA THAT IS MORE THAN 10' FROM THE PROPERTY LINE ABUTTING AND PARALLEL TO THE STREET, THE MAXIMUM AREA IS SEVENTY-FIVE (75) SQUARE FEET OF SIGN MESSAGE AREA AND ONE HUNDRED TEN (110) SQUARE FEET OF SIGN STRUCTURE AREA. MONUMENT SIGNS SHALL BE SITUATED WITHIN AND PERPENDICULAR TO THE INCREMENT OF QUALIFIED STREET FRONTAGE USED TO CALCULATE THE SIGN AREA.

PD-C1 CONDITIONS

LOTS 2-7 AND FUEL SALES LEASE LOT WILL BE PROCESSED AS A SEPARATE PD-C1 SITE PLAN APPLICATION PERMITTED USES FOR ALL THE LOTS IS LISTED BELOW.

PERMITTED USES

ALL USES PERMITTED IN C1 COMMERCIAL AND THE FOLLOWING ADDITIONAL USES:  
AUTOMOTIVE REPAIR, SERVICING AND LUBRICATION SO LONG AS THE ACTIVITIES OCCUR WITHIN SERVICE BAYS OF THE BUILDING. NO OUTDOOR REPAIR WILL BE PERMITTED.  
GASOLINE & DIESEL AUTOMOTIVE FUEL SALES.  
OUTDOOR STORAGE AREAS AS SPECIFICALLY DESIGNATED ON THE SITE PLAN.  
LOT & AREA REQUIREMENTS SHALL CONFORM TO C-1 CRITERIA.  
EXTERIOR BUILDING MATERIALS AND ARTICULATION FOR LOT 1 ARE AS SHOWN ON THE PD SITE PLAN AND ARCHITECTURAL ELEVATIONS.  
HOURS OF OPERATIONS: 24 HOURS/DAY 365 DAYS/YEAR  
LANDSCAPE FOR LOT 1 IS AS ILLUSTRATED ON THE PD SITE PLAN THE BALANCE OF LOTS 2-7 WILL MEET OR EXCEED NORTH RICHLAND HILLS LANDSCAPING REQUIREMENTS.  
EXTERIOR LIGHTING ON LOT 1 WILL CONSIST OF 42' HIGH 1000 W METAL HALIDE FIXTURES AS INDICATED ON THE SITE PLAN.  
REFUSE ON LOT 1 WILL BE HANDLED BY TWO COMPACTORS NEXT TO THE TRUCK WELLS.  
SIGNS FOR LOT 1 ARE AS DEPICTED ON THE ARCHITECTURAL ELEVATIONS. DETACHED SIGNS ARE LIMITED TO 3 MONUMENTAL SIGNS RELATED TO THE RETAIL/GROCERY BUILDING AS DEPICTED ON THE PD SITE PLAN AND ONE MONUMENT SIGN FOR THE GAS FUELING FACILITY. LOTS 2-7 SHALL BE LIMITED TO MONUMENT SIGNS NOT TO EXCEED ONE PER LOT.

PD-C1 CONDITIONS (CONTINUED)

PUBLIC STREET ACCESS FOR LOT 1 IS AS DEPICTED ON THE PD SITE PLAN. ANY ADDITIONAL PUBLIC STREET ACCESS POINTS TO LOTS 2-7 MUST BE APPROVED SEPARATELY BY NORTH RICHLAND HILLS PUBLIC WORKS DEPT.

VARIANCES REQUESTED

(OR ITEMS THAT REQUIRE SPECIAL USE PERMIT OR CONDITIONAL SPECIAL USE PERMIT IN C-1 COMMERCIAL.)  
• VARIANCE OF 100% MASONRY REQUIREMENT.  
• VARIANCE FOR THE MAXIMUM STRUCTURE AREA OF THE THREE PROPOSED WAL-MART MONUMENT SIGNS. MAXIMUM STRUCTURE AREA PER ORDINANCE IS 110 S.F. VARIANCE REQUESTED IS 160 S.F. (NOTE: PROPOSED FUEL STATION SIGN COMPLIES WITH THE SIGN ORDINANCE)  
• BUILDING ARTICULATION.  
• GARDEN CENTER & OUTDOOR DISPLAY  
• OUTSIDE STORAGE  
• AUTOMOTIVE SERVICING (TIRES, LUBRICATION, BATTERIES)  
• AUTOMOTIVE FUEL SALES.  
• 50' RADIUS FOR TRUCK ENTRY.  
• LESS THAN 500' BETWEEN DRIVEWAYS ON DAVIS BLVD.

Wal-Mart Addition PD-C1 Site Plan

WAL \* MART  
2001 S.E. 10TH STREET  
BENTONVILLE, ARKANSAS 72712

North Tarrant Prkwy. & F.M. 1938  
North Richland Hills, Texas

DUNAWAY ASSOCIATES INC  
Engineers • Landscape Architects • Planners • Surveyors  
1501 MERRIMAC CIRCLE SUITE 100 FT. WORTH, TEXAS 76107  
PHONE (817) 335-1121 METRO (817) 428-5135 FAX (817) 335-7437



DATE:	3-19-01
JOB No.	99071
DRAWN BY:	CSB
DESIGNED BY:	TSG
APPROVED BY:	TSG
DATE:	March 19, 2001
SCALE:	1" = 60'
SHEET:	1 OF 1



EXHIBIT A - WALMART

GRAPHIC SCALE  
(IN FEET)  
BENCHMARK: 1 inch = 60 ft.  
Box-cut in center of 10' inlet on the top of curb on the east side of Davis Boulevard, 170+/- north of Shady Grove Road (1st inlet north of intersection) Elevation = 688.61

SUMMIT COMMUNITY BANK, N.A.  
VOL. 13438, PG. 130  
D.R.T.C.T.

D.J.L. ANDERSON SUBDIVISION  
388-174, PG. 42

JEAN BARFIELD PROPERTIES  
FAMILY LIMITED PARTNERSHIP  
VOL. 13515, PG. 424  
D.R.T.C.T.

FM 3029 (PRECINCT LINE ROAD)

SHADY GROVE RD.

LOT 1, BLOCK 3  
BRENTWOOD ESTATES  
GABRIEL A. SLICE 1050  
P.R.T.C.T.

CROSS ACCESS EMT.  
VOL. 13509, PG. 538

TRACT 3-B  
BRENTWOOD ESTATES  
VOL. 388-97, PG. 31  
P.R.T.C.T.

LOT 7  
49,320 S.F.  
1.132 ACRES

LOT 6  
49,369 S.F.  
1.133 ACRES

LOT 5  
81,008 S.F.  
1.860 ACRES

LOT 4  
54,426 S.F.  
1.249 ACRES

C-192-SGL OL  
PROPOSED WAL-MART SUPERCENTER  
STORE NO. 374  
±206,913 SQ. FT. BLDG. PAD  
F.F.E. = 68.0

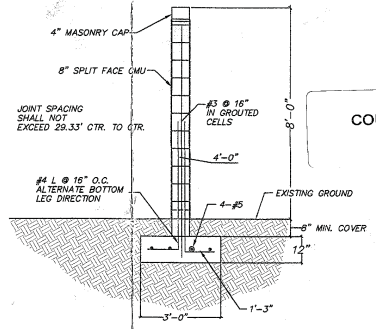
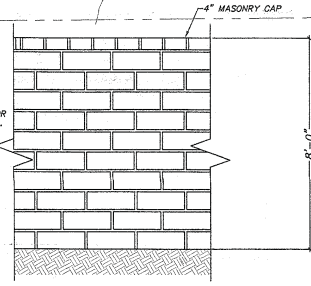
LOT 1  
1,100,122 S.F.  
25.255 ACRES

LOT 2  
170,343 S.F.  
3.911 ACRES

LOT 3  
125,581 S.F.  
2.893 ACRES

NORTH TARRANT PARKWAY

NOTE:  
LANDSCAPING & SIDEWALK IN NORTH TARRANT  
PARKWAY CAN OR MAY BE MODIFIED ADMINISTRATIVELY  
TO CONFORM WITH FINAL NORTH TARRANT PARKWAY  
STREETSCAPE DESIGN BY CITY.



COUNCIL APPROVED  
3/26/01

LANDSCAPE ARCHITECT:  
DUNAWAY ASSOCIATES, INC.  
1501 MERRIMAC CIRCLE  
SUITE 100  
FT. WORTH, TEXAS 76107  
(817) 335-1121  
TOM GALBREATH

LANDSCAPE LEGEND

- LIVE OAK
- CEDAR ELM
- BUR OAK
- TEXAS RED OAK
- GRAPE MYRTLE
- WAX MYRTLE
- ABELIA
- DWF. BURFORD HOLLY
- NELLIE R. STEVENS
- DWF. YALPON HOLLY
- LANDSCAPE AREAS & OPEN SPACE
- TREE PRESERVATION AREAS

PLANT MATERIAL LIST

KEY	COMMON/SCIENTIFIC NAME	QUANTITY	CALIPER	HEIGHT	SPREAD	ROOT	REMARKS	EQUIVALENT LANDSCAPE AREA FOR TREES
A.	LIVE OAK <i>Quercus virginiana</i>	36	4"	11'-13'	4'-6"	B & B/CONT.	SINGLE TRUNK	28,800 S.F.
B.	CEDAR ELM <i>Quercus coccinea</i>	28	4"	11'-13'	4'-6"	B & B/CONT.	SINGLE TRUNK	28,400 S.F.
C.	BUR OAK <i>Quercus shumardii</i>	16	3"	12'-14'	4'-6"	B & B/CONT.	SINGLE TRUNK	2,400 S.F.
D.	TEXAS RED OAK <i>Quercus shumardii</i>	13	3 3/4"	12'-14'	4'-6"	B & B/CONT.	SINGLE TRUNK	10,200 S.F.
E.	CHAPE MYRTLE <i>Lagerströmia indica</i>	20	N/A	6'-10'	4'-5"	24" BOX OR CONT.	MULTI TRUNK	12,000 S.F.
F.	WAX MYRTLE <i>Myrica carolinensis</i>	6	N/A	6'-10'	4'-5"	24" BOX OR CONT.	MULTI TRUNK	14,070 S.F.
G.	ABELIA <i>Abelia grandiflora</i>	871	N/A	24"-36"	24"	5 GAL. CONT.	36" O.C.	4,020 S.F.
H.	DWF. YALPON HOLLY <i>Ilex vomitoria 'Nana'</i>	402	N/A	16"-24"	14"-20"	5 GAL. CONT.	24" O.C.	1,740 S.F.
I.	NELLIE R. STEVENS <i>Ilex cornuta 'Burfordii'</i>	116	N/A	24"-36"	24"	5 GAL. CONT.	5" O.C.	14,070 S.F.
J.	DWF. BURFORD HOLLY <i>Ilex cornuta 'Burfordii'</i>	938	N/A	24"-36"	24"	5 GAL. CONT.	36" O.C.	14,070 S.F.
TOTAL 142,030 S.F.								MAXIMUM CREDIT PERMITTED 7.5% X 1,100,122 = 82,509 S.F.

SITE DATA	WAL-MART
TOTAL SITE AREA (LOTS 1-7)	37,424 ACRES
WAL-MART SITE AREA (LOTS 1)	25,255 ACRES
OUTLOT SITE AREA (LOTS 2-7)	12,169 ACRES
BUILDING AREA (192 PRTO)	±206,913 S.F.
WAL-MART PARKING REQUIRED (5.0/1000 S.F.)	1,035
PARKING PROVIDED (5.0/1000 S.F.)	1,036
ACCESSIBLE PARKING REQ./PROV. (2% OF TOTAL SPACES)	21/21
WAL-MART LANDSCAPE AREA REQUIRED-7.5% OF 1,100,122 S.F.	82,509 S.F.
WAL-MART LANDSCAPE AREA PROVIDED	223,226 S.F.
WAL-MART TREE PRESERVATION AREA PROVIDED	27,729 S.F.
WAL-MART INTERIOR LANDSCAPE REQUIRED-0.5% OF 483,414 S.F.	24,171 S.F.
WAL-MART INTERIOR LANDSCAPE AREA PROVIDED	36,275 S.F.*
*INCLUDES TREE PRESERVATION AREA	

DUNAWAY ASSOCIATES, INC.  
Engineers • Landscape Architects • Planners • Surveyors  
1501 MERRIMAC CIRCLE, SUITE 100, FORT WORTH, TEXAS 76107  
PHONE (817) 335-1121 METRO (817) 499-2126 FAX (817) 335-7437

North Tarrant Pkwy. & F.M. 1938  
North Richland Hills, Texas

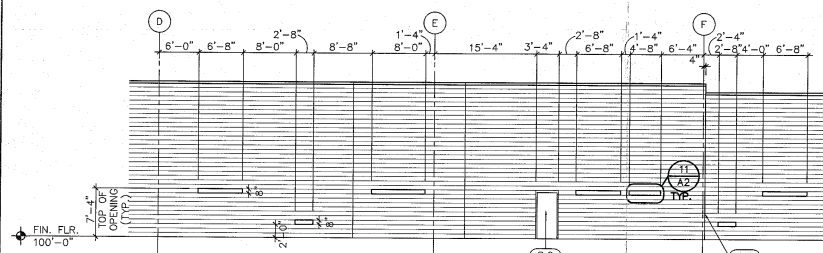
WAL \* MART  
2001 S.E. 10TH STREET  
BENTONVILLE, ARKANSAS 72712



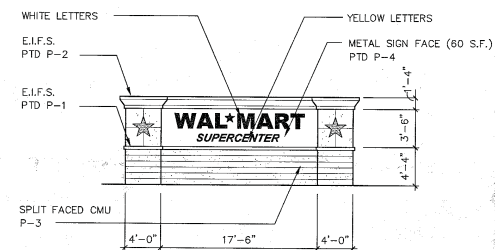
DATE: 3/19/01  
JOB NO.: 99071  
DRAWN BY: COB  
DESIGNED BY: TSG  
APPROVED BY: TSG  
DATE: March 19, 2001  
SCALE: 1" = 60'  
SHEET: 1 OF 1



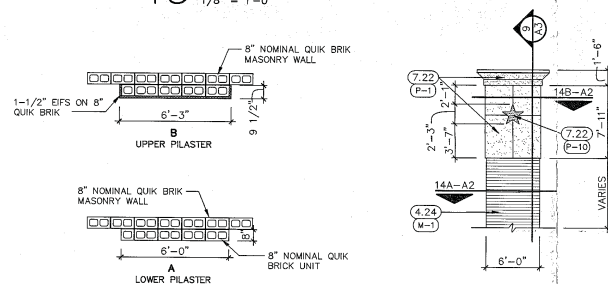
## EXHIBIT A - WALMART



12 REFRIGERATION LINE LOCATION DETAIL  
3/32" = 1'-0"

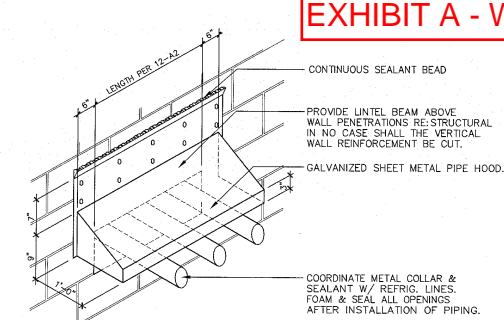


15 MONUMENT SIGN  
1/8" = 1'-0"

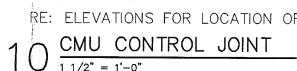


14 PILASTER PLAN  
1/4" = 1'-0"

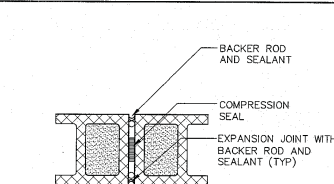
13 PILASTER ELEVATION  
1/8" = 1'-0" RE: 1-A2



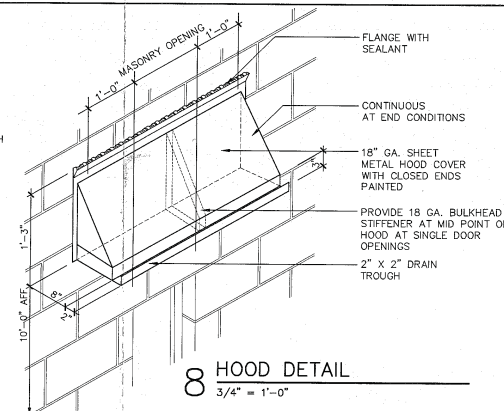
## 11 REFRIGERATION LINE HOOD DETAILS



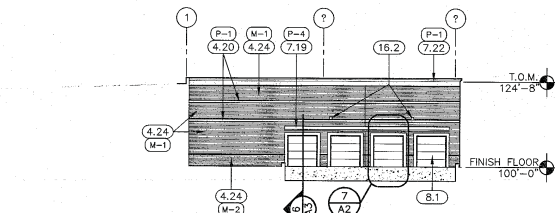
10 CMU CONTROL JOINT



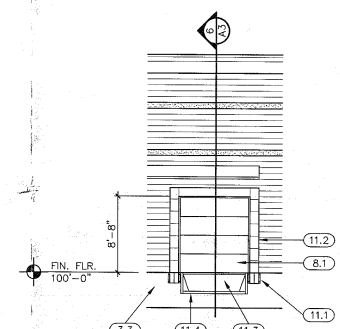
9 CMU EXPANSION JOINT



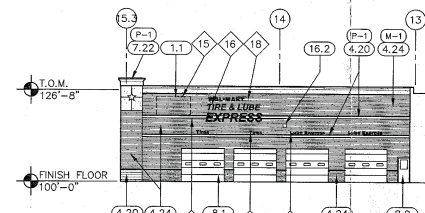
## 8 HOOD DETAIL



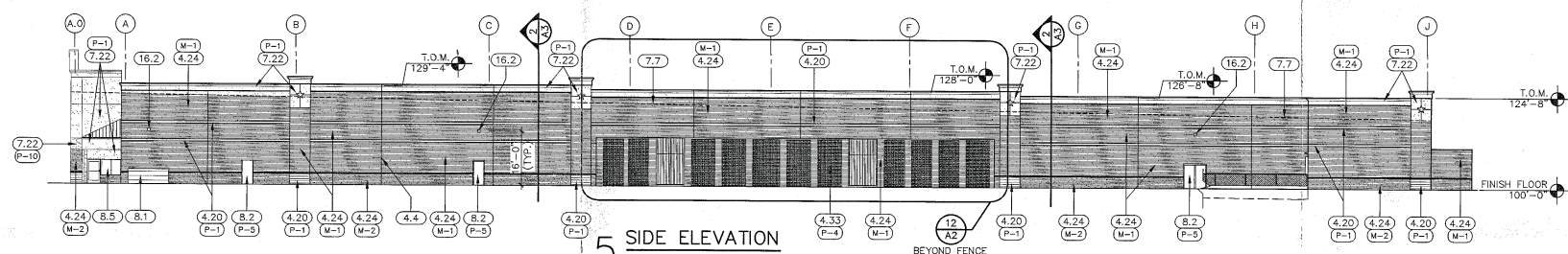
7A GROCERY DOCK ELEVATION  
1" = 20'-0"



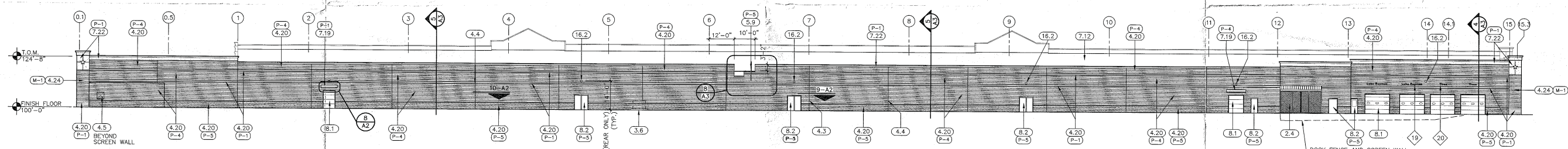
7 DOCK DOOR ELEVATION  
1/8" = 1'-0"



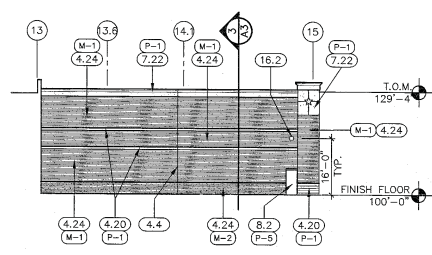
6 BUILDING ELEVATION



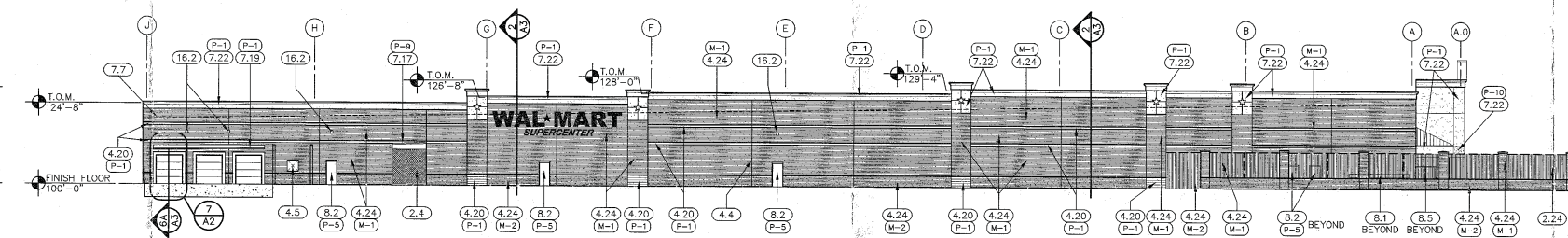
5 SIDE ELEVATION  
1" = 20'-0"



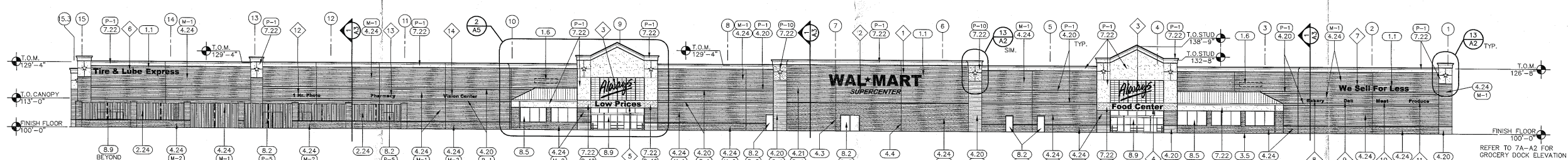
4 REAR ELEVATION  
1" = 20'-0"



### 3 BUILDING ELEVATION



## 2 SIDE ELEVATION



1 FRONT ELEVATION  
1" = 20'-0"

## KEYNOTES

- 1.1 SIGNAGE FURNISHED AND INSTALLED BY WAL-MART.
- 1.6 ILLUMINATED TENANT SIGN. TENANT SHALL BE RESPONSIBLE FOR ALL INSTALLATIONS, PERMIT COSTS, AND SIGN COSTS.
- 2.4 11'-0" HIGH CHAIN LINK FENCING WITH PLASTIC SCREENING SLATS INSTALLED VERTICALLY.
- 2.24 ORNAMENTAL METAL FENCING
3. FOUNDATION: RE: STRUCTURAL PLANS.
- 3.5 8" X 8" CONCRETE CURB AT WALL. RE: 2-SP2.
- 3.6 CONCRETE TRANSFORMER PAD, COORDINATE SIZE, REINFORCEMENT, THICKNESS, AND LOCATION WITH LOCAL UTILITY.
- 4.3 EXPANSION JOINT (E.J.)
- 4.4 MASONRY CONTROL JOINT (C.J.), TYPICAL. REFER ST FOR CONTROL JOINT LOCATION.
- 4.5 40"x40" MASONRY OPENING AT TRASH COMPACTOR BOTTOM OF OPENING AT 48" A.F.F.
- 4.20 8" SPLIT FACE CMU.
- 4.21 8" SMOOTH FACE CMU.
- 4.24 8" NOMINAL CQR BRK
- 5.9 JB CRANE HOIST ARM AND GUARD RAIL ASSEMBLY - WAL-MART FURNISHED AND CONTRACTOR INSTALLED.
- 7.3 GALVANIZED METAL GUTTER; PAINTED.
- 7.4 GALVANIZED METAL PARAPET COPING.
- 7.7 ROOF LINE BEYOND.
- 7.10 5"x5" GALVANIZED METAL DOWNSPOUT PAINTED;
- 7.11 9"x9" GALVANIZED METAL DOWNSPOUT PAINTED;
- 7.12 ROOFING; RE: A4 AND A4.1.
- 7.17 MANUFACTURED ROOF PANELS.
- 7.22 SHEET METAL DOOR HOOD. PAINTED. RE: 8-A2
- 7.22 EXTERIOR INSULATION FINISH SYSTEM.
- 7.24 4" x 4" METAL DOWNSPOUTS, PAINTED.
- 8.1 SECTIONAL OVERHEAD DOOR.
- 8.2 HOLLOW METAL DOOR AND FRAME.
- 8.5 ALUMINUM STAIR FRON
- 8.6 AUTOMATIC 8'-PARTIAL ENTRANCE DOORS. PROVIDE SMOOTH FACE BLOCK BEHIND DOOR AND FRAME ASSEMBLY.
- 11.1 DOCK BUMPERS.
- 11.2 DOCK SEAL.
- 11.3 DOCK LEVELER. COORDINATE ALL DIMENSIONS IN CONCRETE BLOCK-OUT WITH MANUFACTURER.
- 11.4 STEEL FRAME - VERIFY SIZE OF FRAME AND ANCHOR REQUIREMENTS WITH DOCK LEVELER MANUFACTURER.
- 16.2 LIGHT FIXTURE - RE: ELECTRICAL

SIGNS			
	FRONT SIGNAGE	HEIGHT	AREA
1.	"WAL-MART"	7'-0" (2)	784 S.F.
2.	"SUPERCENTER"	7'-0" (2)	87.94 S.F.
3.	"ALWAYS"	9'-0" (2)	292 S.F.
4.	"FOOD CENTER"	7'-0" (2)	292 S.F.
5.	"LOW PRICES"	2'-6"	44.38 S.F.
6.	"TIRE & LUBE EXPRESS"	2'-6"	80.58 S.F.
7.	"WE SELL FOR LESS"	2'-6"	68.20 S.F.
8.	"BAKERY"	1'-6"	10.25 S.F.
9.	"DELI"	1'-6"	5.30 S.F.
10.	"MEAT"	1'-6"	6.84 S.F.
11.	"PRODUCE"	1'-6"	11.87 S.F.
12.	"1 HR. PHOTO"	1'-6"	16.00 S.F.
13.	"PHARMACY"	1'-6"	14.14 S.F.
14.	"VISION CENTER"	1'-6"	20.59 S.F.
<b>TOTAL FRONT</b>			<b>1492.98 S.F.</b>
	TLF SIGNAGE	HEIGHT	AREA
15.	"WAL-MART"	1'-3"	11.54 S.F.
16.	"TIRE & LUBE"	1'-3"	24.69 S.F.
17.	"EXPRESS"	1'-3"	38.57 S.F.
18.	TLF TENANT	5'-2"	30 S.F.
19.	"LUBE EXPRESS"	1'-0" (4)	35.80 S.F.
20.	"TIRES"	1'-0" (4)	13.04 S.F.
<b>TOTAL TLF</b>			<b>153.81 S.F.</b>
*CALCULATIONS ARE BASED ON BOX METHOD.			
<b>TOTAL SIGNAGE</b>			<b>1254.79 S.F.</b>

### COLOR SCHEDULE

<b>P-1</b> LIGHT GREY	<b>P-9</b> WHITE
<b>P-2</b> DARK GREY	<b>P-10</b> DK. GREEN
<b>P-4</b> SHAKER RED	<b>M-1</b> LAWSON'S BLEND
<b>P-5</b> WILD ROSE	<b>M-2</b> PROMENADE BLEND

RE: SPECIFICATIONS FOR ADDITIONAL INFORMATION

GENERAL NOTES
---------------

1. DOWNSPOUTS ARE INDICATED FOR SIZE, QUANTITY AND APPROXIMATE LOCATION ONLY. RE: SP1 FOR DOWNSPOUT LOCATION.

**STIPULATION FOR REUSE**  
THIS DRAWING WAS PREPARED FOR USE ON A SPECIFIC SITE AT N. HIGHLAND MILLS (NO. TX CONTEMPORANEOUSLY WITH ITS ISSUE DATE ON 12/5/00, AND IT IS NOT SUITABLE FOR USE ON A DIFFERENT PROJECT SITE OR AT A LATER TIME. USE OF THIS DRAWING FOR REFERENCE OR EXAMPLE ON ANOTHER PROJECT REQUIRES THE SERVICES OF PROPERLY LICENSED ARCHITECTS AND ENGINEERS. REPRODUCTION OF THIS DRAWING FOR REUSE ON ANOTHER PROJECT IS NOT AUTHORIZED AND MAY BE CONTRARY TO THE LAW.

EXTERIOR ELEVATIONS

REVISION:		
NO.	DATE	DESCRIPTION

	NO.	DATE	DESCRIPTION
SUITE 300			
6700 ANTIOCH PLAZA			
MERRIAM, KANSAS 66204			
ARCHITECT OF RECORD:			
CHRIS M. RHEA			

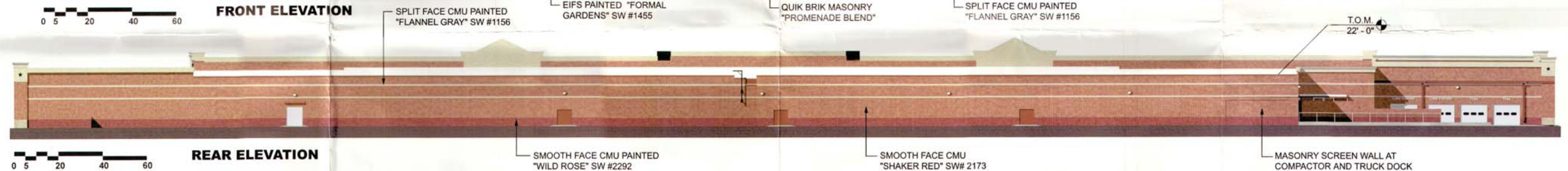
**WAL★MART**  
*SUPERCENTER*  
N. RICHLAND HILLS (N.) TX

N. RICHLAND HILLS (N), TX	
PROTOTYPE: 192	102700
STORE NUMBER:	3274
JOB NUMBER:	96120645
DATE:	12/5/00

	DRAWN BY:	
	CHECKED BY:	
	SHEET NUMBER	A2



# EXHIBIT A - WALMART



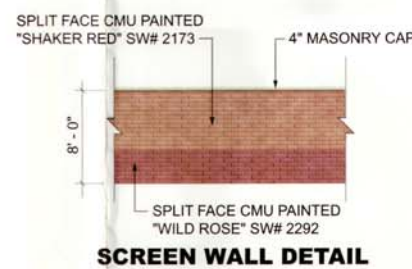
## North Richland Hills (N), TX Material Calculations

Front Elevation		
EIFS	2,737.35 S.F.	17.77%
Glass	896.60 S.F.	5.82%
Kalwall	492.00 S.F.	3.19%
Quik Brik	9,250.05 S.F.	60.04%
Split Face CMU	901.33 S.F.	5.85%
Fencing	1,129.77 S.F.	7.33%
<b>Total</b>	<b>15,407.10 S.F.</b>	<b>100.00%</b>

Left Elevation		
EIFS	1,429.08 S.F.	13.20%
Quik Brik	8,021.08 S.F.	74.04%
Split Face CMU	520.58 S.F.	4.81%
Fencing	861.65 S.F.	7.95%
<b>Total</b>	<b>10,832.39 S.F.</b>	<b>100.00%</b>

Right Elevation		
EIFS	1,503.64 S.F.	12.20%
Quik Brik	8,786.40 S.F.	71.30%
Split Face CMU	2,032.77 S.F.	16.50%
<b>Total</b>	<b>12,322.81 S.F.</b>	<b>100.00%</b>

Rear Elevation		
EIFS	486.52 S.F.	3.19%
Split Face CMU	14,193.51 S.F.	92.97%
Overhead Doors	587.10 S.F.	3.84%
<b>Total</b>	<b>15,267.13 S.F.</b>	<b>100.00%</b>





1. BUILDING 6,000 SQUARE FEET OR GREATER SHALL BE 100% FIRE SPRINKLED. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE BUILDING AND FIRE DEPARTMENTS.
2. FIRE LANES SHALL BE DESIGNED AND CONSTRUCTED PER CITY STANDARDS.
3. HANDICAPPED PARKING AREAS SHALL BE DESIGNED AND PROVIDED PER CITY STANDARDS AND SHALL COMPLY WITH REQUIREMENTS OF THE CURRENT, ADOPTED UNIFORM BUILDING CODE.
4. FIVE-FOOT WIDE SIDEWALKS SHALL BE PROVIDED 2.5 FEET OFF OF THE PROPERTY LINE, WITHIN THE RIGHTS-OF-WAY, UNLESS A SIDEWALK EASEMENT IS PROVIDED FOR A MEANDERING SIDEWALK OR AN ALTERNATIVE DESIGN IS APPROVED BY THE CITY. BARRIER-FREE RAMPS, PER CITY STANDARDS, SHALL BE PROVIDED ON SIDEWALKS AT ALL CURB CROSSINGS.
5. MECHANICAL UNITS, DUMPSTERS AND TRASH COMPACTORS SHALL BE SCREENED IN IN ACCORDANCE WITH THE ZONING ORDINANCE.
6. ALL SIGNAGE CONTINGENT UPON APPROVAL BY BUILDING INSPECTION DEPARTMENT.
7. APPROVAL OF THE SITE PLAN IS NOT FINAL UNTIL ALL ENGINEERING PLANS ARE APPROVED.
8. OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED ACCORDING WITH ZONING ORDINANCE.
9. BUILDING FACADES WITHIN THIS DEVELOPMENT SHALL BE COMPATIBLE, AS PROVIDED IN THE RETAIL CORNER DESIGN GUIDELINES.
10. OUTDOOR LIGHTING SHALL COMPLY WITH ILLUMINATION STANDARDS WITHIN SECTION 6-466 OF THE CODE OF ORDINANCES.
11. PLEASE CONTACT THE BUILDING INSPECTION DEPARTMENT TO DETERMINE THE TYPE OF CONSTRUCTION AND OCCUPANCY GROUP.
12. ALL ELECTRICAL TRANSMISSION, DISTRIBUTION AND SERVICE LINES MUST BE UNDERGROUND.
13. USES SHALL CONFORM IN OPERATION, LOCATION, AND CONSTRUCTION TO THE FOLLOWING PERFORMANCE STANDARDS IN SECTION 3-1300 OF THE ZONING CODE, NOISE, SMOKE AND PARTICULATE MATTER, ODOROUS MATTER, FIRE OR EXPLOSIVE HAZARD MATERIAL, TOXIC AND NOXIOUS MATTER, VIBRATION AND/OR OTHER PERFORMANCE STANDARDS.
14. BASE ON BOUNDARY SURVEY PLAN PREPARED BY LAND SURVEYOR OF ST. TEXAS.
15. ALL ROOF MOUNTED EQUIPMENT WILL BE SCREENED BY A PARAPET WALL, OR OTHER MEANS.

#### WATER METER SCHEDULE

SYMBOL	TYPE	SIZE	SANSEVER
	DOMESTIC	2"	1/2"X4" DROP CORN
	IRRIGATION	2"	N/A

INSTALL 2-1/2"X2" TAPPING SLEEVES  
1-2" METER COUPLER  
1-2" METER COUPLER

WATER METER & SERVICE TO BE INSTALLED  
BY CITY WATER DEPT. AT OWNERS EXPENSE

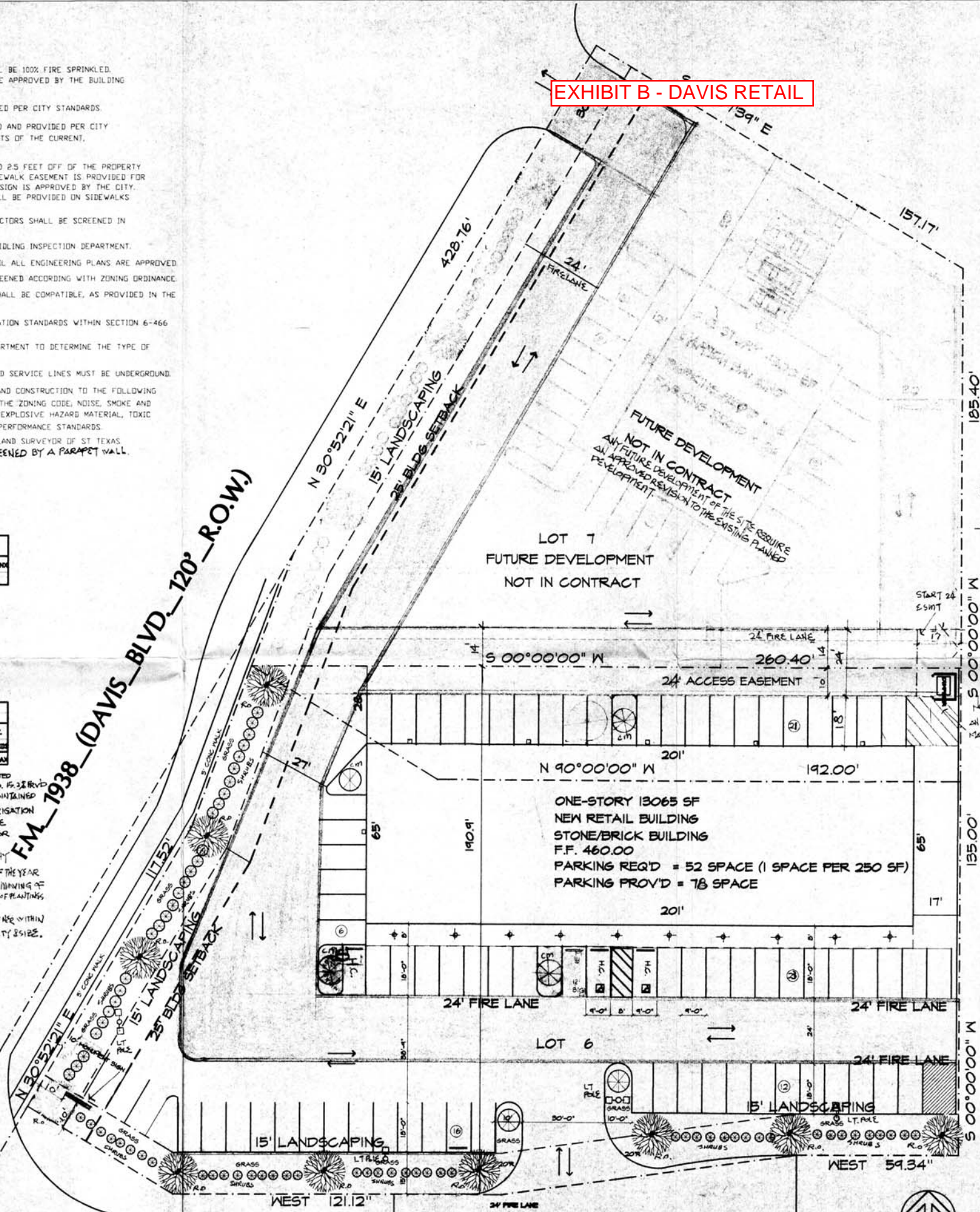
#### LANDSCAPING SCHEDULE

NUMBER	TYPE	SIZE	REMARKS
12	LANDSCAPE TREES	3" CALIPER	8 5/8" SPACE MAX.
3	LANDSCAPE TREES	2" CALIPER	8 5/8" SPACE MAX.
16	SHRUBS-MOLLY	3 GAL. 2" HIGH	8 5/8" ON CENTER MAX.

NOTE: ALL LANDSCAPING AREAS NEED FULL SPRINKLE IRRIGATED MINIMUM 1/2" OF THE LOT HAS TO BE LANDSCAPED. 15' SETBACK

1. ALL REQUIRED LANDSCAPE AREAS SHALL BE PERMANENTLY MAINTAINED AND SHALL BE IRRIGATED WITH AN AUTOMATIC CONVENTIONAL IRRIGATION SYSTEM EQUIPPED WITH RAIN AND FROST SENSOR CONTROLS. THE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED IRRIGATOR OR MASTER PLUMBER.
2. ALL PLANT MATERIALS SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS APPROPRIATE FOR THE SEASON OF THE YEAR. THE PROPERTY OWNER IS RESPONSIBLE FOR REGULAR WEEDING, MOWING OF GRASS, IRRIGATION, FERTILIZING, PRUNING AND OTHER MAINTENANCE OF PLANTINGS AS NEEDED.
3. PLANT MATERIALS WHICH DIE SHALL BE REPLACED BY THE OWNER WITHIN A SIX MONTH PERIOD WITH PLANT MATERIAL OF SIMILAR VARIETY & SIZE.

### EXHIBIT B - DAVIS RETAIL



#### SITE PLAN

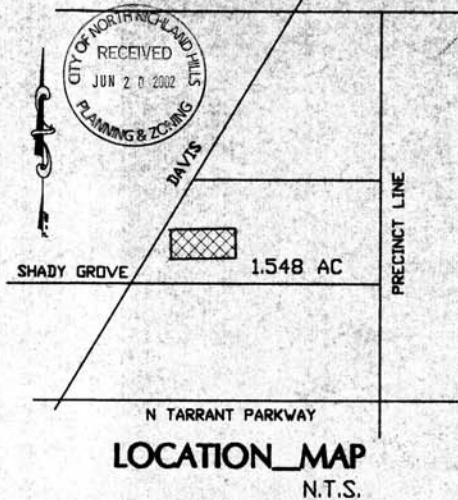
1" = 20'

LANDSCAPING PLAN

0 10 20 40 60

GRAPHIC SCALE IN FEET

1" = 20'



#### LEGEND

- FIRE HYDRANT
- 

#### SITE DATA SUMMARY TABLE

ZONING	GB RETAIL
PROPOSE USE	GENERAL RETAIL STORE
SITE	1.172 ACRES • LOT 6
BUILDING SQ.FTG.	13,065 SF
BUILDING HEIGHT	1-STORY, 20 FEET
LOT COVERAGE	55,405 SQ.FT.
FLOOR AREA RATIO	0.235 (23.5%)
OCCUPANCY LOAD	150 PERSON
PARKING REQ'D :	52 (1 SPACE PER 250 SF)
RETAIL PLUS 1 SPACE FOR 100 SF RESTAURANT)	
PARKING PROV'D :	78
HANDICAPPED PARKING REQ'D	2 SPACE
HANDICAPPED PARKING PROV'D	3 SPACE (1 VAN ACCESS)
INTERIOR LANDSCAPING REQ'D	3 TREES
INTERIOR LANDSCAPING PROV'D	3 TREES (15.2% LS AREAS)
TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE	500 SQ.FT. 3,400 SF PROV'D
FIRE SPRINKLER	NO
DESIGN LIVE LOAD	ROOF 20 PSF WIND 20 PSF

#### SITE PLAN

LOT 6 • BLOCK 1  
WAL-MART ADDITION

OWNER: GUION GREGG INVESTMENTS, INC.  
c/o GUION GREGG, III  
3838 OAK LAWN AVE.  
DALLAS, TX 75219

ENGINEER: Wang Engineering, Inc.  
1200 East Executive  
Ste. 98  
Richardson, TX 75081

MAY 28, 2002

**WANG**  
STRUCTURAL  
ENGINEERING

**WANG**  
ENGINEERING, INC.

1200 E. EXECUTIVE DR.  
Suite 98  
Richardson, Texas 75081  
(972) 437-2500  
FAX: (972) 437-2505

Project Number  
2002.000105  
Date Issued  
05-08-2002  
Revision  
00-00-2002

A\_NEW\_13065\_SF\_N\_RICHLAND\_HILS\_RETAIL\_CENTER  
GUION\_GREGG\_III\_INVESTMENTS  
FM\_1938\_(DAVIS\_BVD) & PRECINCT\_LINE\_RD.



6/18/02 05/11/00  
Sheet Number

P2 2000-3821 C1



# EXHIBIT B - DAVIS RETAIL

P22000-38R1



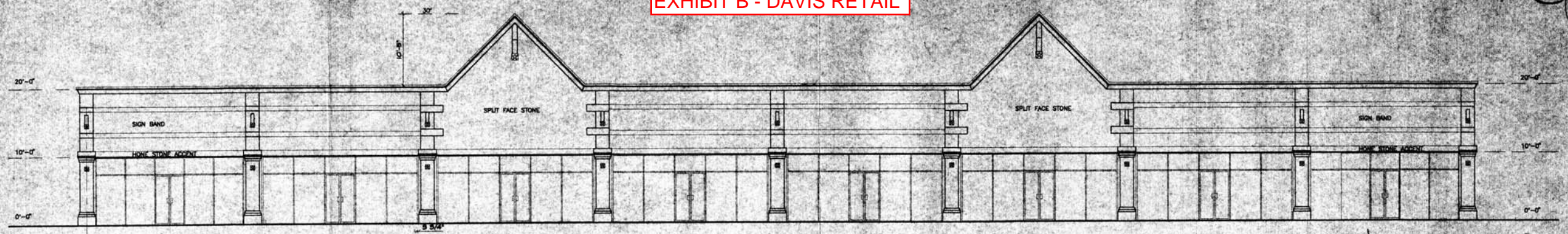
**WANG**  
STRUCTURAL  
ENGINEERING

WANG  
ENGINEERING, INC.  
1300 S. RICHLAND HILLS  
RICHLAND HILLS, TEXAS 76781  
(817) 457-1100  
FAX: (817) 457-1101  
www.wangengr.com

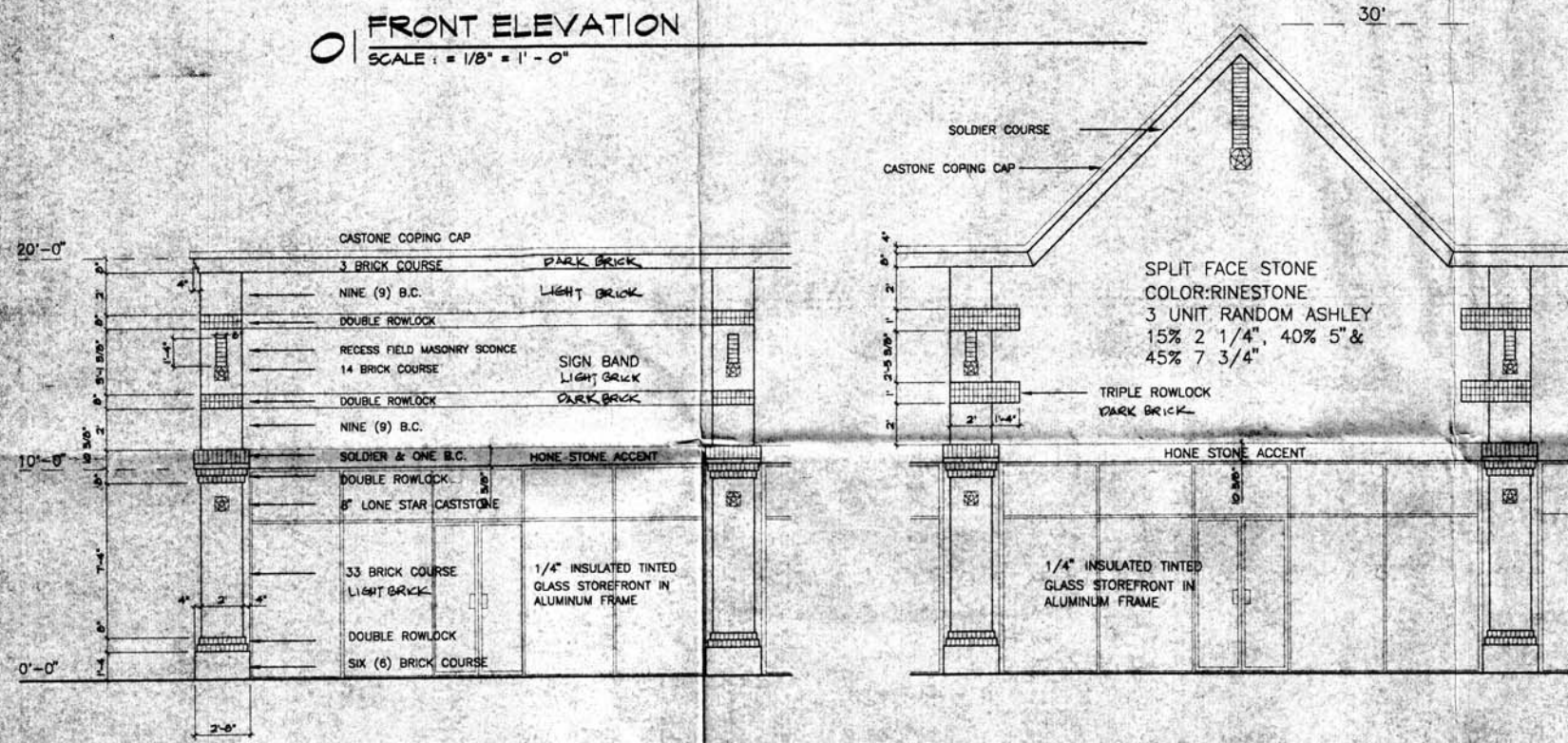
A\_NEW\_13065\_SF\_N\_RICHLAND\_HILLS\_RETAIL\_CENTER  
QUION\_CREGG\_III\_INVESTMENTS  
EX\_1938 (DAVIS BLVD) & PRECINCT LINE RD



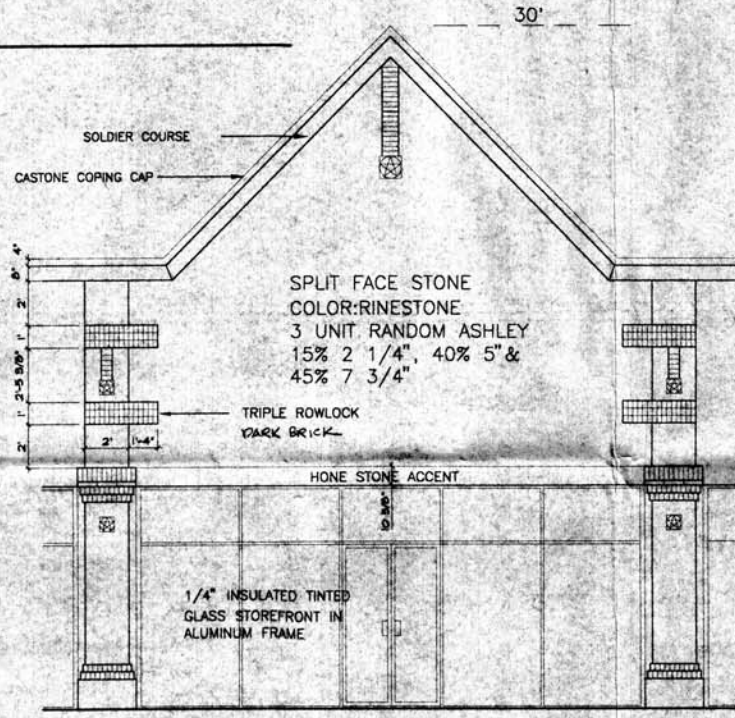
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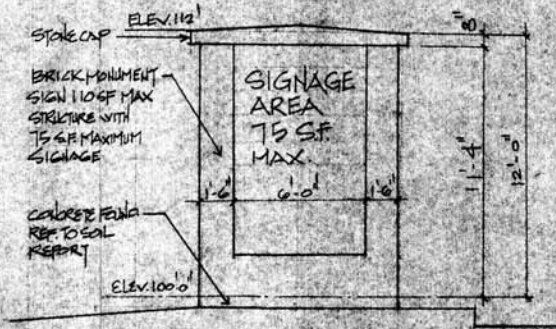
**1 FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"



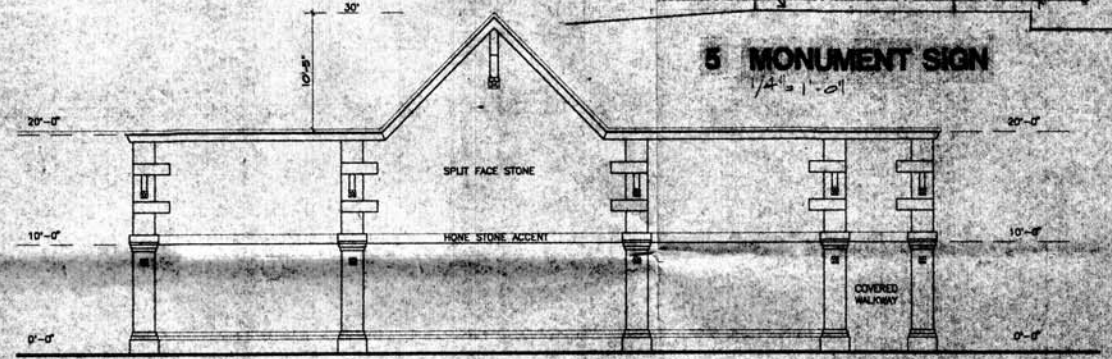
**3 TYPICAL BRICK PATTERN ELEVATION**  
SCALE: 1/4" = 1'-0"



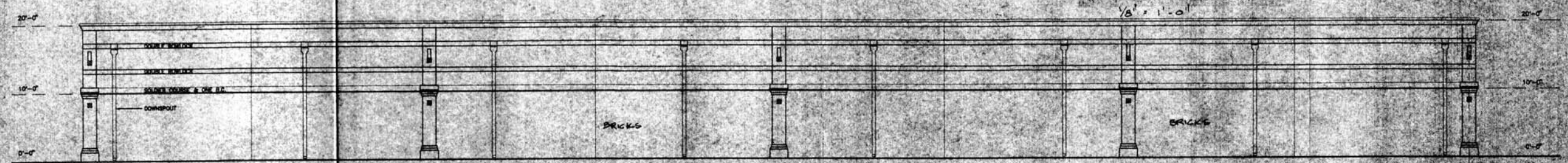
**2 WEST ELEVATION**  
1/8" = 1'-0"



**5 MONUMENT SIGN**  
1/4" = 1'-0"



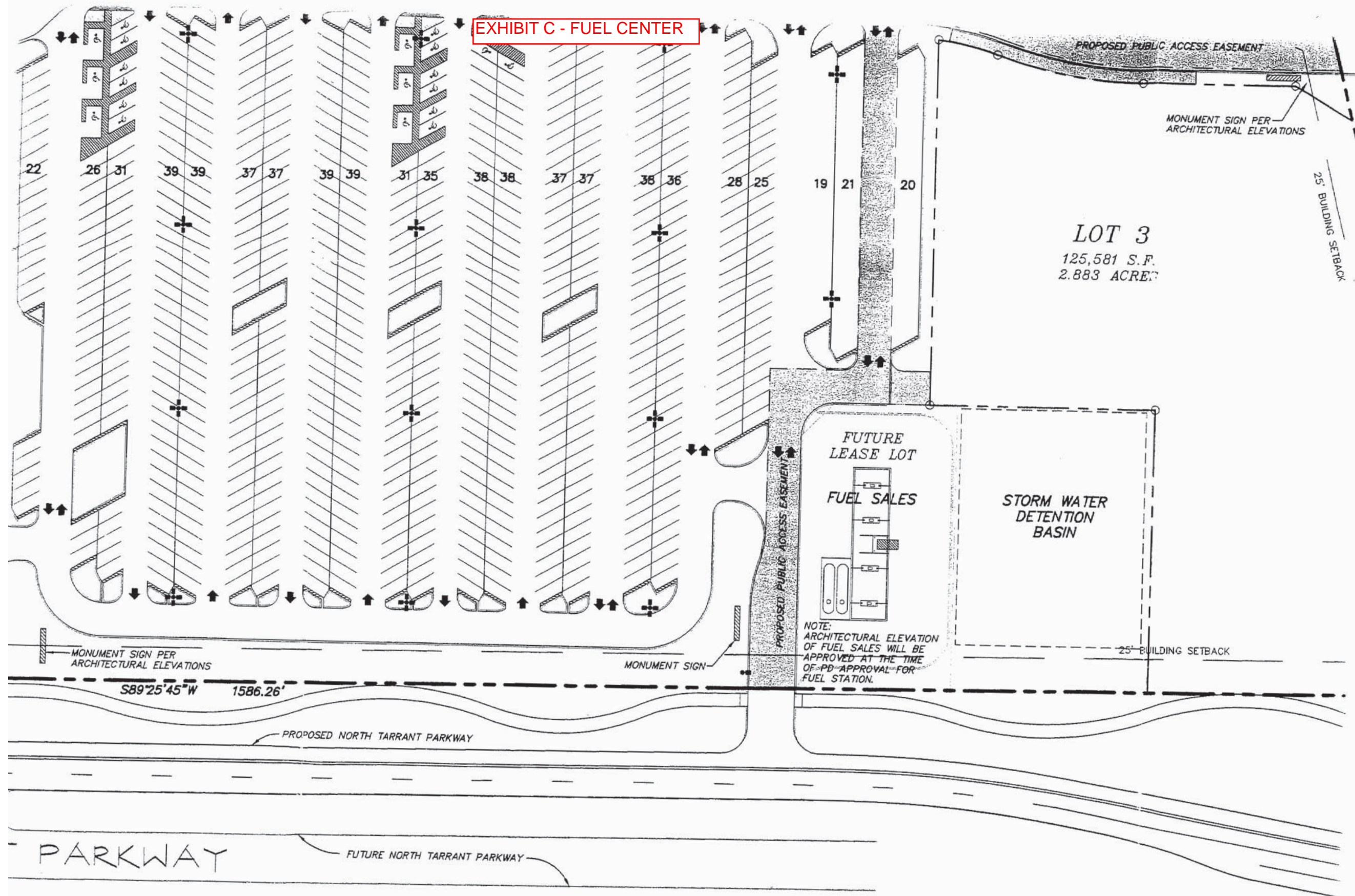
**6 EAST ELEVATION**  
1/8" = 1'-0"



**4 REAR ELEVATION**  
SCALE: 1/8" = 1'-0"



EXHIBIT C - FUEL CENTER



PD-C1 CONDITIONS

PD-C1 CONDITIONS (CONTINUED)

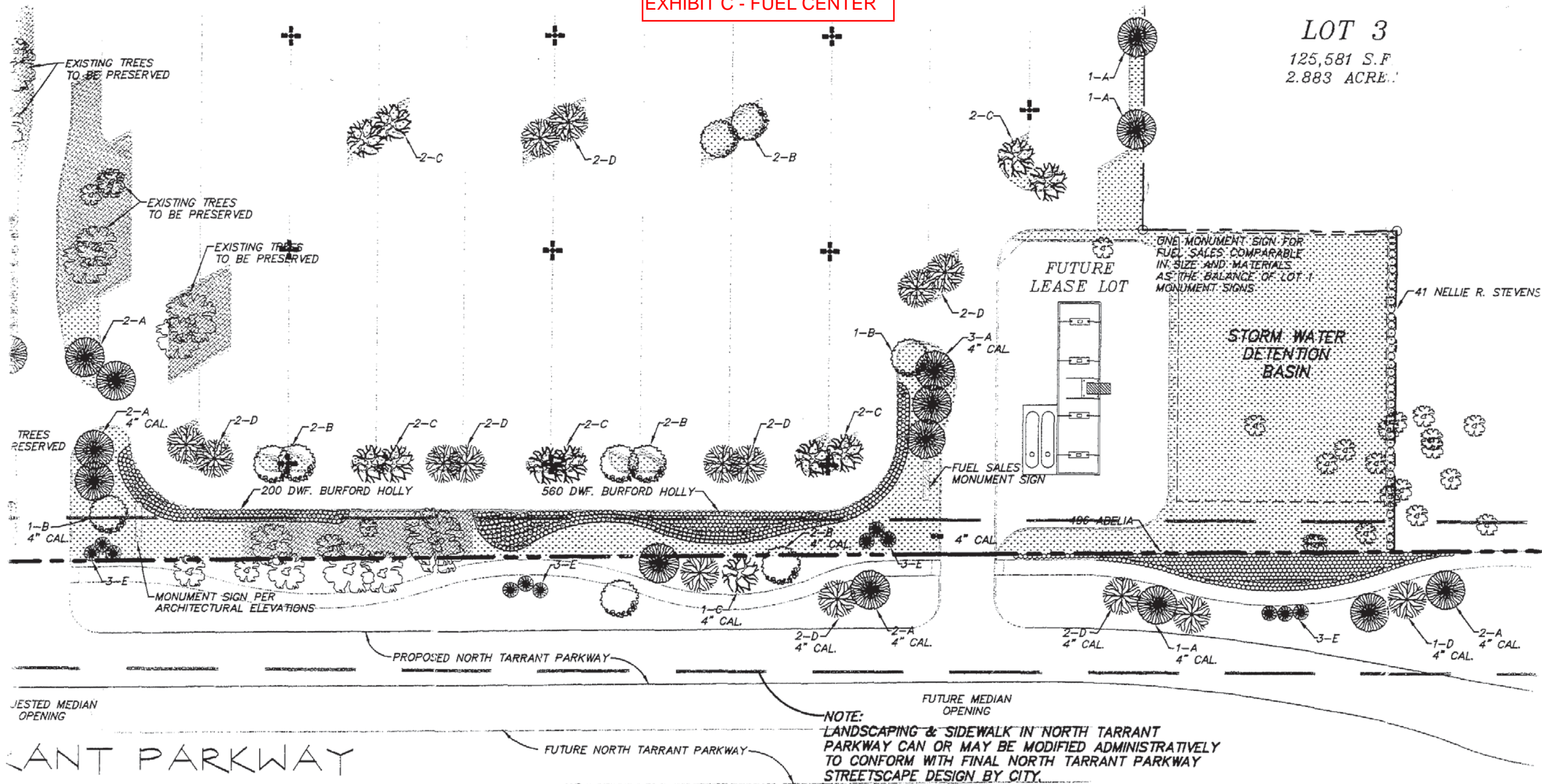
FILE A STREET ADDRESS FOR LOT 3 IS AS DEPICTED ON THE PD SITE



EXHIBIT C - FUEL CENTER

LOT 3

125,581 S.F.  
2.883 ACRES



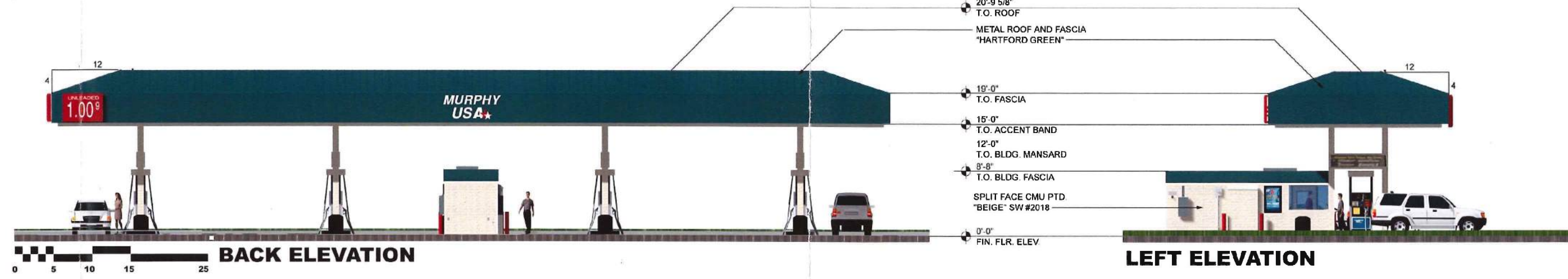
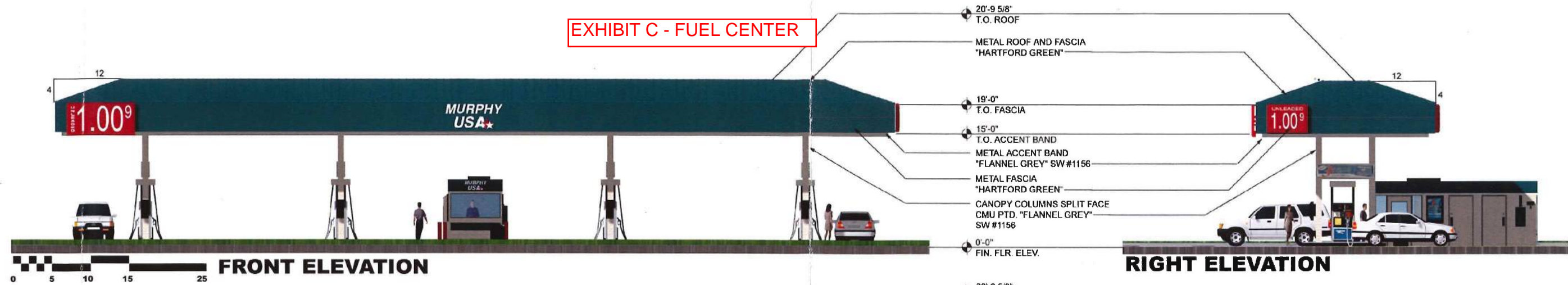
LANDSCAPE LEGEND

- LIVE OAK
- CEDAR ELM
- BUR OAK
- TEXAS RED OAK

PLANT MATERIAL LIST		FULLY ROOT NEWLY STEPPED PLANTS NOT ACCEPTABLE			THIS CHART IS FOR REFERENCE ONLY. CONTRACTOR SHOULD VERIFY QUANTITIES AS SHOWN ON PLAN.			EQUIVALENT LANDSCAPE AREA FOR TREES
KEY	COMMON/SCIENTIFIC NAME	QUANTITY	CALIPER	HEIGHT	SPREAD	ROOT	REMARKS	
A.	LIVE OAK <i>Quercus virginiana</i>	36	4"	11'-13'	4'-6'	B & B/CONT.	SINGLE TRUNK	28,800 S.F.
		44	3"					26,400 S.F.
B.	CEDAR ELM <i>Ulmus crassifolia</i>	28	4"	11'-13'	4'-6'	B & B/CONT.	SINGLE TRUNK	22,400 S.F.
		16	3"					9,600 S.F.
C.	BUR OAK	3	4"	12'-14'	4'-6'	B & B/CONT.	SINGLE TRUNK	2,400 S.F.
		17	3"					10,200 S.F.
D.	TEXAS RED OAK	13	3"/4"	12'-14'	4'-6'	B & B/CONT.	SINGLE TRUNK	10,400 S.F.



EXHIBIT C - FUEL CENTER



QTY.	SIGNAGE	SIZE	AREA	TOTAL AREA
1	LG. GAS PRICE SIGN	51 3/4" x 100 7/8"	39.50 S.F.	39.50 S.F.
2	SM. GAS PRICE SIGN	45" x 63 5/8"	19.88 S.F.	39.76 S.F.
2	LG. "MURPHY USA SIGN"	LETTERS ONLY	10.25 S.F.	20.50 S.F.
1	SM "MURPHY USA SIGN"	13" x 36 5"	3.30 S.F.	3.30 S.F.
TOTAL SIGNAGE				103.06 S.F.



LARGE MURPHY USA SIGN  
LOCATION: FRONT AND BACK OF CANOPY



LARGE GAS PRICE SIGN  
LOCATION: FRONT OF CANOPY



SMALL GAS PRICE SIGN  
LOCATION: ENDS OF CANOPY



SMALL MURPHY USA SIGN  
LOCATION: FRONT OF CASH BOOTH



FOR APPROVAL

BOYD/HAL:

PHASE 1:

CA/PA:

North Richland Hills, TX  
 PZ 2000-38 R2  
 05/14/02



## EXHIBIT D - PRECINCT RETAIL



VICINITY MAP



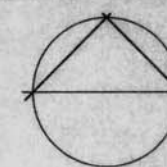
SITE AND LANDSCAPE DATA			
LANDSCAPE DATA	REQUIREMENT	REQUIRED	PROVIDED
TOTAL LOT AREA: 170,343 SQ. FT.	15% OF LOT AS LANDSCAPE AREA	25,551 SF	26,626 SF = 15%
R.O.W. ADJACENCY LENGTH: 441'	1 TREE AND 10 SHRUBS PER 50 LF	9 TREES / 90 SHRUBS	9 TREES / 109 SHRUBS
PARKING LOT TOTAL SF = 68,104 SQ FT	5% IN LANDSCAPE AREA	3,405 SF	3,755 SF
PARKING SPACES PROVIDED: 147	1 ISLAND WITH 3" TREE / 20 SPACES	8 ISLANDS	8 ISLANDS
SITE DATA			
PARKING REQUIRED	1 SPACE PER 250 SF OF BLDG	127 SPACES	148 SPACES
BUILDING AREA: 31,600 SF			
PERCENTAGE OF LOT COVERED WITH BUILDINGS: 18.5%			

**SPECIAL NOTE REGARDING LANDSCAPE SETBACK:**  
ENLARGED LANDSCAPE SETBACK OF VARYING WIDTH HAS BEEN CREATED TO OFFSET EFFECT OF SANITARY SEWER EASEMENT ALONG PRECINCT LINE ROAD. PER THE CITY OF NORTH RICHLAND HILLS PUBLIC WORKS DEPARTMENT, NO TREES OR SHRUBS ARE ALLOWED IN THE SANITARY SEWER EASEMENT. ALL PLANT MATERIAL PROPOSED BY THESE PLANS ARE TO BE PLANTED OUTSIDE OF THE SANITARY SEWER EASEMENT.

No.	DATE	REVISION
-----	------	----------

**K.B. ALEXANDER Co.**  
GENERAL CONSTRUCTION

4709 OLD DENTON ROAD  
FORT WORTH, TEXAS 76117  
(817) 788-9533



NORTH

PRECINCT  
VILLAGE

### SITE PLAN APPROVAL

## SITE PLAN

SCALE: 1"=30'-00"

PROJECT NO. \_\_\_\_\_

203-08

DATE  
14 APRIL 2003

DRAWN

D)	
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### A1.1

SCALE: 1"=30.00'

201	202
-----	-----

A

A

11

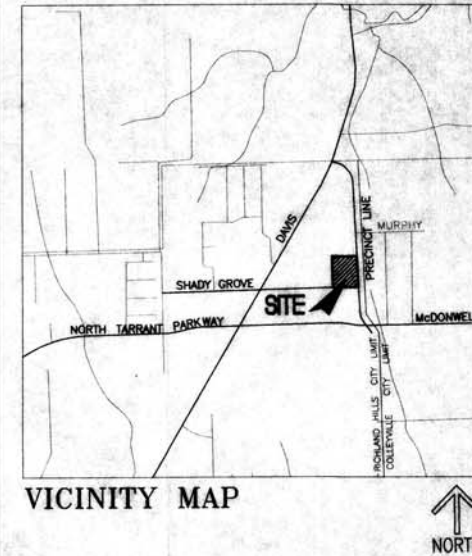
	DATE

APPROVE  
JUN - 9 2003  
Council

APPROVED  
MAY 15 2003  
P+R



## EXHIBIT D - PRECINCT RETAIL



PLANTING LEGEND				
ABBREV.	COMMON NAME	BOTANICAL NAME	SIZE	COMMENTS
<b>TREES</b>				
CE	CEDAR ELM	<i>Ulmus crassifolia</i>	3" CALIPER	B & B
BO	BUR OAK	<i>Quercus macrocarpa</i>	3" CALIPER	B & B
<b>SHRUBS AND GROUNDCOVERS</b>				
DBH	DWARF BURFORD HOLLY	<i>Ilex cornuta 'Burfordii'</i>	nana	5 Gal. 36" O.C.
AB	ABELIA	<i>Abelia grandiflora</i>		5 Gal. 36" O.C.
<b>TURF</b>				
CB	COMMON BERMUDA	<i>Cynodon dactylon</i>	--	--
<b>MISC.</b>				
ME	METAL EDGING	--	1/8 X 4"	--

SITE AND LANDSCAPE DATA			
LANDSCAPE DATA	REQUIREMENT	REQUIRED	PROVIDED
TOTAL LOT AREA: 170,343 SQ. FT.	15% OF LOT AS LANDSCAPE AREA	25,551 SF	26,626 SF = 15.6%
R.O.W. ADJACENCY LENGTH: 441'	1 TREE AND 10 SHRUBS PER 50 LF	9 TREES / 90 SHRUBS	9 TREES / 109 SHRUBS
PARKING LOT TOTAL SF = 68,104 SQ FT	5% IN LANDSCAPE AREA	3,405 SF	3,756 SF
PARKING SPACES PROVIDED: 147	1 ISLAND WITH 3" TREE / 20 SPACES	8 ISLANDS	8 ISLANDS
SITE DATA			
PARKING REQUIRED	1 SPACE PER 250 SF OF BLDG	127 SPACES	148 SPACES
BUILDING AREA: 31,600 SF			
PERCENTAGE OF LOT COVERED WITH BUILDINGS: 18.5%			

**SPECIAL NOTE REGARDING LANDSCAPE SETBACK:**  
ENLARGED LANDSCAPE SETBACK OF VARYING WIDTH HAS BEEN CREATED TO OFFSET EFFECT OF SANITARY SEWER EASEMENT ALONG PRECINCT LINE ROAD. PER THE CITY OF NORTH RICHLAND HILLS PUBLIC WORKS DEPARTMENT, NO TREES OR SHRUBS ARE ALLOWED IN THE SANITARY SEWER EASEMENT. ALL PLANT MATERIAL PROPOSED BY THESE PLANS ARE TO BE PLANTED OUTSIDE OF THE SANITARY SEWER EASEMENT.

**GSBS BATENHORST**  
ARCHITECTURE | LANDSCAPE ARCHITECTURE | INTERIOR DESIGN | PLANNING

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**DUWAINE K. JOINER, REGISTERED  
LANDSCAPE ARCHITECT, STATE  
OF TEXAS**

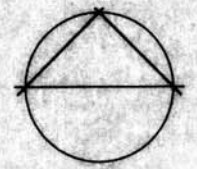
2071
REGISTRATION #: DATE OF ISSUE

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**K.B. ALEXANDER Co.**  
**GENERAL CONSTRUCTION**

4709 OLD DENTON ROAD  
FORT WORTH, TEXAS 76117  
(817) 788-9533



**NORTH**  
**PRECINCT**  
**VILLAGE**

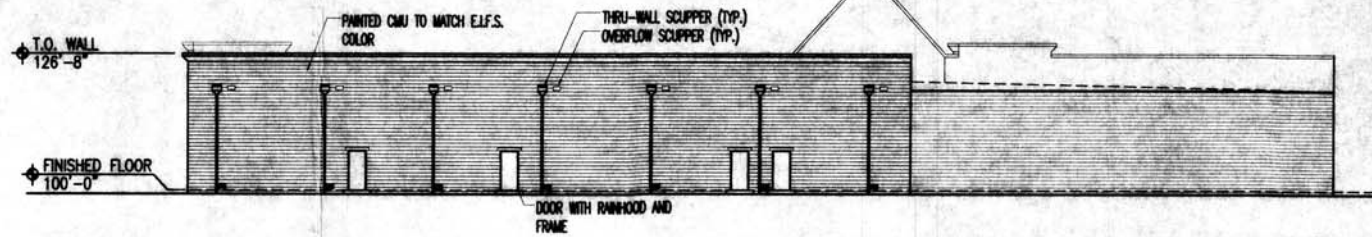
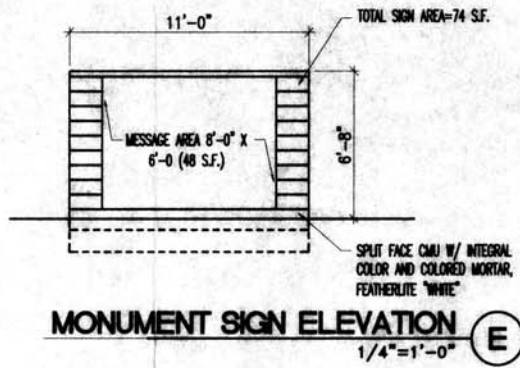
SITE PLAN APPROVAL  
LANDSCAPE PLAN

SCALE: 1"=30'-0"	
PROJECT NO. 203-08	L1.1
DATE 14 APRIL 2003	
DRAWN DJ	
CHECKED TB	
	BINDING ORDER

7291 GLENVIEW DRIVE  
FORT WORTH  
TEXAS 76180  
TEL 817.589.1722  
FAX 817.589.2916



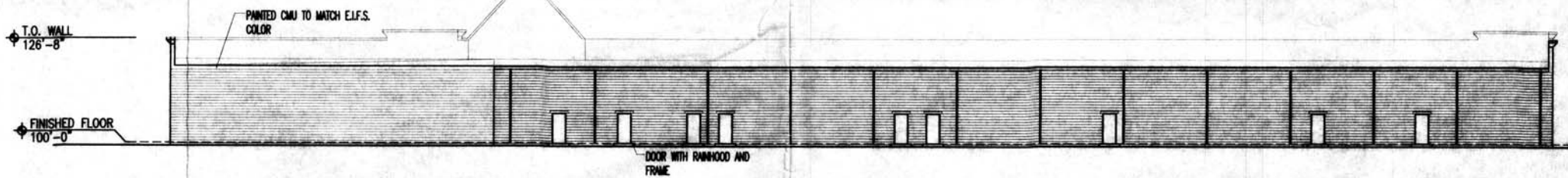
## EXHIBIT D - PRECINCT RETAIL



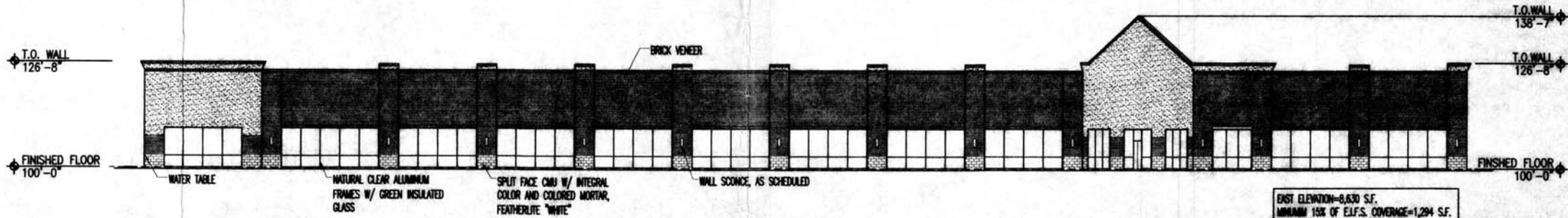
**NORTH ELEVATION**  $1"=20'-0"$  (D)



**SOUTH ELEVATION**  $1"=20'-0"$  (C)



**WEST ELEVATION**  $1"=20'-0"$  (B)



**EAST ELEVATION**  $1"=20'-0"$  (A)

**GSBS BATHENHORST**

ARCHITECTURE | LANDSCAPE ARCHITECTURE | INTERIOR DESIGN | PLANNING

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CONSTRUCTION.

**THOMAS E. BATES-HORST**

1200

REGISTRATION ☐ DATE OF ISSUE ☐

COMPARISON OF INSTRUMENTS OF SIMILAR AND DIFFERENT

[illegible]

**K.B. ALEXANDER Co.**  
**GENERAL CONSTRUCTION**

4709 OLD DENTON ROAD  
FORT WORTH, TEXAS 76117  
(817) 788-9533

PRECINCT  
VILLAGE

## SITE PLAN APPROVAL ELEVATIONS

SCALE: AS NOTED

PROJECT NO. 608-10

DATE \_\_\_\_\_

14 APRIL 2003

DRAWN  
AC

### A3.1



SITE PLAN INFORMATION  
PERCENTAGE OF LOT COVERED WITH BUILDINGS - 25.97%  
PARKING SYNOPSIS  
PARKING REQUIRED: 92 PARKING SPACES  
(4 PER 1,000 SQ. FT. GROSS AREA)  
INCLUDING 4 HANDICAPPED ACCESSIBLE SPACES  
PARKING PROVIDED: 92 PARKING SPACES INCLUDING  
4 HANDICAPPED ACCESSIBLE SPACES  
PERVIOUS COVER VS. IMPERVIOUS COVER SYNOPSIS  
TOTAL SITE AREA: 77,927 SQ. FT.  
PERVIOUS COVER AREA: 22,414.46 SQ. FT. - 28.76%  
IMPERVIOUS COVER AREA: 55,512.54 SQ. FT. - 71.24%

EXHIBIT E - WOODFOREST PLAZA



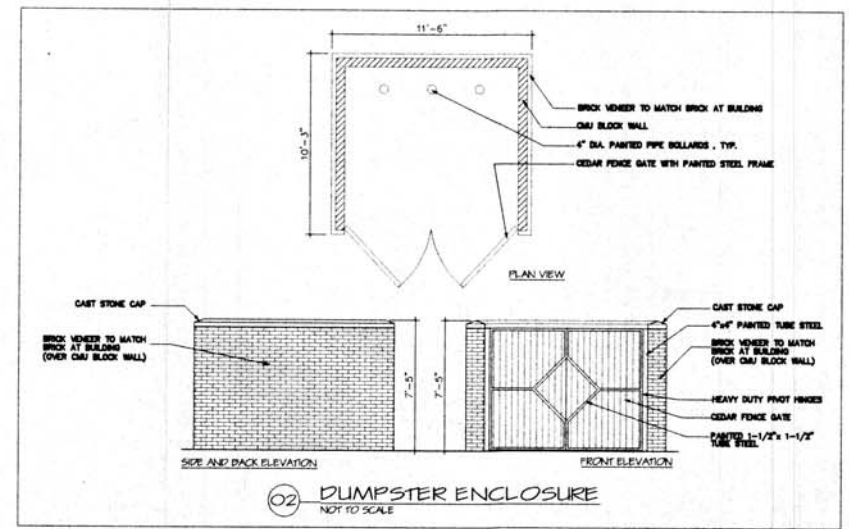
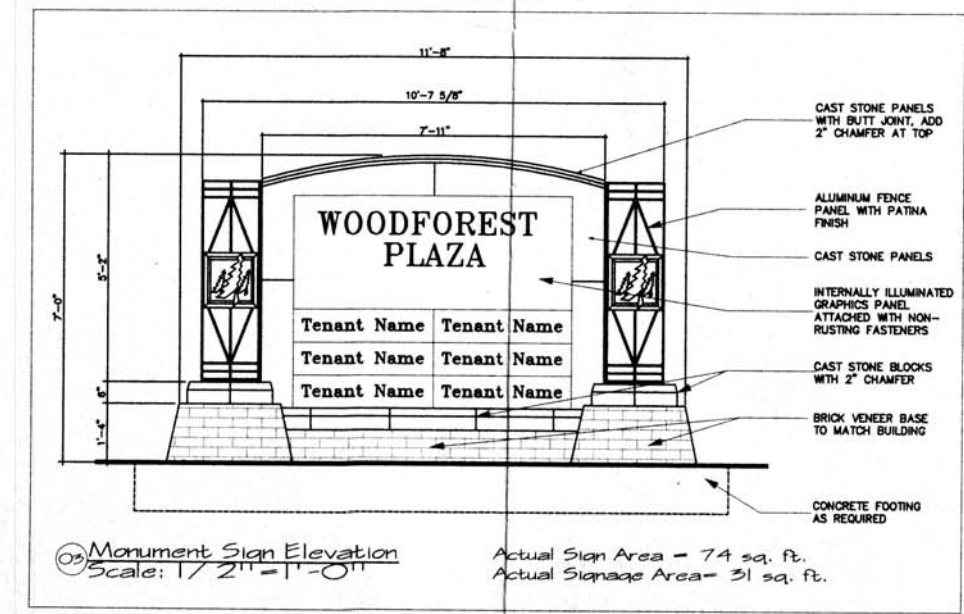
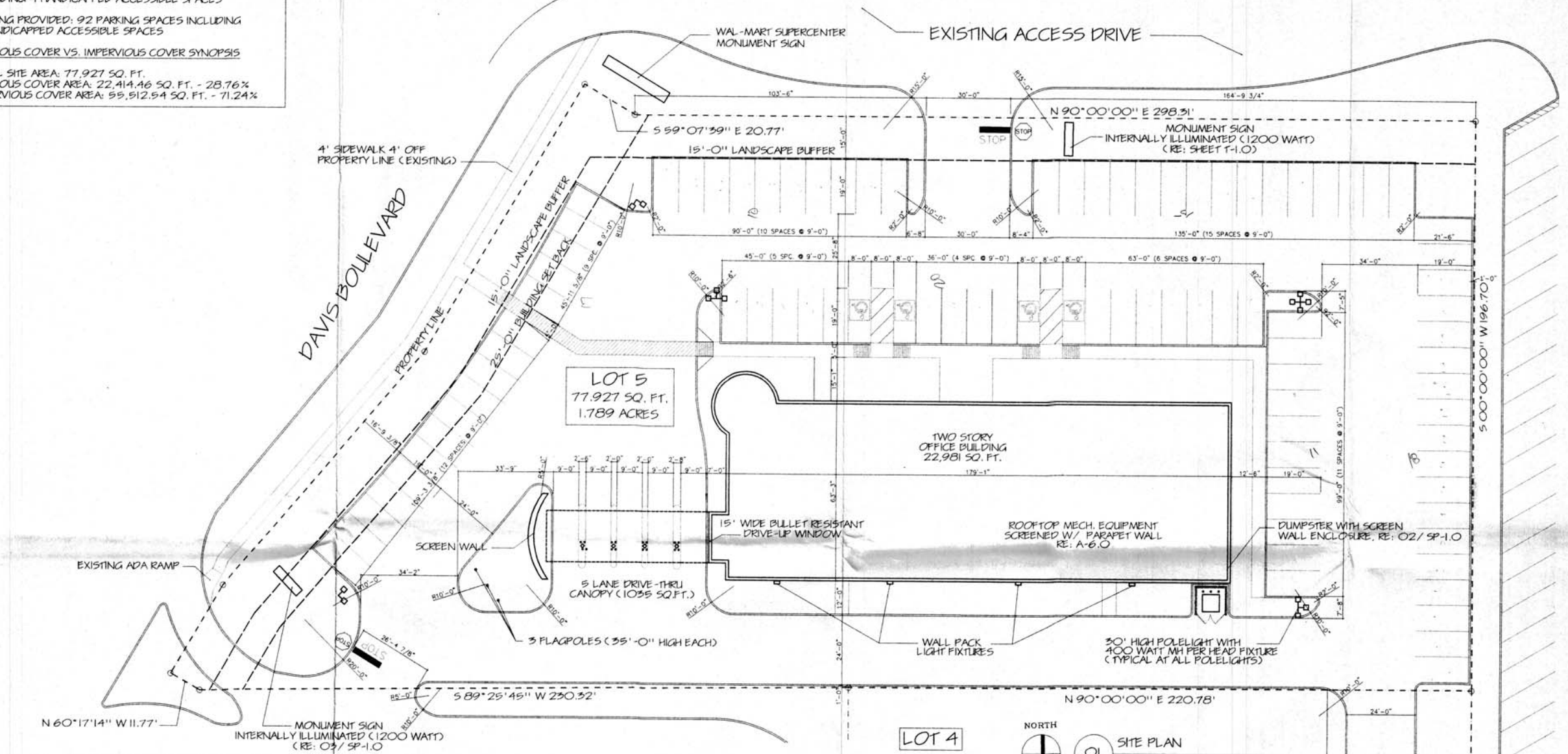
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WOODFOREST PLAZA  
NORTH RICHLAND HILLS, TEXAS

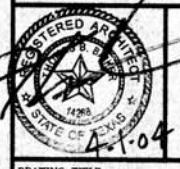
PROJECT NUMBER 8261



ISSUED FOR CLIENT APPROVAL	DATE
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ISSUED FOR CONSTRUCTION	
APPROVED BY CLIENT	

MARK	DESCRIPTION	DATE

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DRAWING TITLE	Site Plan
DRAWN BY	CD
CHECKED BY	TB
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Stipulation regarding landscape plan.



TOTAL SITE AREA: 77,927 SQ. FT.  
PERVIOUS COVER AREA: 22,414.46 SQ. FT. - 28.76%  
IMPERVIOUS COVER AREA: 55,512.54 SQ. FT. - 71.24%

NORTH



SITE PLAN  
SCALE: 1" = 20'-0"

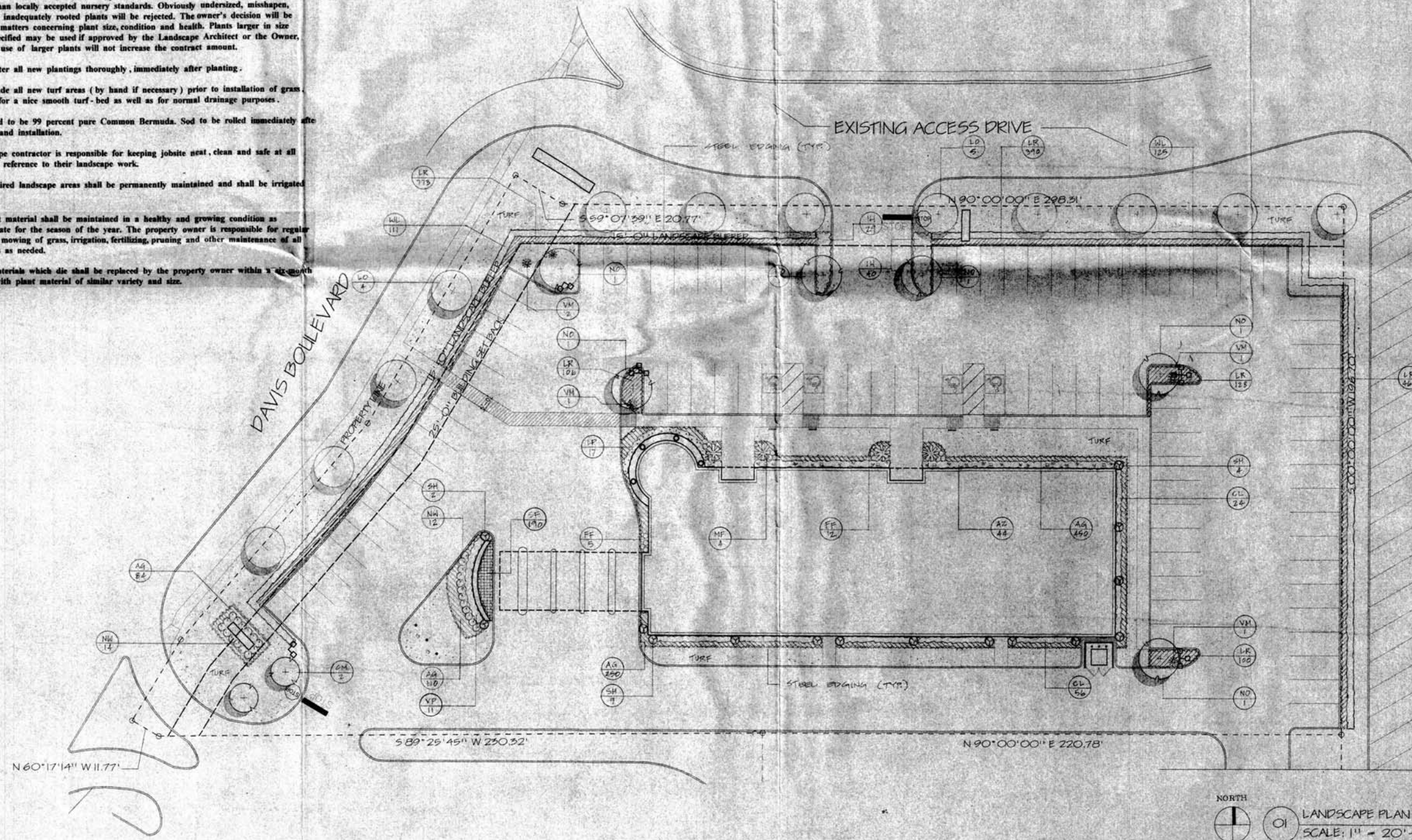
## Landscape Revision



- 1.) General Contractor to bring all areas to final grade using a gradable soil and/or sand mix and boxblade.
- 2.) Prepare all new planting beds by removing all rocks, concrete and construction debris and till in 3" of new acidic Mixed Soil and pre-emergant herbicide such as Pennant or Eptam at the recommended rates, then rake all bed areas smooth prior to planting. Install 1/8"x 4" green steel landscape edging only where new planting beds meet turf. When end of edging butts up against paving trim exposed corner at 45 degree angle for pedestrian safety.
- 3.) Grade all planting beds to edges of beds and away from buildings prior to planting for positive drainage away from foundations.
- 4.) Fertilize all new trees, shrubs and groundcovers with Osmocote (or equal) time-release fertilizer.
- 5.) Mulch all new planting beds and trees with a 2" (avg.) layer of shredded hardwood topdress mulch as from Letco.
- 6.) Double-Stake all specified trees (see plant list) with 2 (7' tall) painted metal T-Posts, multi-strand aluminum wire and clear poly-vinyl tubing.
- 7.) Root-Stimulate all new trees with Superthrive brand root-stimulator (or equal) as per manufacturers recommendations.
- 8.) Plant sizes shown are the minimum acceptable. Plants will be inspected and measured for conformance. Plants specified with container size only shall be of or better than locally accepted nursery standards. Obviously undersized, misshapen, weak or inadequately rooted plants will be rejected. The owner's decision will be final in matters concerning plant size, condition and health. Plants larger in size than specified may be used if approved by the Landscape Architect or the Owner, but the use of larger plants will not increase the contract amount.
- 9.) Handwater all new plantings thoroughly, immediately after planting.
- 10.) Fine grade all new turf areas (by hand if necessary) prior to installation of grass. This is for a nice smooth turf-bed as well as for normal drainage purposes.
- 11.) Solid sod to be 99 percent pure Common Bermuda. Sod to be rolled immediately after wetting and installation.
- 12.) Landscape contractor is responsible for keeping jobsite neat, clean and safe at all times in reference to their landscape work.
- 13.) All required landscape areas shall be permanently maintained and shall be irrigated.
- 14.) All plant material shall be maintained in a healthy and growing condition as appropriate for the season of the year. The property owner is responsible for regular weeding, mowing of grass, irrigation, fertilizing, pruning and other maintenance of all plantings as needed.
- 15.) Plant materials which die shall be replaced by the property owner within a six-month period with plant material of similar variety and size.

CITY OF NORTH RICHLAND HILLS			
LANDSCAPE ANALYSIS FORM			
A.	<u>Landscape Setback Trees</u> 570 lin. ft. / 50	=	12 Large Trees required
B.	<u>Parking Lot Trees</u> 81 new parking spaces / 20	=	4 Parking Lot Trees required
C.	<u>Total Tree Requirement</u>	=	16 Total Large Trees required
D.	<u>Landscape Setback Shrubs</u> 570 lin. ft. / 50 x 10	=	114 Setback Shrubs required

PLANT LIST				
Quant	Symbol	Plant Type	Size	Notes
894	AG	Aztec Grass	1 gal.	15" o.c., full
44	AZ	Azaleas, red formosa	5 gal.	3" o.c. 24" min. ht.
80	CL	Cleavers	5 gal.	2" 4" o.c. 24" min. ht.
2	CM	Crape Myrtle, watermelon red	30 gal.	multi-trunk, double-staked
17	FF	Fraxel Fern	1 gal.	16" o.c., full
69	HM	Clay Indian Hawthorn	5 gal.	2" 3" o.c. 14" min. ht.
17	LP	Loropetalum	5 gal.	2" 3" o.c. 17" min. ht.
12	LO	Lice Oak	65 gal. 3" cal.	single-trunk, double-staked
1967	LR	Liriodie, big blue	1 gal.	13" o.c., full
4	MF	Mediterranean Fan Palm	30 gal.	multi-trunk, 5 min. ht.
6	NO	Nuttall Oak	65 gal. 3" cal.	single-trunk, double-staked
26	NW	Nearly Wild Shrub Rose	5 gal.	awake, pink 12" min. ht.
190	SF	Seasonal Flowers	4" pots	9" o.c. full, healthy, blooming
15	SH	Savannah Holly	15 gal.	full to ground 5 min. ht.
5	VM	Variegated Miscanthus	5 gal.	wide-brided, varieg. full
11	VR	Variegated Ribesopsum	5 gal.	5" 24" min. ht.
238	WL	Washed Ligustrum	5 gal.	2" 6" o.c. 36" min. ht., full
		St. Augustine	Sq. Yd.	Solid sand, rolled
	EDG	Steel landscape edging	Liq. ht.	4" x 1/8", painted green



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NORTH RICHLAND HILLS, TX 76180

PROJECT NUMBER 8261

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REVISIONS

[illegible]

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CHECKED BY	TR	110
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— 100 —



GENERAL NOTES:

1. ALL E.J.F.S. MOLDINGS NO LOWER THAN 8'-0" AND SHALL HAVE TWO LAYERS OF REINFORCEMENT MESH.
2. ALL GLASS FIBER REINFORCED CONCRETE TO BE MIN 1 / 2" THICK

MATERIAL COLOR SPECIFICATION  
BRICK: BORAL OXFORD RED KING SIZE  
EIFS: STUCCO: DRYVIT AMARELLO WHITE  
CAST STONE: BUFF  
ROOFING: 24 GA. STANDING SEAM METAL  
ROOF COLOR: CHAMPAGNE  
CONCRETE PANEL COLOR: AMARILLO WHITE  
COLUMN COLOR: AMARILLO WHITE

VARIANCE REQUEST FROM 38'-0" TO 44'-0"  
TO TOP OF CUPOLA (TYPICAL ALL DIMENSIONS)



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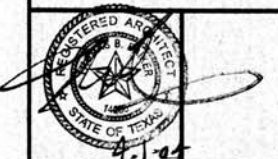
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WOODFOREST PLAZA  
NORTH RICHLAND HILLS, TEXAS

PROJECT NUMBER 8761

[illegible]

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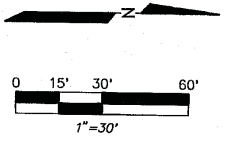


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CHECKED BY RLW	A-6.0
APPROVED BY SU	

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EXHIBIT F - WACHOVIA BANK



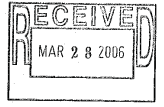
- NOTES:**
1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
  2. TOPOGRAPHIC BOUNDARY SURVEY, INCLUDING PROPERTY LINE, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS PROVIDED BY:  
  
DAVID PETREE  
11015 MIDWAY ROAD  
DALLAS, TEXAS 75229  
(214) 358-4500  
  
LAWRENCE A. CATES & ASSOCIATES, LLP WILL NOT BE HELD RESPONSIBLE FOR ITS ACCURACY OR FOR DESIGN ERRORS OR OMISSIONS RESULTING FROM POTENTIAL SURVEY INACCURACIES.
  3. ALL RADII ARE 2' UNLESS OTHERWISE NOTED.
  4. REFER TO ARCHITECTURAL PLANS FOR SIDEWALK BETWEEN BLDG. AND CURB & EXACT BUILDING DIMENSIONS
  5. CONTRACTOR WILL BE RESPONSIBLE FOR NOTIFYING DESIGN ENGINEER OF ANY BENCHMARK DISCREPANCIES.
  6. BUILDING IS PARALLEL AND PERPENDICULAR TO THE NORTH & WEST PROPERTY LINES.
  7. WACHOVIA USES A TRASH SERVICE IN LIEU OF A DUMPSTER.
  8. ALL ONSITE SITE LIGHTING SHALL MEET CITY OF NORTH RICHLAND HILLS ORDINANCES.
  9. ALL ONSITE SIGNAGE SHALL MEET CITY OF NORTH RICHLAND HILLS ORDINANCES.

SITE TABULATIONS			
EXISTING ZONING: "PD-C1" COMMERCIAL			
PROPOSED USE: BANK			
LOT AREA: LOT 1 (BANK)	2.8828 Ac. 125,576 S.F.		
BUILDING AREAS:	4,030 S.F.		
BUILDING HEIGHTS:	22' SINGLE STORY		
PARKING:	REQ.	AVAIL.	
LOT 1 (BANK)	14	42	
(4,030 S.F. @ 1:300)			
HANDICAP PARKING:	2	2	
LOT COVERAGE:			
LOT 1 (FAR)	0.032:1	3.2%	

**SITE PLAN**  
APPROVED ON 4-10-06  
EXPIRES ON 10-10-07

- LEGEND**
- F.H. FIRE HYDRANT
  - X SET CHISELED "X" SET
  - X.F. CHISELED "X" FOUND
  - F.R. IRON ROD FOUND (SIZE AS NOTED)
  - S.R. IRON ROD SET (SIZE AS NOTED)
  - O.U. OVERHEAD UTILITY POLE W/ GUY
  - U.E. UNDERGROUND ELECTRIC OR TELEPHONE
  - L.P. LIGHT POLE
  - S.M. SANITARY SEWER MANHOLE
  - S.S. SAN. SWR. CLEAN OUT
  - G.V. GAS VALVE
  - W.V. WATER VALVE
  - T. TREE
  - ▨ SAWCUT & REMOVE EX. PMVT
  - △ ACCESSIBLE SPACE
  - ⊙ VAN ACCESSIBLE PARKING SPACE
  - ▬ FIRE LANE

NORTH  
RICHLAND  
HILLS  
PZ 2000-38 R5



~ CURVE TABLE ~				
NO.	RADIUS	DELTA	ARC	CH. BEARING
C1	260.00'	10°18'32"	46.78'	S 76°18'16" E
C2	340.00'	18°38'03"	110.38'	S 80°41'59" E



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY  
BRYAN M. BURGER, P.E. 90880  
ON 3/31/06



SITE PLAN					
WACHOVIA BANK					
N.W.C. N. TARRANT PARKWAY AND PRECINCT LINE ROAD					
THE CITY OF NORTH RICHLAND HILLS, TEXAS					
LAWRENCE A. CATES & ASSOC., LLP			CONSULTING ENGINEERS		
14800 QUORUM DR., SUITE 200			DALLAS, TEXAS		
(972) 385-2272					
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE
BMB	CAC	01/06	1"= 30'	D.P.	25086 SITE
					NO.
					C-4

BENCH MARK NO. 1  
BRASS MONUMENT FOUND IN CONCRETE CURB LOCATED AT THE SEC OF NORTH TARRANT PARKWAY AND PRECINCT LINE ROAD.  
ELEVATION = 662.24'

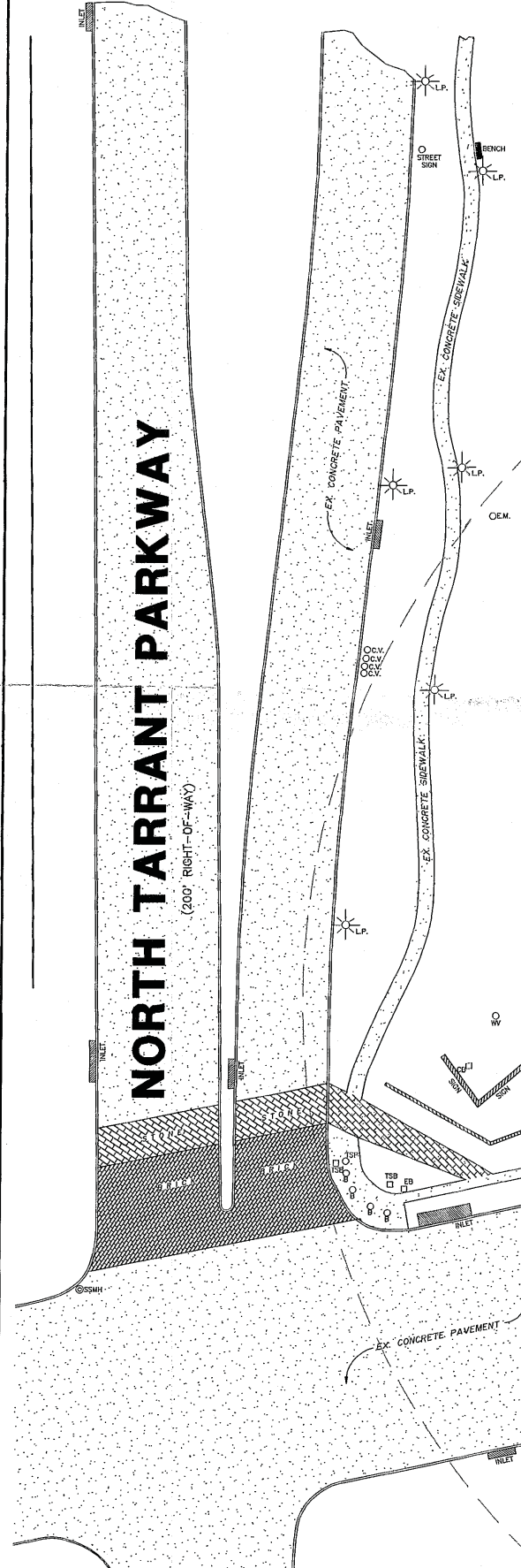
BENCH MARK NO. 2  
SQUARE CUT FOUND ON INLET ALONG THE EAST RIGHT OF WAY LINE OF PRECINCT LINE ROAD THAT IS APPROXIMATELY 120 NORTH OF THE CENTERLINE OF NORTH TARRANT PARKWAY.  
ELEVATION = 663.27'

**SURVEYOR/ENGINEER:**  
LAWRENCE A. CATES & ASSOCIATES, LLP  
14800 QUORUM DR., SUITE 200  
DALLAS, TEXAS 75254  
CONTACT: BRYAN M. BURGER, P.E.  
(972) 385-2272  
FAX: (972) 980-1627

**APPLICANT:**  
WACHOVIA BANK, NATIONAL ASSOCIATION  
5080 SPECTRUM DR., SUITE 400  
ADDISON, TEXAS 75001  
CONTACT: KEN CLAUSEN  
(972) 419-3140

NORTH TARRANT PARKWAY  
(200' RIGHT-OF-WAY)

PRECINCT LINE ROAD  
(F. M. 3029)  
(VARIABLE WIDTH RIGHT-OF-WAY)





# EXHIBIT F - WACHOVIA BANK

## LANDSCAPE TABULATIONS

**SITE LANDSCAPE**  
Requirements: At least 15% of the total lot area shall be landscaped (Total Lot Area: 125,576 s.f.)

Required	Provided
25,032 s.f. (15%)	41,306 s.f. (developed area)
	41,259 s.f. (undeveloped area)

**STREET FRONTAGE**  
Requirements: There shall be a 15'-0" wide landscape setback adjacent to all public street right-of-ways. The landscape setback shall contain a minimum of one (1) tree, 3" cal., per 50 lf. of street frontage and ten (10) shrubs, 24" hl., per 50 lf. of street frontage. Shrubs planted for parking lot screening may be used to satisfy this requirement.

**PRECINCT LINE. (227.16 LF; TO LIMIT OF WORK)**

Required	Provided
(5) trees, 3" cal.	(5) trees, 3" cal.
(50) shrubs, 24" hl.	(5) ornamental trees, 8' hl.
	(114) shrubs, 24" hl.

refer to parking lot screen

**PARKING LOT SCREEN**

Requirements: There shall be a minimum 30" hl. screen adjacent to the parking lot. Shrubs shall be 24" off the back of curb, a minimum 24" hl. and 36" o.c.

Required	Provided
24" hl. screen	(114) shrubs, 24" hl.

**PARKING LOT LANDSCAPE**

Requirements: One (1) tree, 3" cal., per 20 parking spaces. No parking space shall be more than 100' from a large tree. All landscaped islands shall contain at least one (1) tree, 3" cal., and groundcover. All parking lots shall be at least 5% landscape. (Parking Lot Area: 42 spaces; 17,566 s.f.)

Required	Provided
(3) trees, 3" cal.	(5) trees, 3" cal.
880 s.f. (5%)	2,236 s.f. (12.7%)

## GENERAL LAWN NOTES

1. Fine grade areas to achieve final contours indicated on civil plans.
2. Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
3. All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
4. Contractor shall provide (2") two inches of imported topsoil on all areas to receive lawn. ADD ALTERNATE.
5. Imported topsoil shall be natural, friable soil from the region, known as bottom land soil, free from lumps, clay, toxic substances, roots, debris, vegetation, stones, containing no salt and black to brown in color.
6. All lawn areas to be fine graded, irrigation trenches completely settled, and finish grade approved by the Owner's Construction Manager or Architect prior to installation.
7. All rocks 3/4" diameter and larger, dirt clods, sticks, concrete spalls, etc. shall be removed prior to placing topsoil and any lawn installation.

## SOLID SOD NOTES

1. Fine grade areas to achieve final contours indicated. Leave areas to receive topsoil 3" below final desired grade in planting areas and 1" below final grade in turf areas.
2. Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
3. All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
4. Contractor to coordinate with on-site Construction Manager for availability of existing topsoil.
5. Plant sod by hand to cover indicated area completely. Insure edges of sod are touching. Top dress joints by hand with topsoil to fill voids.
6. Roll grass areas to achieve a smooth, even surface, free from unnatural undulations.
7. Water sod thoroughly as sod operation progresses.
8. Contractor shall maintain all lawn areas until final acceptance. This shall include, but not limited to: mowing, watering, weeding, cultivating, cleaning and replacing dead or bare areas to keep plants in a vigorous, healthy condition.
9. Contractor shall guarantee establishment of an acceptable turf area and shall provide replacement from local supply if necessary.
10. If installation occurs between September 1 and March 1, all sod areas to be over-seeded with Winter Ryegrass, at a rate of (4) pounds per one thousand (1000) square feet.

## LANDSCAPE NOTES

1. Contractor shall verify all existing and proposed site elements and notify Architect of any discrepancies. Survey data of existing conditions was supplied by others.
2. Contractor shall locate all existing underground utilities and notify Architect of any conflicts. Contractor shall exercise caution when working in the vicinity of underground utilities.
3. Contractor is responsible for obtaining all required landscape and irrigation permits.
4. Contractor to provide a minimum 2% slope away from all structures.
5. All planting beds and lawn areas to be separated by steel edging. No steel to be installed adjacent to sidewalks or curbs.
6. All landscape areas to be 100% irrigated with an underground automatic irrigation system and shall include rain and freeze sensors.
7. All lawn areas to be Solid Sod Bermudagrass, unless otherwise noted on the drawings.

## MAINTENANCE NOTES

1. The Owner, tenant and their agent, if any, shall be jointly and severally responsible for the maintenance of all landscape.
2. All landscape shall be maintained in a neat and orderly manner at all times. This shall include mowing, edging, pruning, fertilizing, watering, weeding and other such activities common to landscape maintenance.
3. All landscape areas shall be kept free of trash, litter, weeds and other such material or plants not part of this plan.
4. All plant material shall be maintained in a healthy and growing condition as is appropriate for the season of the year.
5. All plant material which dies shall be replaced with plant material of equal or better value.
6. Contractor shall provide separate bid proposal for one year's maintenance to begin after final acceptance.

## PLANT LIST

TREES	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
	Lagerstroemia indica 'Red'	Crape Myrtle 'Red'	6	7' hl.	B&B, 3-5 cane, no cross cuning, barked
	Quercus shumardii	Red Oak 'Shumard'	9	3" cal.	container grown, 13' hl. 5'-6" spread min.
	Quercus virginiana	Live Oak	7	3" cal.	container grown, 13' hl. 5'-6" spread min.
	Taxodium distichum	Bald Cypress	9	3" cal.	container grown, 13' hl. 5'-6" spread min.

NOTE: ALL TREES TO HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES

SHRUBS/GROUND COVER	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
	Berberis sp. 'Crimson Pygmy'	Barberry 'Crimson Pygmy'	24	5 gal.	container, full 20" spread, 24" o.c.
	Ilex cornuta 'Carissa'	Carissa Holly	19	5 gal.	container, full 20" spread, 24" o.c.
	Leucophyllum sp. 'Green Cloud'	Dwarf Burford Holly	77	24" hl.	container, full 20" spread, 24" o.c.
	Liriodendron chinensis 'Blue Vase'	Liriodendron 'Blue Vase'	21	7 gal.	container, full 24" spread min.
	Loropetalum chinensis 'Rubrum'	Loropetalum 'Rubrum'	230	4" pots	container, full top of cont. 12" o.c.
	Juniperus chinensis 'Blue Vase'	Blue Vase Juniper	56	5 gal.	container, full 20" spread, 24" o.c.
	Raphiolepis indica 'Clara'	Indian Hawthorne 'Clara'	3	10 gal.	container, full to base
	Trachelospermum asiaticum	Asian Jasmine	25	5 gal.	container, full 20" spread, 24" o.c.
	Cynodon dactylon	Common Bermudagrass	315	4" pots	solid sod, refer to notes
		Seasonal Color	345	4" pots	container, full plant, 12" o.c.

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated.

## PLANT LEGEND

SYMBOL	PLANT TYPE
AJ	Asian Jasmine
BAR	Barberry 'Crimson Pygmy'
BC	Bald Cypress
BJV	Blue Vase Juniper
CAR	Carissa Holly
CM	Crape Myrtle 'Red'
DBH	Dwarf Burford Holly
DTS	Dwarf Texas Sage
IH	Indian Hawthorne 'Clara'
LIR	Liriodendron 'Blue Vase'
LOR	Loropetalum 'Rubrum'
LO	Live Oak
RO	Red Oak 'Shumard'
SC	Seasonal Color

**SURVEYOR/ENGINEER:**  
LAWRENCE A. CATES & ASSOCIATES, LLP  
14800 QUORUM DR., SUITE 200  
DALLAS, TEXAS 75254  
CONTACT: BRYAN M. BURGER, P.E.  
(972) 385-2272  
FAX: (972) 980-1627

**OWNER:**  
WACHOVIA BANK, NATIONAL ASSOCIATION  
5080 SPECTRUM DR., SUITE 400  
ADDISON, TEXAS 75001  
CONTACT: KEN CLAUSEN  
(972) 419-3140



**smr**  
landscape architects, inc.  
1708 N. Griffin Street  
Dallas, Texas 75202  
Tel: 214.871.0553  
Fax: 214.871.0545  
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## LANDSCAPE PLAN

WACHOVIA BANK

N.W.C. N. TARRANT PARKWAY AND PRECINCT LINE ROAD

THE CITY OF NORTH RICHLAND HILLS, TEXAS

LAWRENCE A. CATES & ASSOC., LLP CONSULTING ENGINEERS DALLAS, TEXAS

14800 QUORUM DR., SUITE 200 (972) 385-2272

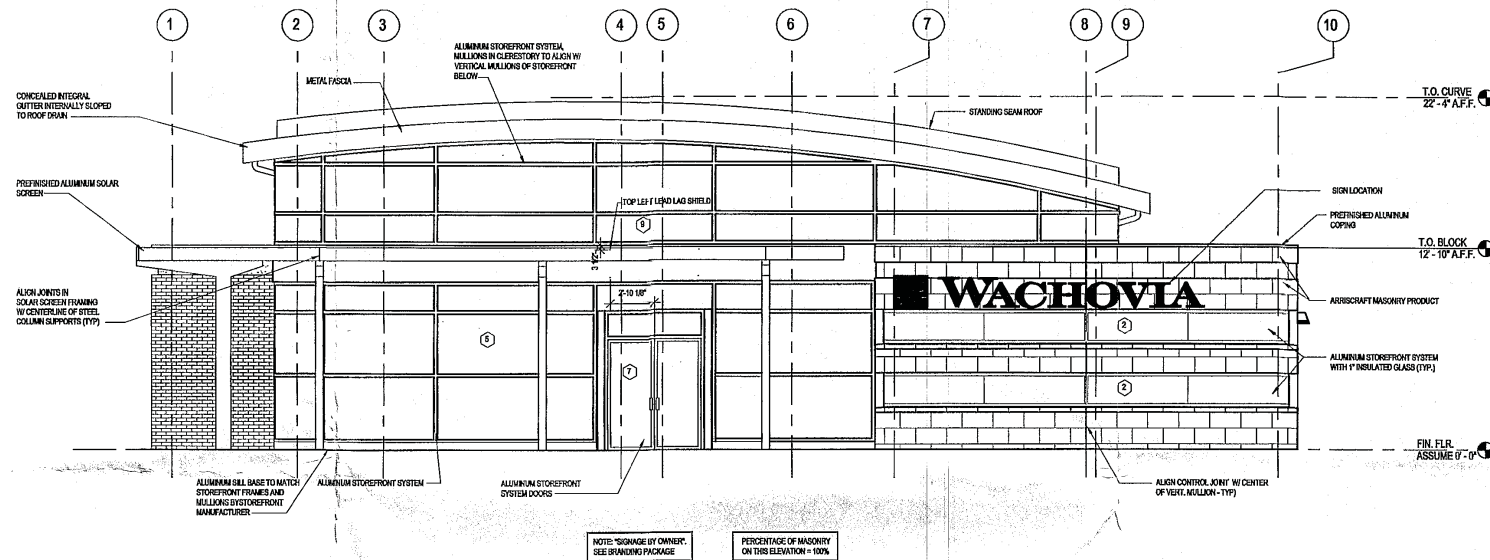
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
BDA	BDA	1/30/06	1" = 30'	D.P.	25086 SITE	L.1

SITE TABULATIONS			
EXISTING ZONING: "PD-C1" COMMERCIAL			
PROPOSED USE: BANK			
LOT AREA: LOT 1 (BANK)	2,882 Ac.	125,576 S.F.	
BUILDING AREAS:			
LOT 1 (BANK)	4,030 S.F.		
BUILDING HEIGHTS:			
LOT 1 (BANK)	22' SINGLE STORY		
PARKINGS:			
LOT 1 (BANK)	REQ. 14	AVAIL. 42	
HANDICAP PARKING:			
LOT 1	2	2	
LOT COVERAGE:			
LOT 1 (FAR)	0.032:1	3.2%	

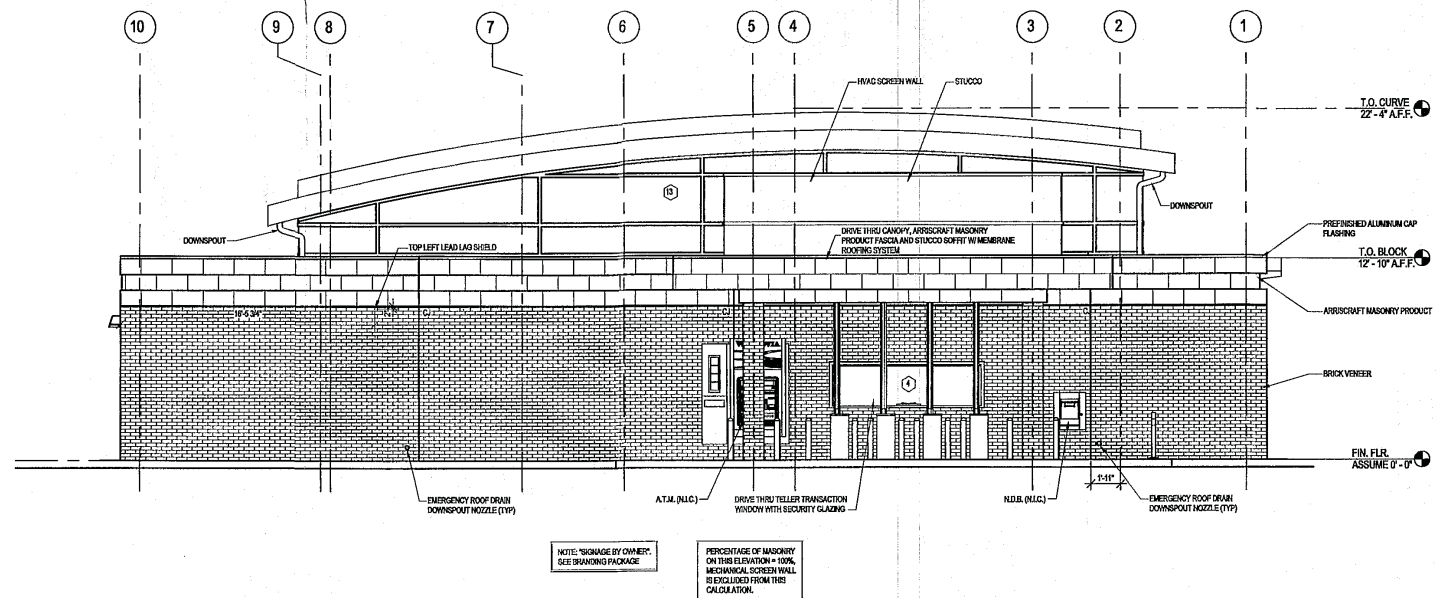
## ~ CURVE TABLE ~

NO.	RADIUS	DELTA	ARC	CH. BEARING	CHORD
C1	260.00'	10°18'32"	46.78'	S 76°18'16" E	46.72'
C2	340.00'	18°36'03"	110.38'	S 80°41'59" E	109.90'

## EXHIBIT F - WACHOVIA BANK



2 WEST ELEVATION  
A2.0 SCALE: 3/16" = 1'-0"



1 EAST ELEVATION  
A2.0 SCALE: 3/16" = 1'-0"

**LITTLE**  
DIVERSIFIED ARCHITECTURAL CONSULTING

5815 Westpark Drive Charlotte, NC 28217  
T: 704.525.6350 F: 704.561.8700

www.littleonline.com

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## WACHOVIA

PROJECT NAME  
WACHOVIA  
TARRANT Pkwy. &  
PRECINCT LINE Rd.,  
NORTH RICHLAND  
HILLS,  
TEXAS

**PROJECT TEAM**  
**PRINCIPAL IN CHARGE**  
**N. Everhart, AIA, CDT, LEED**

**PROJECT MANAGER**  
**Kathryn E. S. Rabuse, AIA**

RAWN BY  
N

[illegible]

**SHEET TITLE**

## EXTERIOR ELEVATIONS

PROJECT NO.

141-1658-00

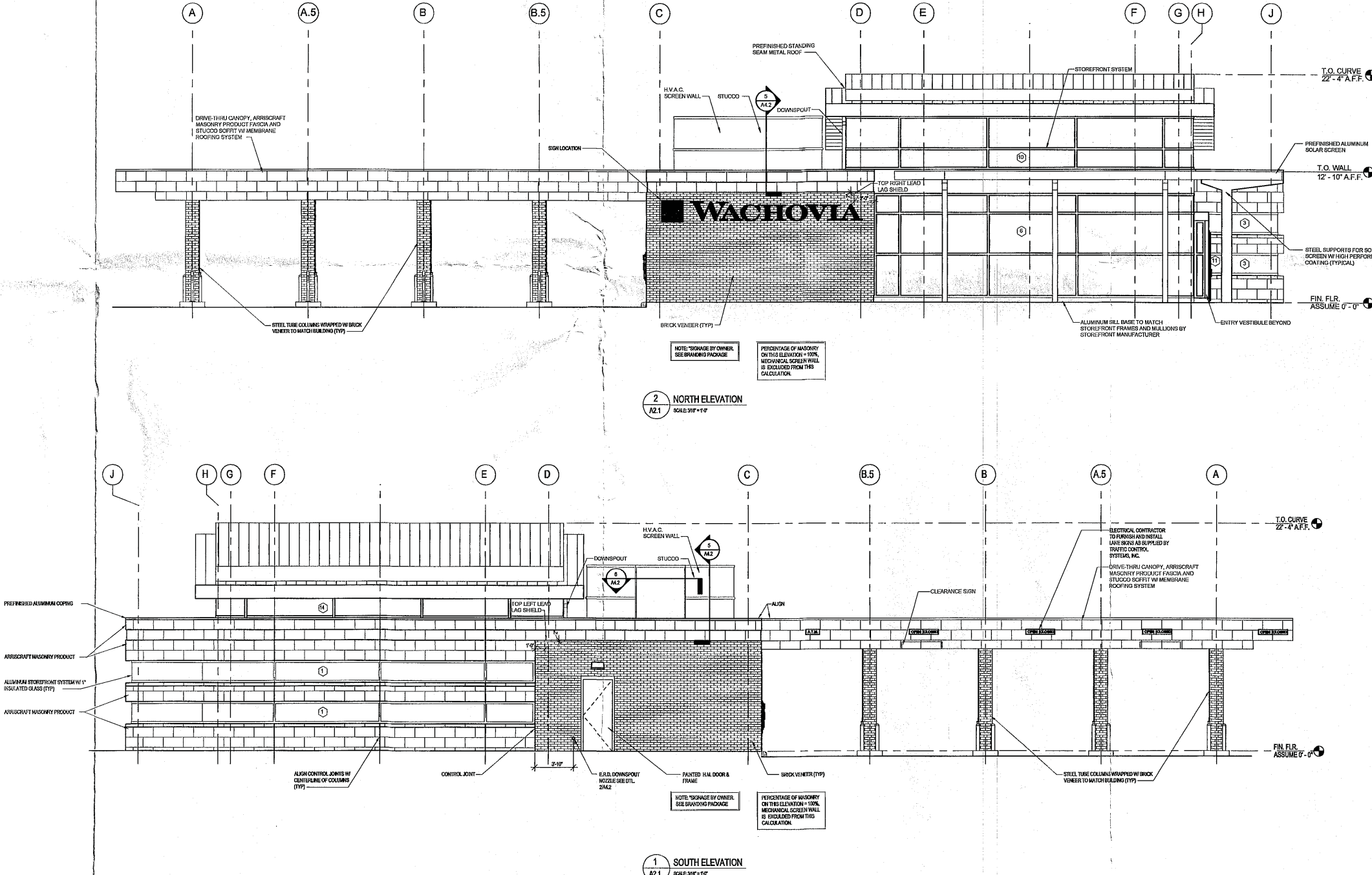
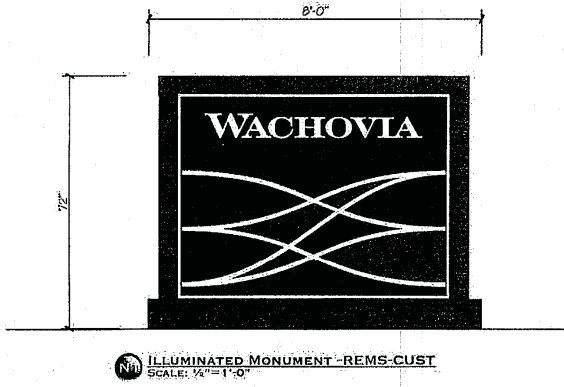
**SUE DATE**

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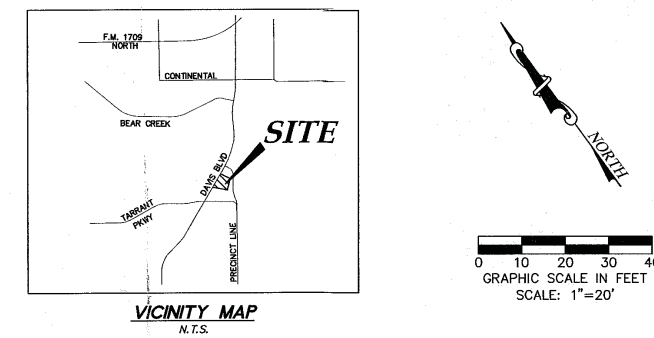
A2.0



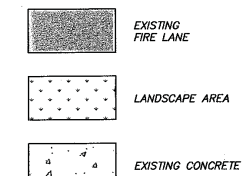
## EXHIBIT F - WACHOVIA BANK



# EXHIBIT G - JACK IN THE BOX



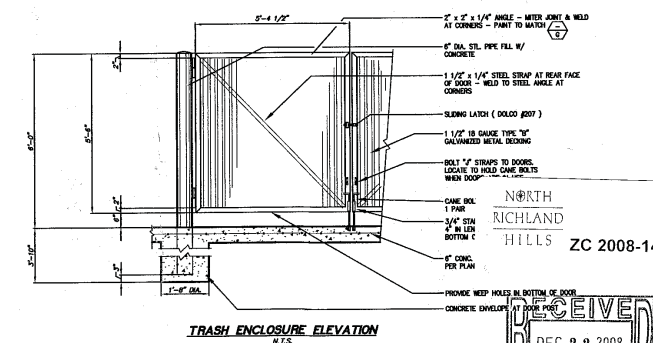
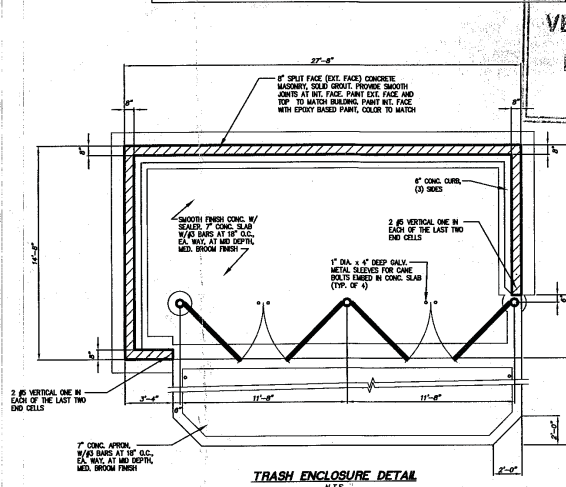
## LEGEND & ABBREVIATIONS



## SITE INFORMATION

BUILDING AREA	2,420 SF
OUTDOOR SEATING AREA	375 SF
LOT AREA	39,839 SF, 0.915 ACRES
LOT COVERAGE	5.95%
IMPERVIOUS AREA	10,907 SF
ZONING	PD-36
CURRENT USE	VACANT
PROPOSED USE	RESTAURANT W/ DRIVE THRU
REQUIRED PARKING	28 SPACES (1/100 BUILDING SF + 1/100 OUTDOOR SEATING SF)
PROPOSED PARKING	28 SPACES

NOTE: EXISTING TREES SHALL REMAIN. NO GRADING ACTIVITIES SHALL TAKE PLACE NEAR THEM.



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SAN DIEGO, CA 92123  
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These drawings attached are intended to assist the architect in preparing site-specific construction documents provided that such use does not conflict with rules governing architects in the state where the work is to be performed. They will need to be modified to comply with all applicable codes and site-specific conditions.

## DATES

RELEASE: OCT 12, 2007

P.M. UPDATES: OCT 6, 2008

SUBMITTAL DATE:

1: \_\_\_\_\_

2: \_\_\_\_\_

3: \_\_\_\_\_

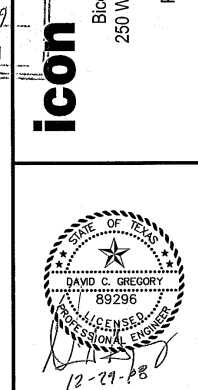
BID: \_\_\_\_\_

CONSTRUCTION: \_\_\_\_\_

## REVISIONS

△	_____
△	_____
△	_____
△	_____
△	_____
△	_____

icon Consulting Engineers, Inc.  
Civil Engineers - Designers - Planners  
Bicentennial Financial Center  
250 W. Southlake Blvd., Suite 117  
Southlake, TX 76092  
Phone: (817) 552-6210  
Fax: (817) 552-3126



## SITE INFORMATION

MK TYPE: MARK 9A SM1

JIB #: J4788

ADDRESS:  
8416 DAVIS BOULEVARD  
NORTH RICHLAND HILLS, TX

DRAWN BY: DSM

PROJECT #: 5027-15

SCALE: 1"=20'

SITE PLAN  
Lot 7R, Block 1  
SP-1

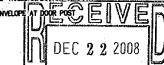
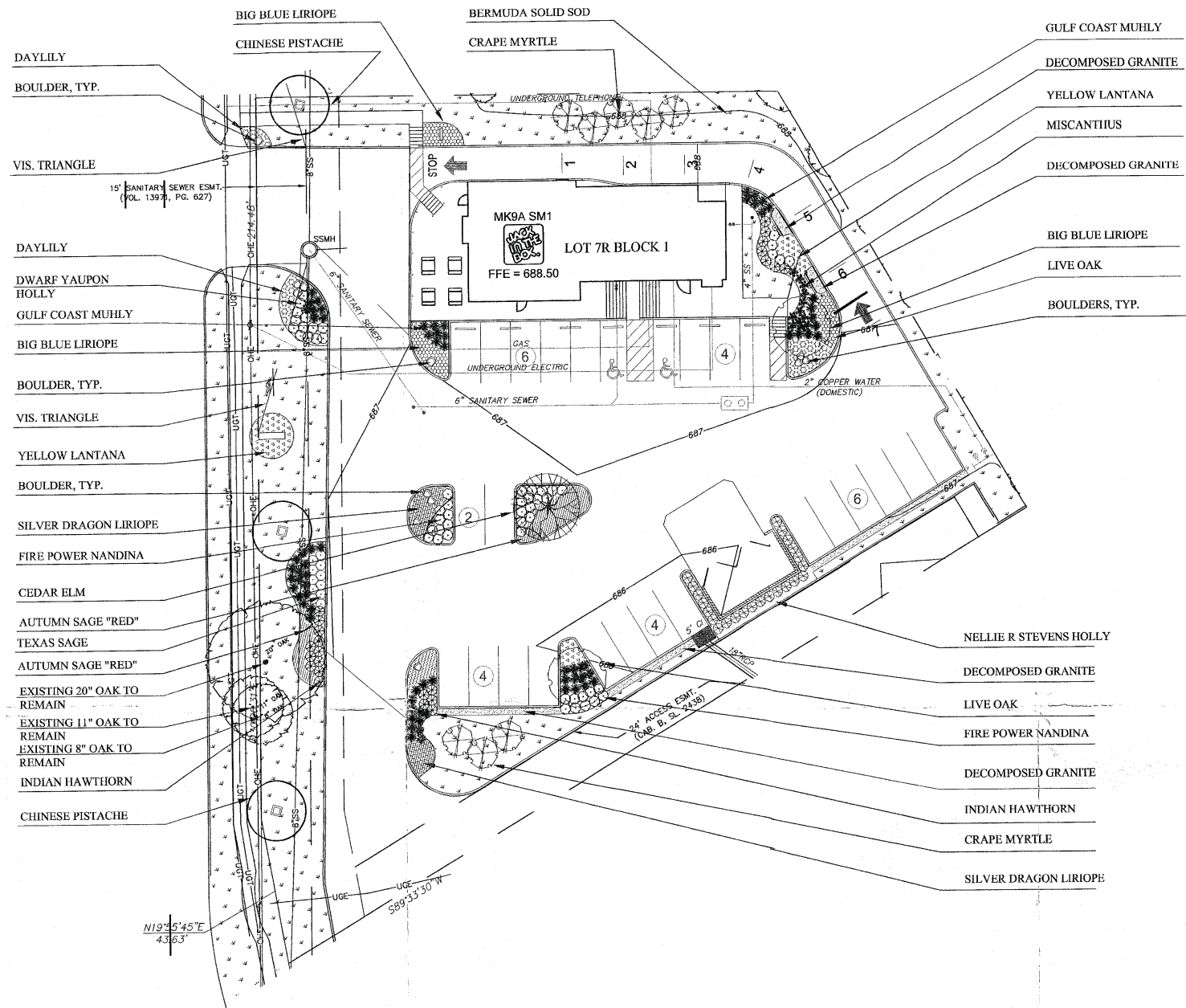
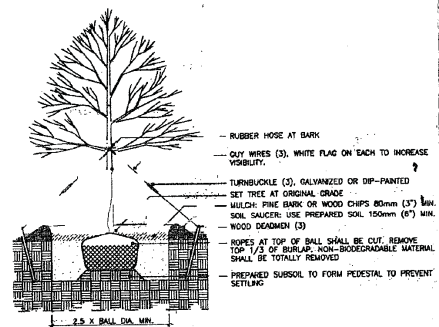




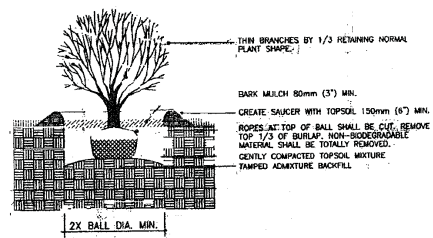
EXHIBIT G - JACK IN THE BOX



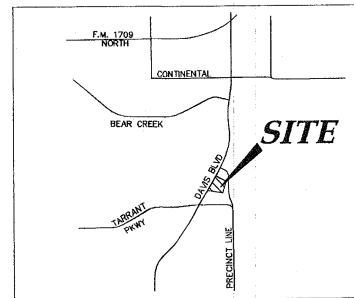
A PLANTING PLAN  
SCALE: 1"=20'-0"



B TREE PLANTING DETAIL  
SCALE: N.T.S.



C SHRUB PLANTING DETAIL  
SCALE: N.T.S.



VICINITY MAP  
N.T.S.

SITE DATA

REQUIRED LANDSCAPE AREA 15% SITE AREA 39,9837 S.F.  
REQUIRED: 5,975.55 S.F. PROVIDED: 11,032 S.F.  
5% OF PARKING REQUIRED TO BE LANDSCAPING.  
REQUIRED: 1,263 S.F. PROVIDED: 4,225 S.F.  
FRONTAGE TREES REQUIRED: 1 TREE PER 50 L.F. OF FRONTAGE.  
258.11 L.F. OF FRONTAGE  
REQUIRED: 5.16 OR 6 PROVIDED: 3 EXISTING TREES FOR THREE CREDITS  
AND THREE NEW TREES TOTAL PROVIDED 6  
FRONTAGE SHRUBS REQUIRED: 10 SHRUBS PER 50 L.F. OF FRONTAGE.  
258.11 L.F. OF FRONTAGE  
REQUIRED: 51.6 OR 52 PROVIDED: 52  
PARKING TREES REQUIRED  
1 TREE PER 20 PARKING SPOTS. 26 SPOTS = 1.3 OR 2 TREES REQUIRED  
PROVIDED: 3 TREES AND THREE CRAPEMYRTLES  
THERE ARE NOT ANY PARKING SPACES OUTSIDE OF 100 L.F. OF A TREE

NOTE:

A AUTOMATIC UNDERGROUND  
IRRIGATION SYSTEM WITH RAIN AND  
FREEZE SENSOR WILL BE PROVIDED.

(12) 1 TON BOULDERS TO BE INSTALLED 1/2  
1 INTO THE GROUND TO GIVE A NATURAL  
APPEARANCE.

SYM.	COMMON / BOTANICAL NAME	QTY.	SIZE	SPACING	CONDITION / REMARKS
⊗	'RED' CRAPE MYRTLE LAGERSTROEMIA INDICA	8	8" HT		CONTAINER GROWN OR B&B, FULL, MATCHING, MULTI TRUNKED, 3 CANES MINIMUM 'RED' IN COLOR
⊗	CEDAR ELM ULMUS CRASSIFOLIA	1	3" CAL.		CONTAINER GROWN, MATCHING, 12' HEIGHT SINGLE TRUNKED, FULL, 6' SPREAD
⊗	LIVE OAK QUERCUS VIRGINIANA	2	3" CAL.		15' HT. CONTAINER GROWN OR B&B, MATCHED SINGLE TRUNKED, FULL, HEALTHY
⊗	CHINESE PISTACHE PISTACIA CHINENSIS	2	3" CAL.		15' HT. CONTAINER GROWN OR B&B, MATCHED SINGLE TRUNKED, FULL, HEALTHY

SYM.	COMMON / BOTANICAL NAME	QTY.	SIZE	SPACING	CONDITION / REMARKS
⊗	DECOMPOSED GRANITE	275	S.F.		3' DEPTH WEED BARRIER TO BE INSTALLED UNDERNEATH GRANITE
⊗	TEXAS SAGE LEUCOPHYLLUM FRUTESCENS	11	#5	36" O.C.	PLANT TO BE WELL ROOTED, FULL, MATCHING 24" X 24"
⊗	HOLLY 'NELLIE R STEVENS' ILEX X 'NELLIE R STEVENS'	23	4' HT.		CONTAINER GROWN, WELL ROOTED, FULL TO THE GROUND, MATCHING, HEIGHT AND SPREAD 8' X 4'
⊗	DWARF YAUPOH HOLLY ILEX VOMITORIA 'NANA'	39	#5	36" O.C.	PLANT TO BE WELL ROOTED, FULL, MATCHING 24" X 24"
⊗	STEEL EDGE	1150	L.F.		3' DEPTH
⊗	BERMUDA SOLID SOD CYNODON DACTYLON	9500	S.F.		SEE MAN. SPEC.
⊗	BED PREP/ COMPOST	3,750	S.F.		TILL 3' DEPTH
⊗	MULCH	3,750	S.F.		3' DEPTH NOT SHREDDED, MUST BE CHUNKS 1/2 -1' IN DIA.
⊗	DAYLILY HEMEROCALLIS SPP.	170	#1	12" O.C.	PLANT TO BE WELL ROOTED, FULL, MATCHING ORANGE IN COLOR
⊗	FIRE POWER NANDINA NANDINA DOMESTICA 'FIRE POWER'	15	#5	36" O.C.	PLANT TO BE WELL ROOTED, FULL, MATCHING 24" X 24"
⊗	INDIAN HAWTHORN 'SPRING RAPTURE' RHAPHIOLEPSIS INDICA	23	#5	36" O.C.	PLANT TO BE WELL ROOTED, FULL, MATCHING 18" X 24"
⊗	GULF COAST MUHLY GRASS MUHLENBERGIA LINDHEIMERI	73	#5	36" O.C.	PLANT TO BE WELL ROOTED, FULL, MATCHING 24" X 24"
⊗	MISCANTHUS	11	#5	36" O.C.	PLANT TO BE WELL ROOTED, FULL, MATCHING 24" X 24"
⊗	BIG BLUE LIRIOPE LIRIOPE MUSCARI 'BIG BLUE'	215	#1	12" O.C.	FULL POTS, NOT ROOT BOUND
⊗	SILVER DRAGON LIRIOPE LIRIOPE MUSCARI 'SILVER DRAGON'	150	#1	12" O.C.	FULL POTS, NOT ROOT BOUND
⊗	AUTUMN SAGE 'RED' SALVIA GREGGII	250	#1	12" O.C.	PLANT TO BE WELL ROOTED, FULL, MATCHING
⊗	AUTUMN SAGE 'PURPLE' SALVIA GREGGII	55	#1	12" O.C.	PLANT TO BE WELL ROOTED, FULL, MATCHING
⊗	YELLOW LANTANA LANTANA SPP.	215	#1	12" O.C.	FULL POTS, AT LEAST 3 RUNNERS PER POT RUNNERS MUST BE 8" IN LENGTH



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DATES

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SUBMITTAL DATE: \_\_\_\_\_  
1: \_\_\_\_\_  
2: \_\_\_\_\_  
3: \_\_\_\_\_  
BID: \_\_\_\_\_  
CONSTRUCTION: \_\_\_\_\_

REVISIONS

△ 12-04-08 NRH Comm.  
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Civil Engineers - Designers - Planners

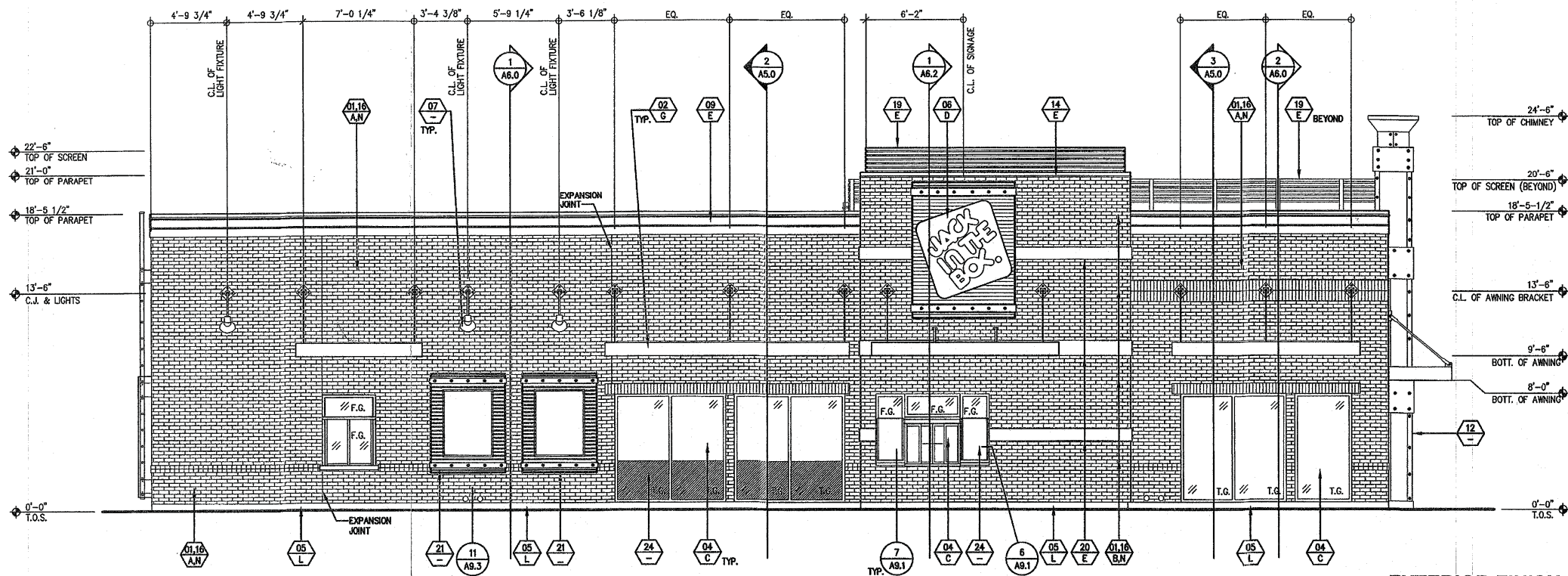
Bicentennial Financial Center  
250 W. Southlake Blvd., Suite 117  
Southlake, TX 76092  
Phone: (817) 552-6210  
Fax: (817) 552-3126

SITE INFORMATION

MK TYPE: MARK 9A SM1  
JOB #: J4788  
ADDRESS:  
DAVIS BOULEVARD  
NORTH RICHLAND HILLS, TX  
DRAWN BY: DSM  
PROJECT #: 5027-15  
SCALE: \_\_\_\_\_

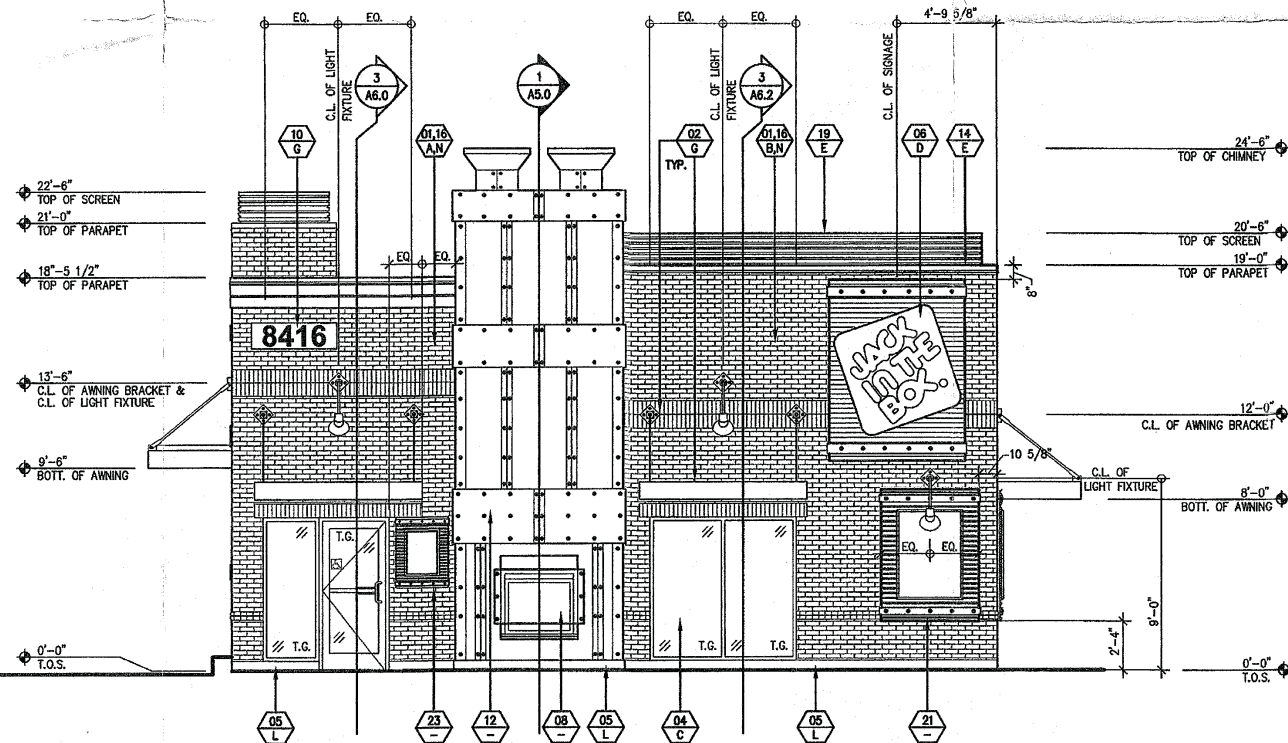


# EXHIBIT G - JACK IN THE BOX



NORTH ELEVATION

SCALE: 1/4" = 1'-0"



WEST ELEVATION

SCALE: 1/4" = 1'-0"

## EXTERIOR FINISH SCHEDULE

USE CHECKED BOX ONLY

**MATERIAL/FINISH:**  
☒ 01 MATERIAL/FINISH COLOR  
☐ ANTI-GRAFFITI COATING: DUMOND CPU647 GRAFFITI BARRIER COAT BY DUMOND CHEMICALS INC. (212) 869-6350  
☐ COLOR: CLEAR

- MATERIAL/FINISH:**
- 01 BRICK (SEE SPECIFICATIONS)
  - 02 METAL AWNING & SUPPORT (BY SIGN CONTRACTOR)
  - 03 24" x 36" S.S. FLASHING AT GREASE RECOVERY TAP IN
  - 04 ALUMINUM STOREFRONT SYSTEM (SEE SPECS FOR MORE INFORMATION)
    - ☒ 1" CLEAR INSULATED GLASS
    - ☐ 1/4" CLEAR GLASS
    - ☐ 1" CLEAR INSULATED GLASS W/ SOLARBAN 60 COATING
    - ☐ ANTI-GRAFFITI FILM
  - 05 SLAB
  - 06 INTERNALLY ILLUMINATED SIGNAGE W/ CORRUGATED PANEL (O.F.O.I., NOT A PART OF THIS PERMIT)
  - 07 WALL MOUNTED LIGHT FIXTURE, SEE DETAIL 16/A9.3 FOR ATTACHMENT.
  - 08 SELF CONTAINED, FIREPLACE (EQ12)
  - 09 PREFORMED GALVANIZED METAL FASCIA
  - 10 12" HIGH BUILDING ADDRESS LETTERS (AS REQUIRED PER LOCAL JURISDICTION)
  - 11 MAIN ELECTRICAL SERVICE
  - 12 PREMANUFACTURED CLADDING (EQ13)
  - 12A PREMANUFACTURED DECORATIVE CAP (EQ14)
  - 13 HOLLOW METAL DOORS AND FRAMES, MISCELLANEOUS TRIM
  - 14 GALVANIZED METAL COPING
  - 15 CO2 FILL BOX METAL COVER
  - 16 MORTAR
  - 17 NOT USED
  - 18 ROOF LADDER WITH SECURITY COVER
  - 19 PREFORMED GALVANIZED METAL SCREEN
  - 20 GALVANIZED METAL TRIM
  - 21 DISPLAY POSTER PANEL, SEE DETAIL 18/A9.3 (EQ31)
  - 22 NOT USED
  - 23 ENTRANCE DISPLAY POSTER PANEL, ALIGN TOP WITH TOP OF DOOR (EQ31A)
  - 24 DRIVE-THRU WINDOW TREATMENT AND DISPLAY PANEL (EQ32)

**COLOR:**

- A ACME "STEEL GRAY"
- B ACME "MEDIUM RED"
- C STANDARD STOREFRONT; #33 BLACK ANODIZED
- D WHITE TEXT ON RED BACKGROUND WITH CORRUGATED SURROUND TRIM
- E DARK GRAY - GALV. FINISH
- F COLOR/FINISH TO MATCH ADJACENT SURFACE
- G COLOR TO MATCH SHERWIN WILLIAMS: SW 6990 "CAVIAR"
- H MIL FINISH ALUMINUM
- J SHERWIN WILLIAMS A-100 EXTERIOR GLOSS LATEX: SW 7074 "SOFTWARE" (PAINT ALL SIDES OF DOOR)
- K SHERWIN WILLIAM EXTERIOR ACCENTS COLOR: SW 6990 "CAVIAR"
- L NATURAL CONCRETE, GRAY
- M STAINLESS STEEL
- N "LIGHT GRAY"

- NOTES:**
1. ALL SIGNAGE IS UNDER SEPARATE SUBMITTAL AND PERMIT (N.I.C.).
  2. NOT USED
  3. ALL BRICK ACCESSORIES, FLASHINGS ETC. SHALL BE PAINTED TO MATCH ADJACENT SURFACES. (U.N.O.).
  4. ALL EXTERIOR WALL OPENINGS FOR RECEPTACLES, HOSE BIBS, ETC. SHALL BE SEALED. SEE FLOOR PLAN, GENERAL NOTES, AND SPECIFICATIONS FOR ADDITIONAL NOTES.



9330 BALBOA AVENUE  
 SAN DIEGO, CA 92123  
 © 2007 Jack in the Box Inc.

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## DATES

RELEASE: 11/03/2008

P.M. UPDATES:

SUBMITTAL DATE:

1:

2:

3:

BID:

CONSTRUCTION:

## REVISIONS

- △
- △
- △
- △
- △
- △



## SITE INFORMATION

MK TYPE: MARK 9A SM1

JIB #: J4788

ADDRESS:

8416 DAVIS BOULEVARD

NORTH RICHLAND HILLS, TX

DRAWN BY: BLW

PROJECT #: 08-127

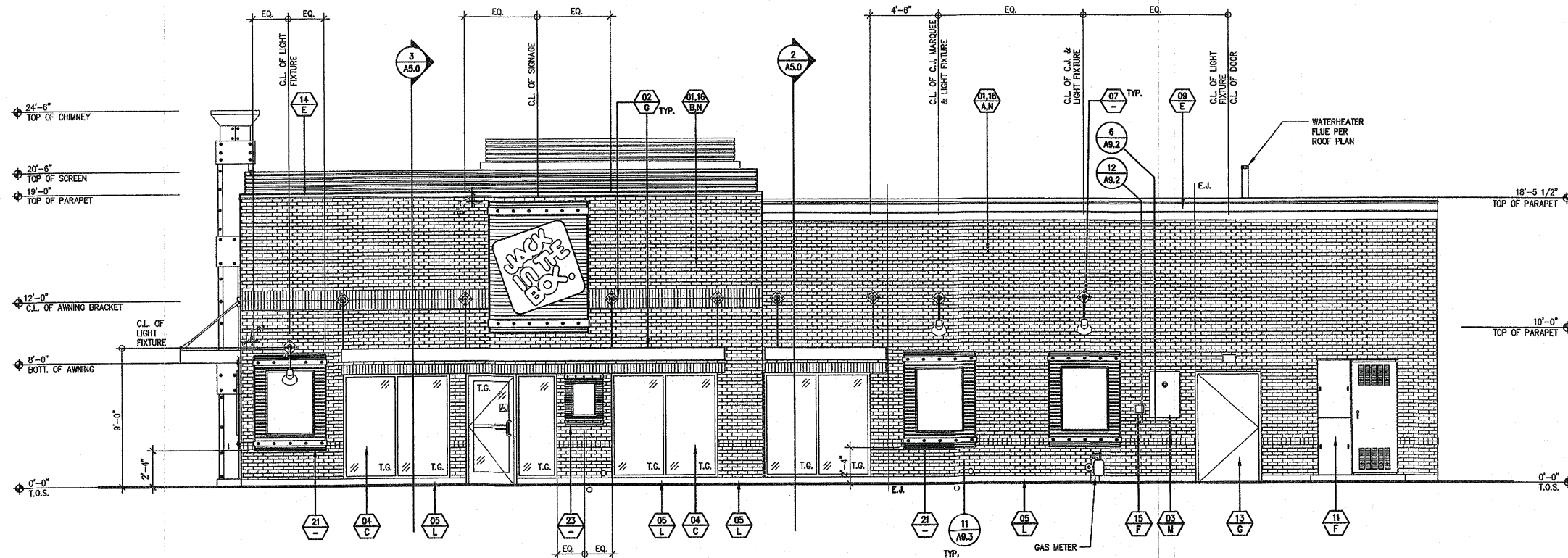
SCALE: AS NOTED

## EXTERIOR ELEVATIONS

A4.0

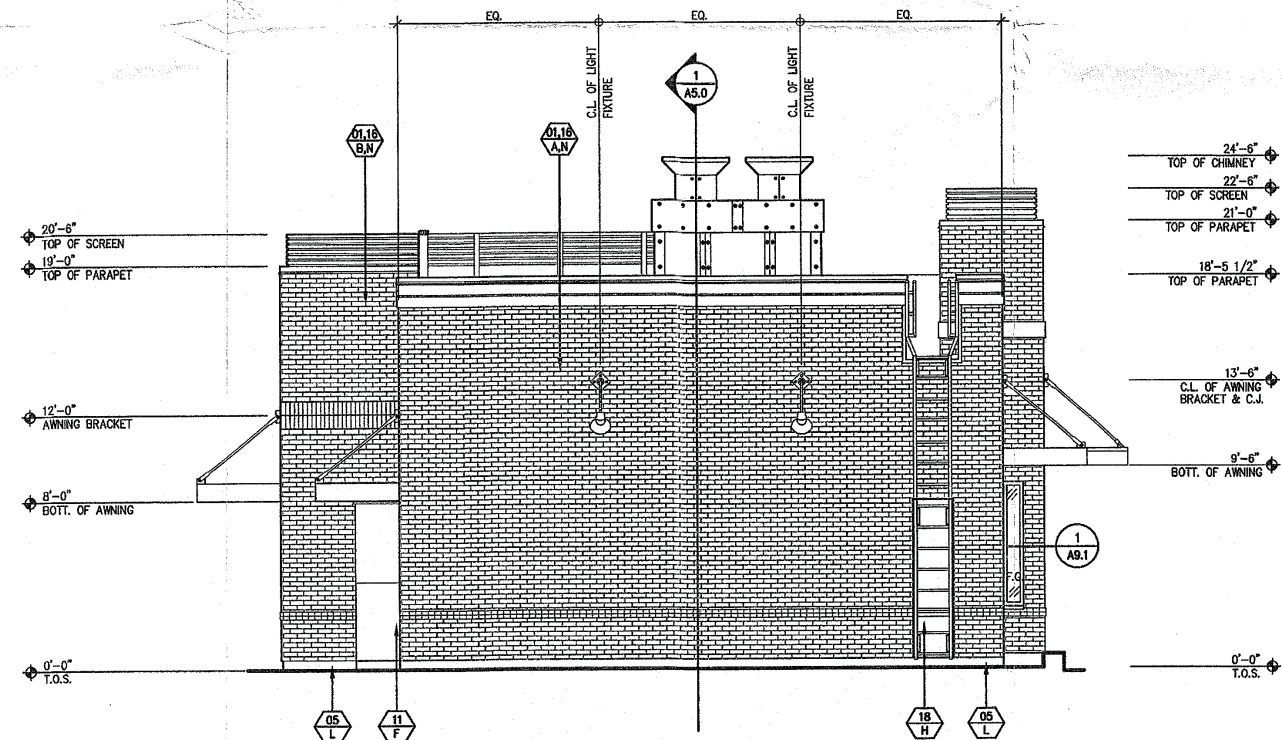


# EXHIBIT G - JACK IN THE BOX



**SOUTH ELEVATION**

SCALE: 1/4" = 1'-0"



**EAST ELEVATION**

SCALE: 1/4" = 1'-0"

NOTE:  
SEE SHEET A4.0 FOR ADDITIONAL  
EXTERIOR FINISH INFORMATION AND  
DETAILS (TYP.)

## EXTERIOR FINISH SCHEDULE

USE CHECKED BOX ONLY

☒ MATERIAL/FINISH COLOR ☐ ANTI-GRAFFITI COATING: DUMOND CPU647 GRAFFITI BARRIER COAT BY DUMOND CHEMICALS INC. (212) 869-6350 COLOR: CLEAR

### MATERIAL/FINISH:

- 01 BRICK (SEE SPECIFICATIONS)
- 02 METAL AWNING & SUPPORT (BY SIGN CONTRACTOR)
- 03 24" x 36" S.S. FLASHING AT GREESE RECOVERY TAP IN
- 04 ALUMINUM STOREFRONT SYSTEM (SEE SPECS FOR MORE INFORMATION)
  - ☒ 1" CLEAR INSULATED GLASS ☐ 1/4" CLEAR GLASS
  - ☐ 1" CLEAR INSULATED GLASS W/ SOLARBAN 60 COATING ☐ ANTI-GRAFFITI FILM
- 05 SLAB
- 06 INTERNALLY ILLUMINATED SIGNAGE W/ CORRUGATED PANEL (O.F.O.I., NOT A PART OF THIS PERMIT)
- 07 WALL MOUNTED LIGHT FIXTURE, SEE DETAIL 16/A9.3 FOR ATTACHMENT.
- 08 SELF-CONTAINED, FIREPLACE (EQ12)
- 09 PREFORMED GALVANIZED METAL FASCIA
- 10 12" HIGH BUILDING ADDRESS LETTERS (AS REQUIRED PER LOCAL JURISDICTION)
- 11 MAIN ELECTRICAL SERVICE
- 12 PREMANUFACTURED CLADDING (EQ13)
- 12A PREMANUFACTURED DECORATIVE CAP (EQ14)
- 13 HOLLOW METAL DOORS AND FRAMES, MISCELLANEOUS TRIM
- 14 GALVANIZED METAL COPING
- 15 CO2 FILL BOX METAL COVER
- 16 MORTAR
- 17 NOT USED
- 18 ROOF LADDER WITH SECURITY COVER
- 19 PREFORMED GALVANIZED METAL SCREEN
- 20 GALVANIZED METAL TRIM
- 21 DISPLAY POSTER PANEL, SEE DETAIL 18/A9.3 (EQ31)
- 22 NOT USED
- 23 ENTRANCE DISPLAY POSTER PANEL, ALIGN TOP WITH TOP OF DOOR (EQ31A)
- 24 DRIVE-THRU WINDOW TREATMENT AND DISPLAY PANEL (EQ32)

### COLOR:

- A ACME "STEEL GRAY"
- B ACME "MEDIUM RED"
- C STANDARD STOREFRONT: #33 BLACK ANODIZED
- D WHITE TEXT ON RED BACKGROUND WITH CORRUGATED SURROUND TRIM
- E DARK GRAY - GALV. FINISH
- F COLOR/FINISH TO MATCH ADJACENT SURFACE
- G COLOR TO MATCH SHERWIN WILLIAMS: SW 6990 "CAVIAR".
- H MIL FINISH ALUMINUM
- J SHERWIN WILLIAMS A-100 EXTERIOR GLOSS LATEX: SW 7074 "SOFTWARE" (PAINT ALL SIDES OF DOOR)
- K SHERWIN WILLIAMS EXTERIOR ACCENTS COLOR: SW 6990 "CAVIAR"
- L NATURAL CONCRETE, GRAY
- M STAINLESS STEEL
- N "LIGHT GRAY"

### NOTES:

1. ALL SIGNAGE IS UNDER SEPARATE SUBMITTAL AND PERMIT (N.I.C.).
2. NOT USED
3. ALL BRICK ACCESSORIES, FLASHINGS ETC. SHALL BE PAINTED TO MATCH ADJACENT SURFACES. (U.N.O.).
4. ALL EXTERIOR WALL OPENINGS FOR RECEPTACLES, HOSE BIBS, ETC. SHALL BE SEALED. SEE FLOOR PLAN, GENERAL NOTES, AND SPECIFICATIONS FOR ADDITIONAL NOTES.



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SAN DIEGO, CA 92123  
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### DATES

RELEASE: 11/03/2008

P.M. UPDATES:

SUBMITTAL DATE:

1: \_\_\_\_\_

2: \_\_\_\_\_

3: \_\_\_\_\_

BID: \_\_\_\_\_

CONSTRUCTION: \_\_\_\_\_

### REVISIONS

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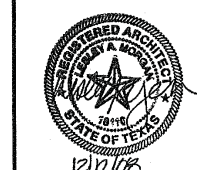
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### SITE INFORMATION

MK TYPE: MARK 9A SM1

JIB #: J4788

ADDRESS:

8416 DAVIS BOULEVARD

NORTH RICHLAND HILLS, TX

DRAWN BY: BLW

PROJECT #: 08-127

SCALE: AS NOTED

EXTERIOR ELEVATIONS

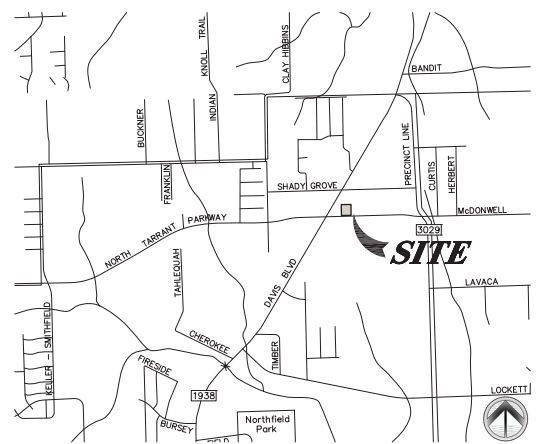
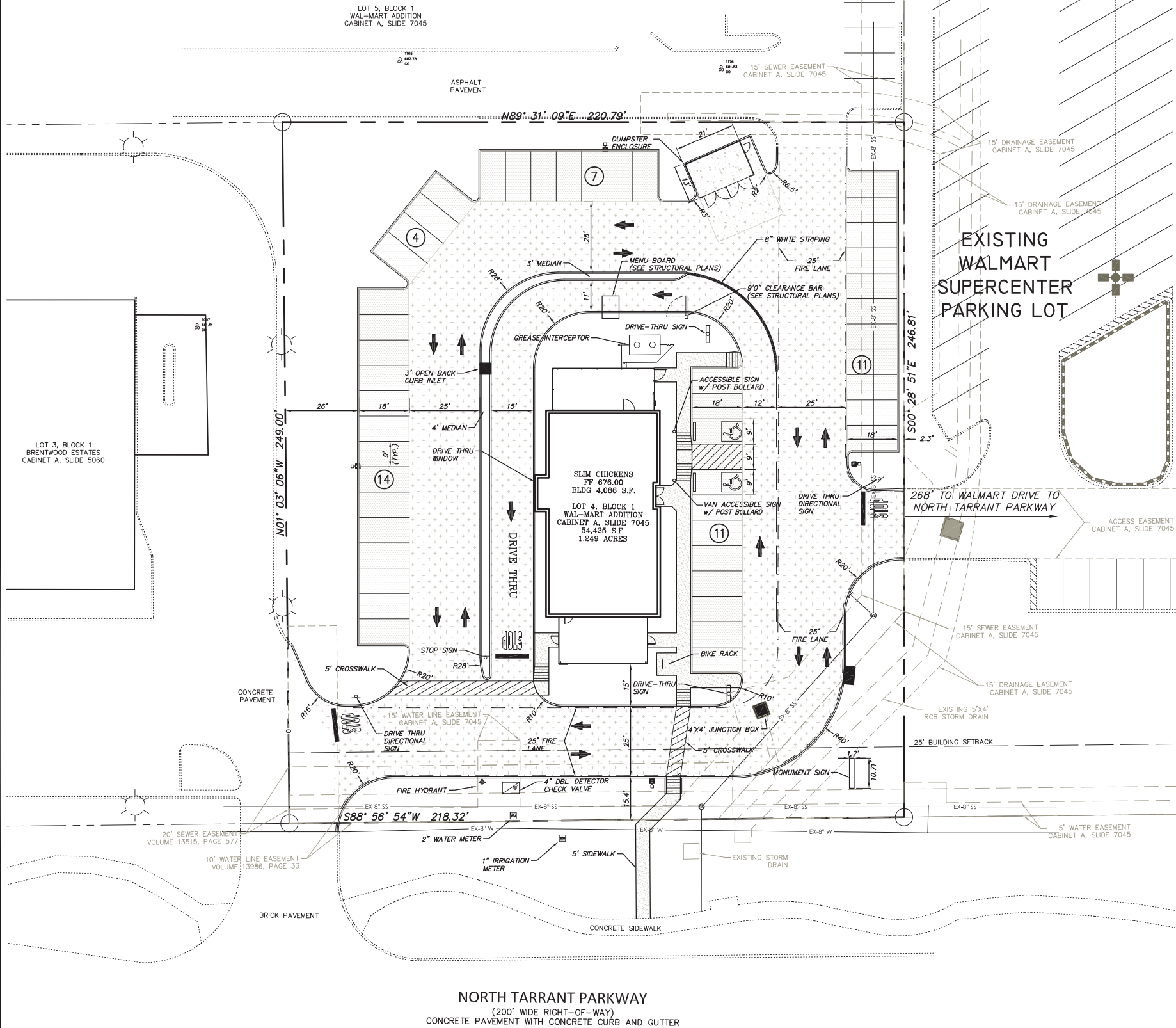
A4.1



FILED 1/27/16, City of Fort Worth, Texas, Planning Department, 5000 Camp Street, Suite 200, Fort Worth, Texas 76106

PREPARED BY: Chris Biggers  
DRAWN BY: Chris Biggers  
CHECKED BY: Chris Biggers  
DATE: 02/17/16

## EXHIBIT H - SLIM CHICKENS



### VICINITY MAP

NOT TO SCALE

#### LEGEND

STD. DUTY PAVEMENT	
FIRE/DRIVE LANE PAVEMENT	
HEAVY DUTY PAVEMENT	
CONCRETE SIDEWALK	
EXIST. CURB / PAVEMENT	
PAVEMENT MARKING	
CURBED PAVING EDGE	
NO CURB PAVING EDGE	
EXISTING FIRE LANE	
PROPOSED FIRE LANE	
PARKING SPACES	

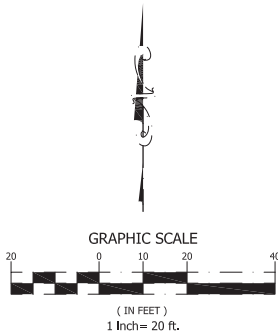
NOTE:  
TO PRESERVE THE PAINTING/STRIPING WITHIN  
PARKING AREAS, DO NOT APPLY UNTIL ALL  
OTHER POTENTIALLY DAMAGING CONSTRUCTION  
HAS BEEN COMPLETED.

#### SITE DATA SUMMARY

EXISTING ZONING	PD-36
LAND USE DESIGNATION	RETAIL
LOT AREA (ACRES)	1.249
BUILDING AREA (SQ. FT.)	4,086
LOT COVERAGE (PERCENT OF BUILDING COVER)	7.5
AREA OF IMPERVIOUS COVER (ACRES)	0.80
BUILDING HEIGHT	27 FEET
LAND USE	RESTAURANT, FAST CASUAL

#### PARKING SUMMARY

PARKING REQ'D: 1 / 150 SF = 28 SPACES	
ADA PARKING REQUIRED: 2 SPACES	
PARKING COUNT	
STANDARD PARKING	45
ACCESSIBLE PARKING	2
TOTAL PARKING	47



#### WARNING TO CONTRACTOR:

CALL 811 (TEXAS 811) OR OTHER UTILITY LOCATING SERVICES 48 HOURS PRIOR TO CONSTRUCTION ACTIVITY. DUNAWAY ASSOC., L.P. IS NOT RESPONSIBLE FOR KNOWING ALL EXISTING UTILITIES OR DEPICTING EXACT LOCATIONS OF UTILITIES ON DRAWINGS.

#### CRITICAL:

LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE AND ARE BASED ON PUBLIC RECORDS. THE CONTRACTOR IS COMPLETELY RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES, BOTH HORIZONTALLY AND VERTICALLY, BEFORE THE COMMENCEMENT OF ANY CONSTRUCTION.

#### UTILITY RELOCATION NOTE:

IF ANY EXISTING UTILITY POLES, POWER POLES, GUY WIRES, TELEPHONE UTILITIES, ETC. ARE FOUND TO BE IN CONFLICT WITH THESE CONSTRUCTION PLANS, THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANY AND COORDINATE THE RELOCATION OF ANY/OR ALL SUCH UTILITIES (NO SPECIAL PAY).

#### CONTRACTOR ADVISORY:

THE CONTRACTOR, AND HIS AGENTS (SUB-CONTRACTOR, ENGINEER, SURVEYOR, ETC.) ARE COMPLETELY RESPONSIBLE FOR THE VERIFICATION OF THE ACCURACY OF THE DIMENSION CONTROL FURNISHED HEREIN. THE OWNER, AND HIS AGENTS, ARE NOT RESPONSIBLE FOR THE ACCURACY OF THE COORDINATES FURNISHED. THE CONTRACTOR IS REQUIRED TO VERIFY ALL OF THE COORDINATES FOR ACCURACY AND CONFIRM THE LOCATIONS OF ALL UTILITIES TO BE CONSTRUCTED, BOTH HORIZONTALLY AND VERTICALLY. DISCREPANCIES FOUND BY THE CONTRACTOR SHALL BE REPORTED IN WRITING, TO THE OWNER IMMEDIATELY FOR RECONCILIATION.

#### PROJECT BENCHMARKS:

NORTH RICHLAND HILLS GEODETIC CONTROL STATIONS:  
GPS-28  
GPS-30  
GPS-31

#### SITE BENCHMARKS:

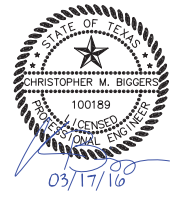
SITE BM #1:  
BOX WITH "X" SET ON TOP OF CURB AT MIDPOINT OF CURVE AT NORTHWEST CORNER OF LOT 4, BLOCK 1, WAL-MART ADDITION. ELEVATION=681.17'

SITE BM #2:  
5/8" IRON ROD WITH RED PLASTIC CAP STAMPED "TRAVERSE POINT" LOCATED APPROXIMATELY 12.4' NORTH OF AN ACCESS EASEMENT AND 9.6' WEST OF THE EAST PROPERTY LINE OF LOT 4, BLOCK 1, WAL-MART ADDITION. ELEVATION=676.25'

### SITE PLAN

SLIM CHICKENS RESTAURANT

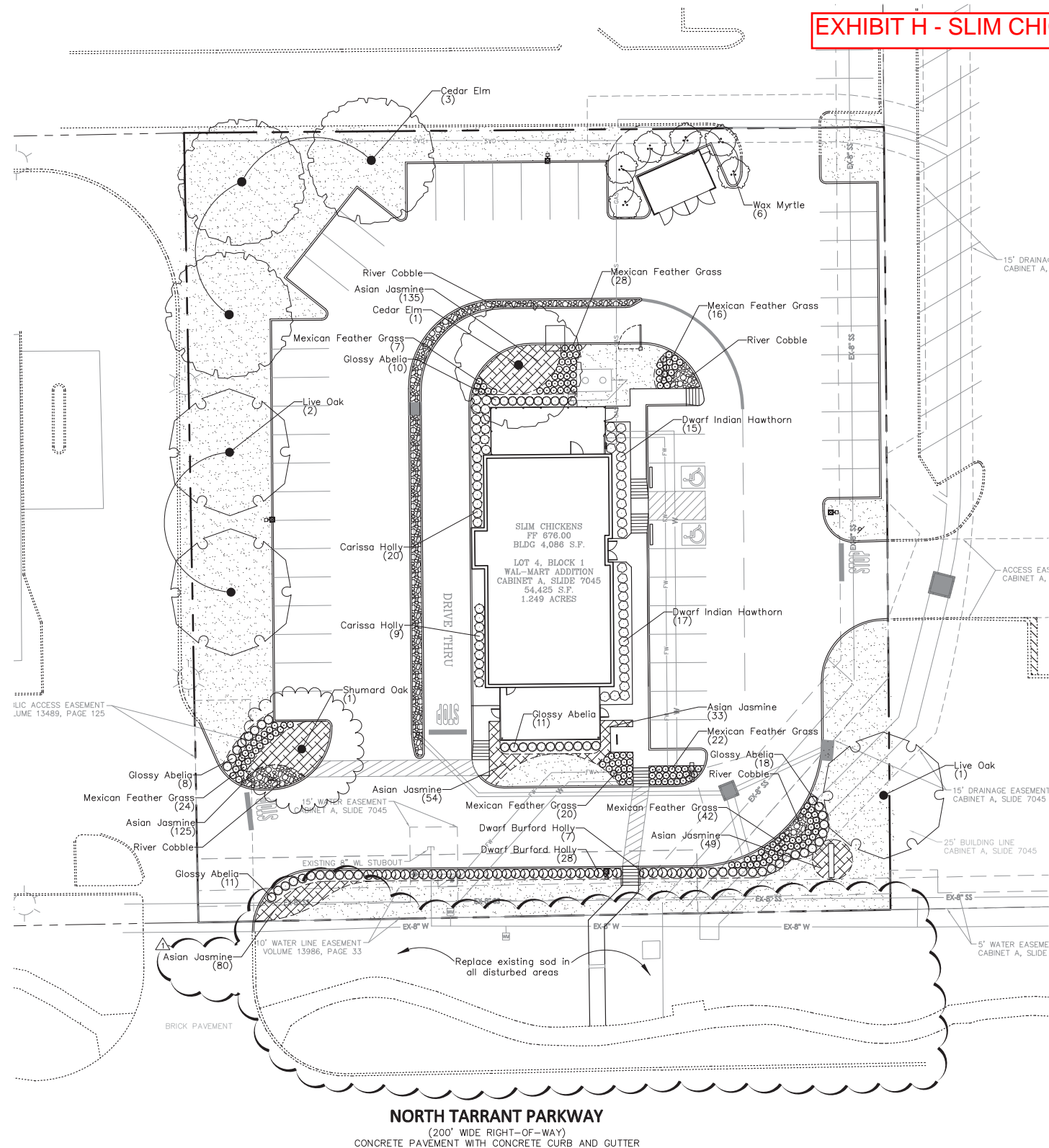
9005 NORTH TARRANT PARKWAY  
NORTH RICHLAND HILLS, TEXAS













JOB NO.	B002228.001
DRAWN BY:	GJW
DESIGNED BY:	GJW
CHECKED BY:	CMB
DATE:	FEBRUARY 2016
SHEET:	C4.0

Case ZC 2015-24

## PLANT SCHEDULE



<u>LARGE TREES</u>		<u>QTY</u>	<u>COMMON NAME</u>	<u>BOTANICAL NAME</u>	<u>SIZE</u>	<u>CONT.</u>	<u>HEIGHT</u>	<u>SPREAD</u>
	4	CEDAR ELM	ULMUS CRASSIFOLIA	4"	65 GAL	10' - 12'	6'-8'	
	3	LIVE OAK	QUERCUS VIRGINIANA	4"	65 GAL	10' - 12'	6'-8'	
	1	SHUMARD OAK	QUERCUS SHUMARDII	4"	65 GAL	10' - 12'	6'-8'	
<u>ORNAMENTAL TREES</u>		<u>QTY</u>	<u>COMMON NAME</u>	<u>BOTANICAL NAME</u>	<u>SIZE</u>	<u>CONT.</u>	<u>HEIGHT</u>	<u>SPREAD</u>
	6	WAX MYRTLE	MYRTICA CERIFERA	3" MULT-TRUNK	15 GAL	4' - 6'	3' - 5'	
<u>SHRUBS</u>		<u>QTY</u>	<u>COMMON NAME</u>	<u>BOTANICAL NAME</u>	<u>CONT.</u>	<u>HEIGHT</u>	<u>SPREAD</u>	<u>SPACING</u>
	29	CARISSA HOLLY	ILEX CORNUTA 'CARISSA'	5 GAL	24"-30"	18"-24"	36" OC.	
	35	DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	5 GAL	30"-36"	24"-26"	36" OC.	
	32	DWARF INDIAN HAWTHORN	RHAMPHOLEPIS INDICA 'ENCHANTRESS'	5 GAL	24"-26"	24"-26"	36" OC.	
	58	GLOSSY ABELIA	ABELIA X GRANDIFLORA 'EDWARD GOUCHER'	5 GAL	24"-30"	24"-26"	36" OC.	
	158	MEXICAN FEATHER GRASS	STIPA TENUISSIMA	1 GAL	12"-15"	12" - 15"	24"	
<u>GROUND COVERS</u>		<u>QTY</u>	<u>COMMON NAME</u>	<u>BOTANICAL NAME</u>	<u>CONT.</u>	<u>HEIGHT</u>	<u>SPREAD</u>	<u>SPACING</u>
	476	ASIAN JASMINE	TRACHELOSPERMUM ASIATICUM	1 GAL	4"-6"	6"-10"	18" OC.	
<u>ROCK / GRAVEL</u>		<u>QTY</u>	<u>COMMON NAME</u>	<u>BOTANICAL NAME</u>	<u>CONT.</u>	<u>HEIGHT</u>	<u>SPREAD</u>	<u>SPACING</u>
		RIVER COBBLE	ARIZONA RIVER COBBLE LARGE	3" - 6"	NA	NA	NA	
<u>SOD/SEED</u>		<u>QTY</u>	<u>COMMON NAME</u>	<u>BOTANICAL NAME</u>	<u>CONT.</u>	<u>HEIGHT</u>	<u>SPREAD</u>	<u>SPACING</u>
		ZOYSIA GRASS	ZOYSIA	SOLID SOD	NA	NA	NA	
----- STEEL EDGING								

\*RIVER COBBLE SHALL BE 'ARIZONA RIVER COBBLE - LARGE'  
AS SUPPLIED BY WHIZ-Q STONE (WWW.WHIZ-Q.COM)

## SITE DATA

Lot Area	54,425 sf.		
		REQUIRED	PROVIDED
Landscape Area Percentage			
Landscape 15% of total lot area			
54,425 sf. x 15%	8,164 sf.		16,320 sf.
Landscape Setback	15'		15' Min.
One large tree for every 50' of frontage			
N. Tarrant Pkwy. 218' / 50'	5 Large Trees		Frontage in easement 5 Large 4" caliper Trees planted interior to site
Ten small shrubs for every 50' of frontage			
N. Tarrant Pkwy. 218' / 50 (x10)	44 Small Shrubs		106 Small Shrubs *Additional Shrubs planted for screening
Parking Lot Screening from R.O.W.	30" Ht. Screening Shrubs		30" Ht. Screening Shrubs
Parking area, drives and drive thru to be screened from N. Tarrant	Min. 3' oc.		Min. 3' oc. *Additional Shrubs planted for screening
Landscaping of Parking Lots			
One large tree for every 20 spaces			
47 spaces / 20	3 Large Trees		3 Large Trees
Parking Lots to have 5% Landscape Area			
17,143 parking area x 5%	857 sf.		9,863 sf.
Provide shrubs at north and south			
patio to screen drive-thru			
north 311' / 3' oc.	10 Small Shrubs		10 Small Shrubs
south 311' / 3' oc.	10 Small Shrubs		10 Small Shrubs



GRAPHIC SCALE IN FEET

A horizontal scale bar with alternating black and white segments. Below the bar, the numbers 20, 0, 10, 20, and 40 are marked. The segments represent 10-foot intervals, with the first 10 feet (from 20 to 0) divided into two 5-foot segments.

FOR PLANTING NOTES & DETAILS  
SEE SHEET C8.1

# Case ZC 2015-24

# LANDSCAPE PLAN



550 Bailey Avenue • Suite 400 • Fort Worth, Texas 76107  
Tel: 817.335.1121  
(TX REG. F-1114)

SLIM CHICKENS RESTAURANT

9005 NORTH TARRANT PARKWAY  
NORTH RICHLAND HILLS, TEXAS



3/14/2016

JOB NO. B002228.001

DRAWN BY: JMM

DESIGNED BY: LPC

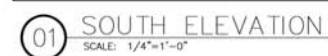
CHECKED BY: LPC

DATE: FEBRUARY 2016

SHEET:

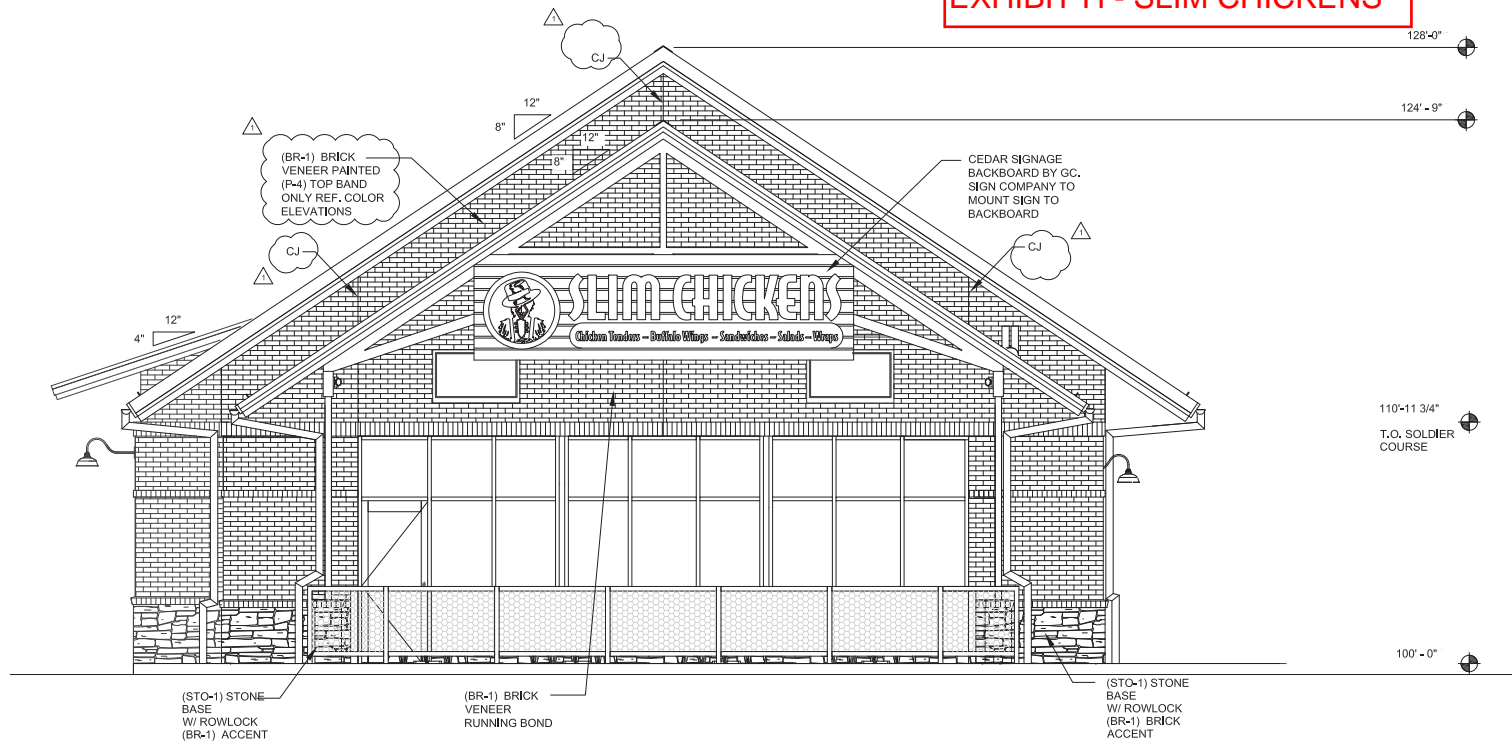
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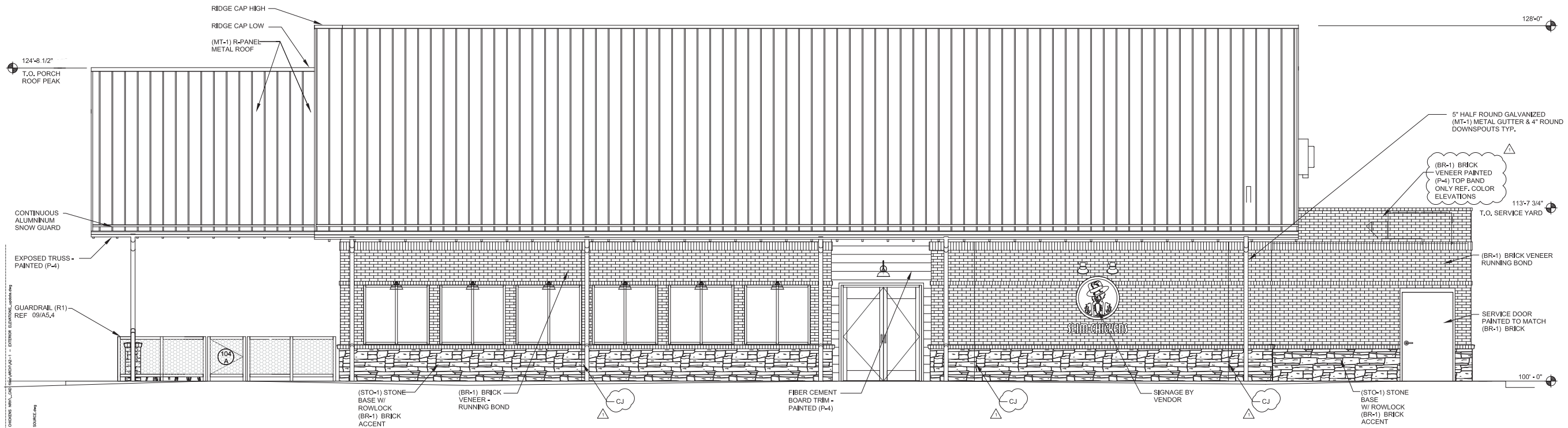


05 FLOOR PLAN  
SCALE: 1/8"=1'-0"

## EXHIBIT H - SLIM CHICKENS

02 SOUTH ELEVATION  
SCALE: 1/4"=1'-0"

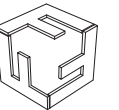
MATERIAL PERCENTAGE CALCULATIONS
TOTAL AREA: 639.41 FT²
MASONRY GROUP 'A' - 693.41 FT² - 100.00%

01 MAIN ENTRY ELEVATION  
SCALE: 1/4"=1'-0"

MATERIAL PERCENTAGE CALCULATIONS
TOTAL AREA: 836.71 FT²
MASONRY GROUP 'A' - 766.44 FT² - 91.60%
ACCENT - HARDI PANEL - 39.21 FT² - 4.69%
METAL DOOR - 31.06 FT² - 3.71%

## MATERIAL &amp; FINISH SCHEDULE

MATERIAL	DESCRIPTION	FIN	MT
BR	BRICK		
EFS	EFS		
MTL	METAL PANEL		
PT	PAINT		
STN	STAIN		
STO	STONE		
BR	(BR-1) BRICK		
BR-1	PRODUCT: SALEM CREEK TUDOR MANUFACTURER: BLACKSON (BR-1) BRICK COLOR: AS SPECIFIED SALES REP: Justin Sterna justin@blackson(BR-1) BRICK.com MOBILE: (817) 823-5208		
STO	STONE		
STO-1	PRODUCT: SILVER MIST CHOPPED STONE MANUFACTURER: BLACKSON (BR-1) BRICK COLOR: 70/30 BLEND-SILVER MIST/OKLAHOMA STONE SALES REP: Justin Sterna justin@blackson(BR-1) BRICK.com MOBILE: (817) 823-5208		
MTL	ROOF & GUTTER METAL		
MTL-1	PRODUCT: METAL AS SPECIFIED MANUFACTURER: MS METALS OR APPROVED EQUAL COLOR: ACRYLIC COATED GALVALUME		
EFS	(EF-1) EFS OR CONTINUOUS INSULATION SYSTEM		
EF-1	PRODUCT: STO THERM G CLASSIC or APPROVED EQUAL MANUFACTURER: STO OR APPROVED EQUAL COLOR & FINISH: TO BE APPROVED BY FORM STUDIOS, INC.		
PT	PAINT		
PT-4	COLOR: SEE SHEET A5.2 INTERIOR FINISH SCHEDULE LOCATION: EXTERIOR HARDI PANEL, UNDER SOFFIT AND AS NOTED		
STN	STAIN		
ST-3	COLOR: CLEAR BASE MANUFACTURER: WOODSCAPES LOCATION: EXTERIOR GATES AT TRASH ENCLOSURE		



**FORM STUDIOS INC.**  
FORM @ FORMFINDING.COM  
817-426-3006 VOICE  
817-426-3008 FAX  
300 BURNETT ST.  
SUITE 120  
FORT WORTH, TX 76102

## JURISDICTION:

THE TEXAS BOARD OF ARCHITECTURAL  
E X A M I N E R S  
P.O. BOX 12337, AUSTIN, TX 78711-2337  
P H O N E - ( 5 1 2 ) 3 0 5 - 9 0 0 0  
HAS JURISDICTION OVER INDIVIDUALS LICENSED  
UNDER THE ARCHITECT'S REGISTRATION LAW,  
TEXAS CIVIL STATUTES, ARTICLE 249A

THESE ARCHITECTURAL DRAWINGS HAVE BEEN  
PREPARED FOR ARCHITECTURAL DESIGN ONLY.  
CIVIL, STRUCTURAL, MECHANICAL, AND OTHER  
RELATED ENGINEERING DESIGNATED  
SPECIFICATIONS ARE THE RESPONSIBILITY OF THE  
RESPECTIVE ENGINEERS. COMPLIANCE OF THESE  
DRAWINGS WILL BE THE RESPONSIBILITY OF THE  
GENERAL CONTRACTOR. ALL MEASUREMENTS  
SHALL BE VERIFIED BY THE CONTRACTOR DURING  
THE RESPECTIVE WORK.

THESE DRAWINGS, AS INSTRUMENTS OF SERVICE  
ARE THE EXCLUSIVE PROPERTY OF THE  
ARCHITECT AND ARE NOT TO BE USED IN WHOLE  
OR PART WITHOUT THE ARCHITECT'S WRITTEN  
PERMISSION. UNAUTHORIZED USE OF THESE  
DRAWINGS WILL SUBJECT THE USER TO LEGAL  
REMEDY BEING SOUGHT BY FORM STUDIOS, INC.

## ARCHITECT SEAL:



## CONSTRUCTION NOTES:

1. DRAWINGS ARE ONLY AN APPROXIMATION OF EXISTING  
CONSTRUCTION. CONTRACTOR SHALL VERIFY SITE AND  
EXAMINE EXISTING CONSTRUCTION. NOTE ALL  
CONFLICTS AS TO CHARACTER AND EXTENT OF WORK  
INVOLVED. VERIFY ALL DIMENSIONS PRIOR TO LAYOUT  
AND NOTIFY FORM STUDIOS OF ANY DISCREPANCIES  
BEFORE STARTING ANY WORK.
2. CONTRACTOR SHALL COORDINATE ALL TRADE  
REQUIREMENTS AND REPORT CONFLICTS TO FORM  
STUDIOS PRIOR TO BEGINNING THE CONSTRUCTION.  
CONTRACTOR SHALL VERIFY ALL DIMENSIONAL DATA.
3. CONTRACTOR SHALL NOT SCALE DRAWINGS. CONTACT  
FORM STUDIOS FOR DIMENSIONAL CONFLICTS AND  
QUESTIONS.

THESE DOCUMENTS SHALL NOT BE USED FOR  
REGULATORY REVIEW. PERMITTING NOT  
CONSTRUCTION UNTIL A SIGNATURE AND DATE HAS  
BEEN AFFIXED TO THE SEAL. DO NOT SCALE  
DRAWINGS. CONTRACTOR TO VERIFY ALL EXISTING  
CONDITIONS AND DIMENSIONS. NOTIFY ARCHITECT  
OF ANY DISCREPANCIES PRIOR TO BEGINNING  
CONSTRUCTION.

SLIM CHICKENS  
9005 NORTH TARRANT PARKWAY  
NORTH RICHLAND HILLS, TX 76182  
TIM KRAFTSON  
(817) 797-7287

## PROJECT:



FORM studios, Inc.  
© FEB 2016

## REVISIONS:

1. R/C / OWNER REVISIONS - 03/10/16

## SHEET TITLE:

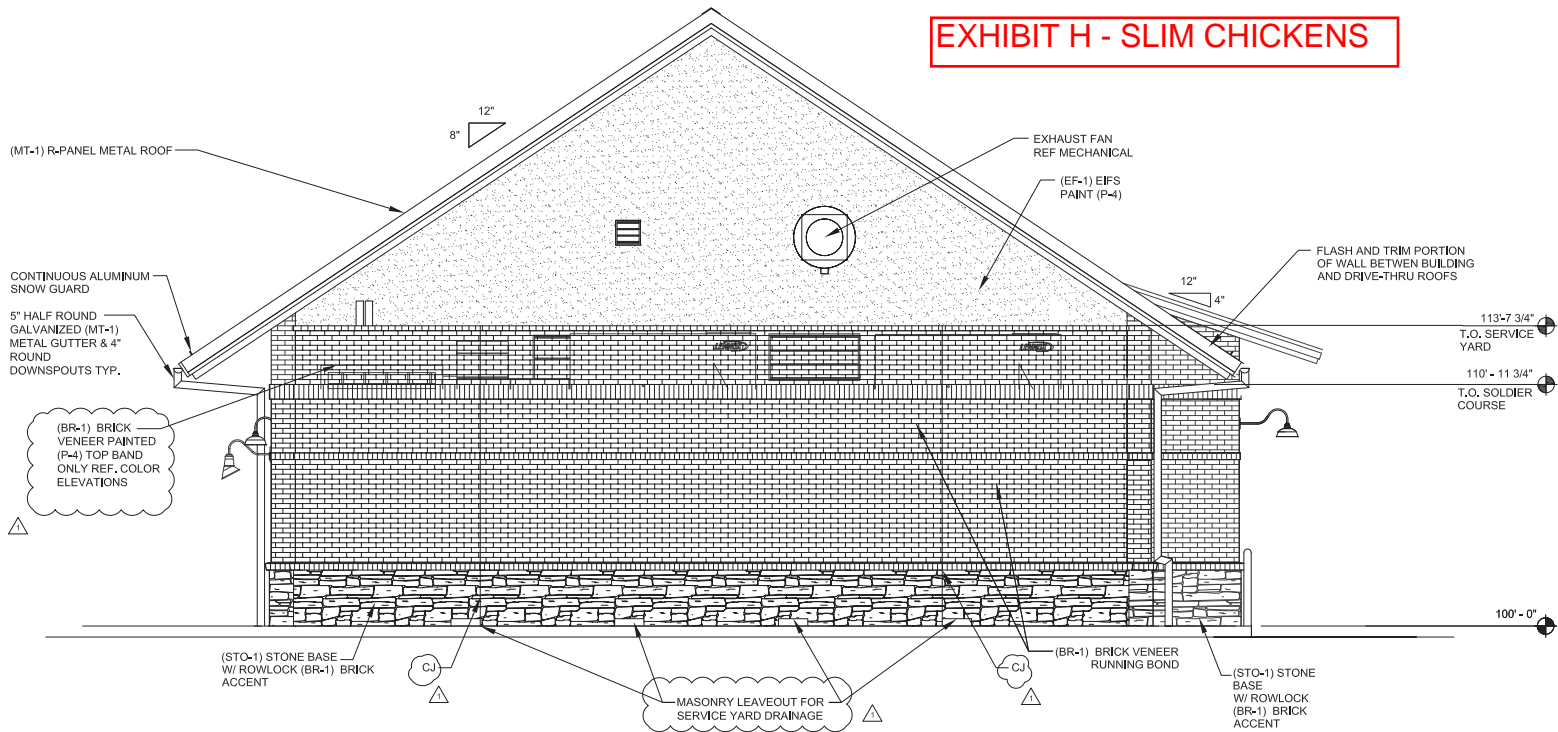
EXTERIOR ELEVATIONS

## SHEET:

A2.1



EXHIBIT H - SLIM CHICKENS

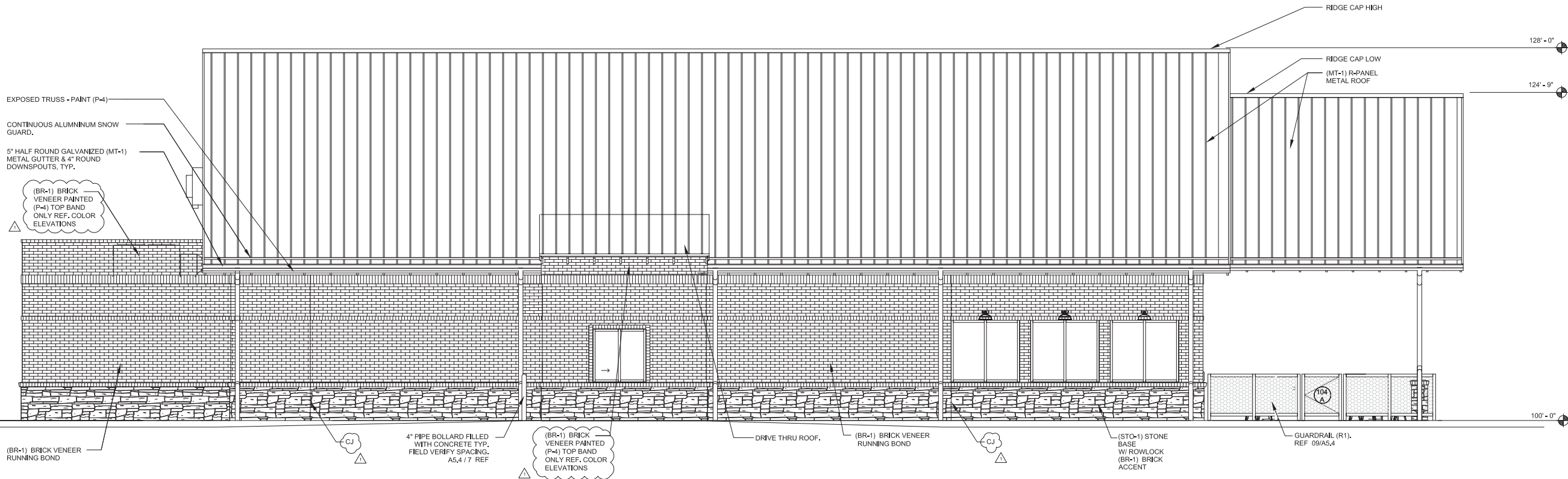


02 REAR ELEVATION  
SCALE: 1/4"=1'-0"

MATERIAL PERCENTAGE CALCULATIONS	
TOTAL AREA:	841.94 FT²
MASONRY GROUP 'A' -	593.94 FT² - 70.54%
MASONRY GROUP 'B' -	248.00 FT² - 29.46%

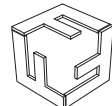
MATERIAL & FINISH SCHEDULE

MATERIAL	DESCRIPTION	FIN	MA
BR	BRICK		
EF	EIFS		
MTL	METAL PANEL		
PT	PAINT		
STN	STAIN		
STO	STONE		
BR	(BR-1) BRICK		
BR-1	PRODUCT: SALEM CREEK TUDOR MANUFACTURER: BLACKSON (BR-1) BRICK COLOR: AS SPECIFIED SALES REP: Justin Sterna justin@blackson(BR-1) BRICK.com MOBILE: (817) 823-5208		
STO	STONE		
STO-1	PRODUCT: SILVER MIST CHOPPED STONE MANUFACTURER: BLACKSON (BR-1) BRICK COLOR: 70/30 BLEND-SILVER MIST/OKLAHOMA STONE SALES REP: Justin Sterna justin@blackson(BR-1) BRICK.com MOBILE: (817) 823-5208		
MTL	ROOF & GUTTER METAL		
MTL-1	PRODUCT: METAL AS SPECIFIED MANUFACTURER: MS METALS OR APPROVED EQUAL COLOR: ACRYLIC COATED GALVALUME		
EF	(EF-1) EIFS OR CONTINUOUS INSULATION SYSTEM		
EF-1	PRODUCT: STO THERM C CLASSIC or APPROVED EQUAL MANUFACTURER: STO OR APPROVED EQUAL COLOR & FINISH: TO BE APPROVED BY FORM STUDIOS, INC.		
PT	PAINT		
PT-4	COLOR: SEE SHEET A5.2 INTERIOR FINISH SCHEDULE LOCATION: EXTERIOR HARDIE PANEL, UNDER SOFFIT AND AS NOTED		
STN	STAIN		
ST-3	COLOR: CLEAR BASE MANUFACTURER: WOODSCAPES LOCATION: EXTERIOR GATES AT TRASH ENCLOSURE		



01 DRIVE-THRU ELEVATION  
SCALE: 1/4"=1'-0"

MATERIAL PERCENTAGE CALCULATIONS	
TOTAL AREA:	956.22 FT²
MASONRY GROUP 'A' -	956.22 FT² - 100.00%



**FORM STUDIOS INC.**  
FORM @ FORMFINDING.COM  
817-425-3006 VOICE  
817-425-3008 FAX  
300 BURNETT ST.  
SUITE 120  
FORT WORTH, TX 76102

JURISDICTION:

THE TEXAS BOARD OF ARCHITECTURAL E X A M I N E R S  
P.O. BOX 12337, AUSTIN, TX 78711-2337  
P H O N E - 5 1 2 3 0 5-9 0 0 0  
H A S JURISDICTION OVER INDIVIDUALS LICENSED UNDER THE ARCHITECT'S REGISTRATION LAW, TEXAS CIVIL STATUTES, ARTICLE 249A

THESE ARCHITECTURAL DRAWINGS HAVE BEEN PREPARED FOR ARCHITECTURAL DESIGN ONLY. CIVIL, STRUCTURAL, MECHANICAL, AND OTHER RELATED ENGINEERING DESIGNATED SPECIFICATIONS ARE THE RESPONSIBILITY OF THE RESPECTIVE ENGINEERS. COMPLIANCE OF THE DRAWINGS WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL MEASUREMENTS SHALL BE VERIFIED BY THE CONTRACTOR DURING THE RESPECTIVE WORK.

THESE DRAWINGS, AS INSTRUMENTS OF SERVICE ARE THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND ARE NOT TO BE USED IN WHOLE OR PART WITHOUT THE ARCHITECT'S WRITTEN PERMISSION. UNAUTHORIZED USE OF THESE DRAWINGS WILL SUBJECT THE USER TO LEGAL REMEDY BEING SOUGHT BY FORM STUDIOS, INC.

ARCHITECT SEAL:



05/10/16

CONSTRUCTION NOTES:

- 1) DRAWINGS ARE ONLY AN APPROXIMATION OF EXISTING CONDITIONS. CONTRACTOR SHALL VISIT SITE AND EXAMINE EXISTING CONSTRUCTION. NOTE ALL CONDITIONS AS TO CHARACTER AND EXTENT OF WORK INVOLVED. VERIFY ALL DIMENSIONS PRIOR TO LAYOUT AND NOTIFY FORM STUDIOS OF ANY DISCREPANCIES BEFORE STARTING ANY WORK.
- 2) CONTRACTOR SHALL COORDINATE ALL TRADE REQUIREMENTS AND REPORT CONFLICTS TO FORM STUDIOS PRIOR TO BEGINNING THE CONSTRUCTION. SHALL VERIFY ALL DIMENSIONAL DATA.
- 3) CONTRACTOR SHALL NOT SCALE DRAWINGS. CONTACT FORM STUDIOS FOR DIMENSIONAL CONFLICTS AND QUESTIONS.

THESE DOCUMENTS SHALL NOT BE USED FOR REGULATORY REVIEW. PERMITTING FOR CONSTRUCTION UNTIL A SIGNATURE AND DATE HAS BEEN AFFIXED TO THE SEAL. DO NOT SCALE DRAWINGS. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING CONSTRUCTION.

SLIM CHICKENS  
SLIM CHICKENS  
9005 NORTH TARRANT PARKWAY  
NORTH RICHLAND HILLS, TX 76182  
TIM KRAFTSON  
(817) 797-7287

PROJECT:



FORM studios, Inc.  
© FEB 2016

REVISIONS:

104 A  
R/C / OWNER REVISIONS - 03/10/16

SHEET TITLE:

EXTERIOR ELEVATIONS

SHEET:

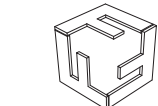
A2.2

ISSUE FOR CONSTRUCTION 03/10/16

EXHIBIT H - SLIM CHICKENS

MATERIAL & FINISH SCHEDULE

MATERIAL	DESCRIPTION	FIN	MT
BR	BRICK		
EFS	EFS		
MTL	METAL PANEL		
PT	PAINT		
STN	STAIN		
STO	STONE		
BR	(BR-1) BRICK		
BR-1	PRODUCT: SALEM CREEK TUDOR MANUFACTURER: BLACKSON (BR-1) BRICK COLOR: AS SPECIFIED SALES REP: Justin Sierra justin@blackson(BR-1) BRICK.com MOBILE: (817) 823-5208		
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STO-1	PRODUCT: SILVER MIST CHOPPED STONE MANUFACTURER: BLACKSON (BR-1) BRICK COLOR: 70/30 BLEND-SILVER MIST/OKLAHOMA STONE SALES REP: Justin Sierra justin@blackson(BR-1) BRICK.com MOBILE: (817) 823-5208		
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MTL-1	PRODUCT: METAL AS SPECIFIED MANUFACTURER: MS METALS OR APPROVED EQUAL COLOR: ACRYLIC COATED GALVALUME		
EFS	(EF-1) EFS OR CONTINUOUS INSULATION SYSTEM		
EF-1	PRODUCT: STO THERM ci CLASSIC or APPROVED EQUAL MANUFACTURER: STO OR APPROVED EQUAL COLOR & FINISH: TO BE APPROVED BY FORM STUDIOS, INC.		
PT	PAINT		
PT-1	COLOR: SEE SHEET A5.2 FINISH SCHEDULE LOCATION: EXTERIOR TRIM AT HARDIE PANEL, UNDER SOFFIT AND AS NOTED		
PT-4	COLOR: SEE SHEET A5.2 FINISH SCHEDULE LOCATION: EXTERIOR HARDIE PANEL, UNDER SOFFIT AND AS NOTED		
PT-6	COLOR: SEE SHEET A5.2 FINISH SCHEDULE LOCATION: BOLLARDS		
SW	SYNTHETIC WOOD		
SW-1	PRODUCT: EVERGRAN ENVISION MANUFACTURER: TAMKO OR APPROVED EQUAL COLOR: SPICED TEAK LOCATION: DUMPSTER GATE		



FORM  
STUDIOS INC.

FORM @ FORMFINDING.COM  
817-425-3006 VOICE  
817-425-3008 FAX  
300 BURNETT ST.  
SUITE 120  
FORT WORTH, TX 76102

JURISDICTION:

THE TEXAS BOARD OF ARCHITECTURAL  
E X A M I N E R S  
P.O. BOX 12337, AUSTIN, TX 78711-2337  
P H O N E - ( 5 1 2 ) 3 0 5 - 9 0 0 0  
HAS JURISDICTION OVER INDIVIDUALS LICENSED  
UNDER THE ARCHITECT'S REGISTRATION LAW,  
TEXAS CIVIL STATUTES, ARTICLE 249A

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RELATED ENGINEERING DESIGNATED  
SPECIFICATIONS ARE THE RESPONSIBILITY OF THE  
RESPECTIVE ENGINEERS. COMPLIANCE OF THESE  
DRAWINGS WILL BE THE RESPONSIBILITY OF THE  
GENERAL CONTRACTOR. ALL MEASUREMENTS  
SHALL BE VERIFIED BY THE CONTRACTOR DOING  
THE RESPECTIVE WORK.

THESE DRAWINGS, AS INSTRUMENTS OF SERVICE  
ARE THE EXCLUSIVE PROPERTY OF THE  
ARCHITECT AND ARE NOT TO BE USED IN WHOLE  
OR PART WITHOUT THE OR HER EXPRESS WRITTEN  
PERMISSION. UNAUTHORIZED USE OF THESE  
DRAWINGS WILL SUBJECT THE USER TO LEGAL  
REMEDY BEING SOUGHT BY FORM STUDIOS, INC.

ARCHITECT SEAL:



05/10/16

CONSTRUCTION NOTES:

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AND NOTIFY FORM STUDIOS OF ANY DISCREPANCIES  
BEFORE STARTING ANY WORK.
- CONTRACTOR SHALL CONFIRM ALL TRADE  
REQUIREMENTS AND REPORT CONFLICTS TO FORM  
STUDIOS IMMEDIATELY IF NEEDED. THE CONTRACTOR  
SHALL VERIFY ALL DIMENSIONAL DATA.
- CONTRACTOR SHALL NOT SCALE DRAWINGS. CONTACT  
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SLIM CHICKENS  
SLIM CHICKENS  
9005 NORTH TARRANT PARKWAY  
NORTH RICHLAND HILLS, TX 76182  
TIM KRAFTSON  
(817) 797-7287

PROJECT:



REVISIONS:

IFC / OWNER REVISIONS - 03/10/16

ISSUE FOR CONSTRUCTION 03/10/16

SHEET TITLE:  
DUMPSTER ENCLOSURE

SHEET:

A1.0

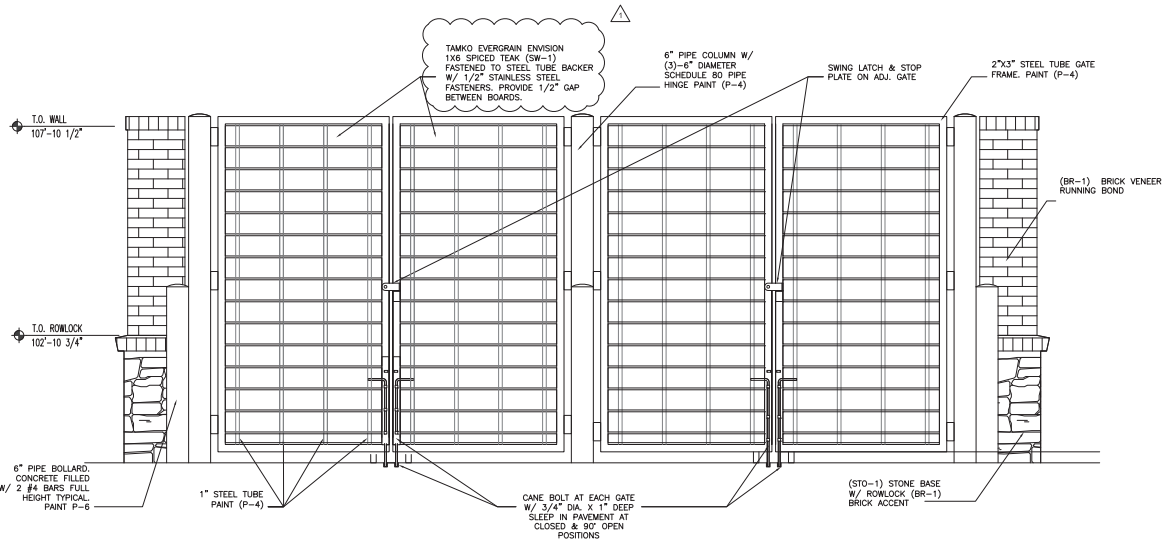
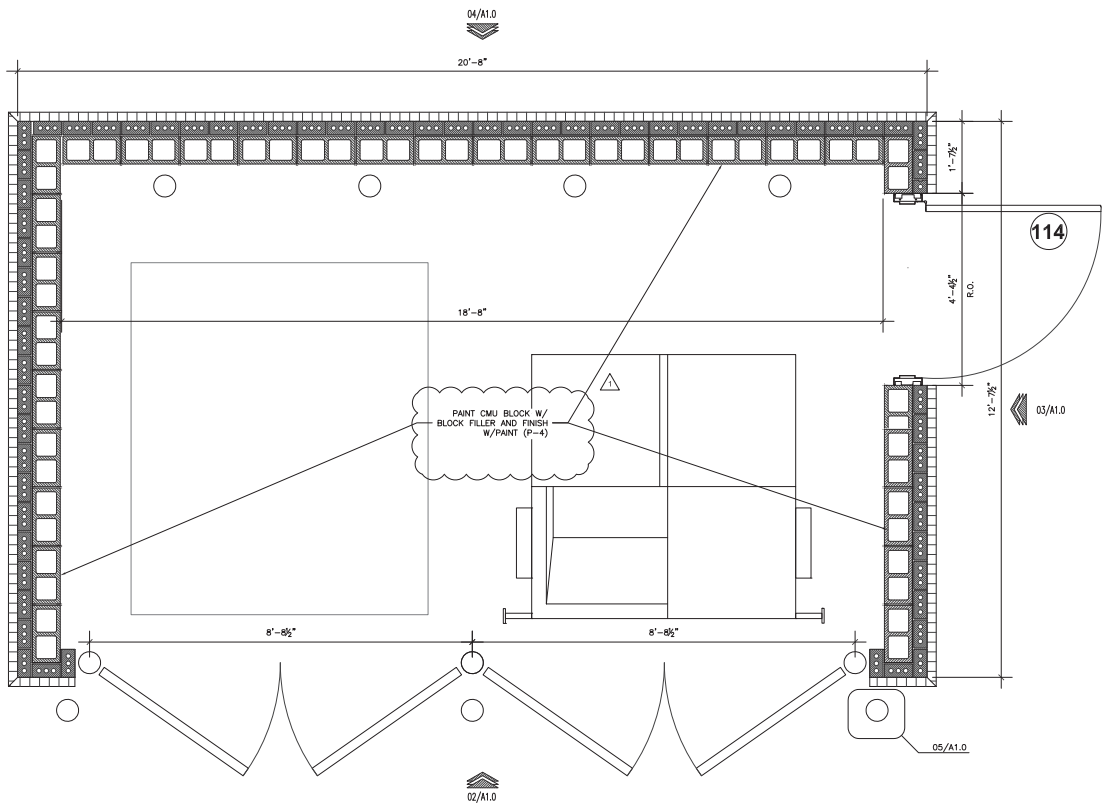
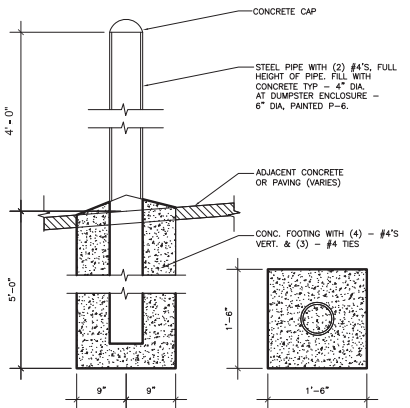
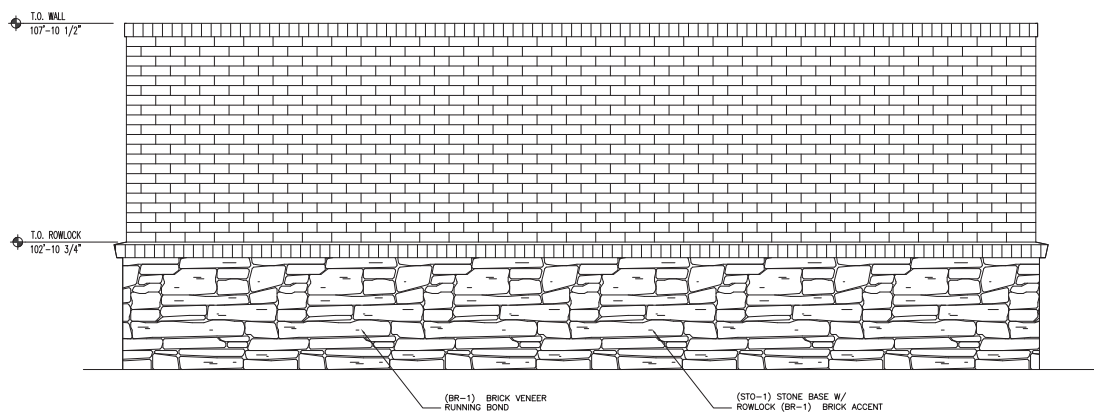
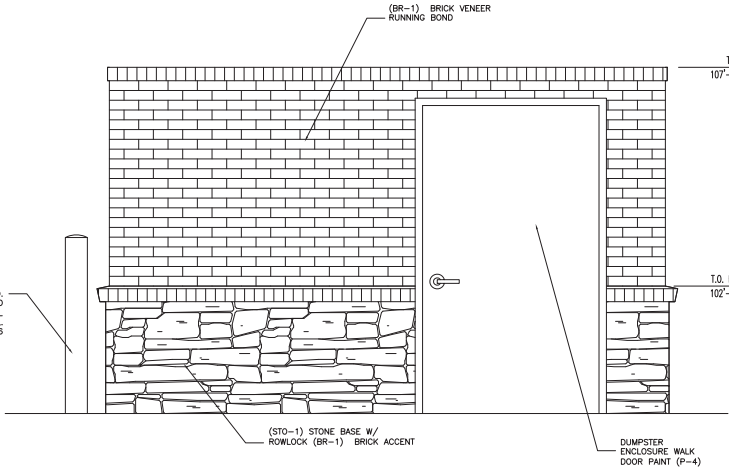
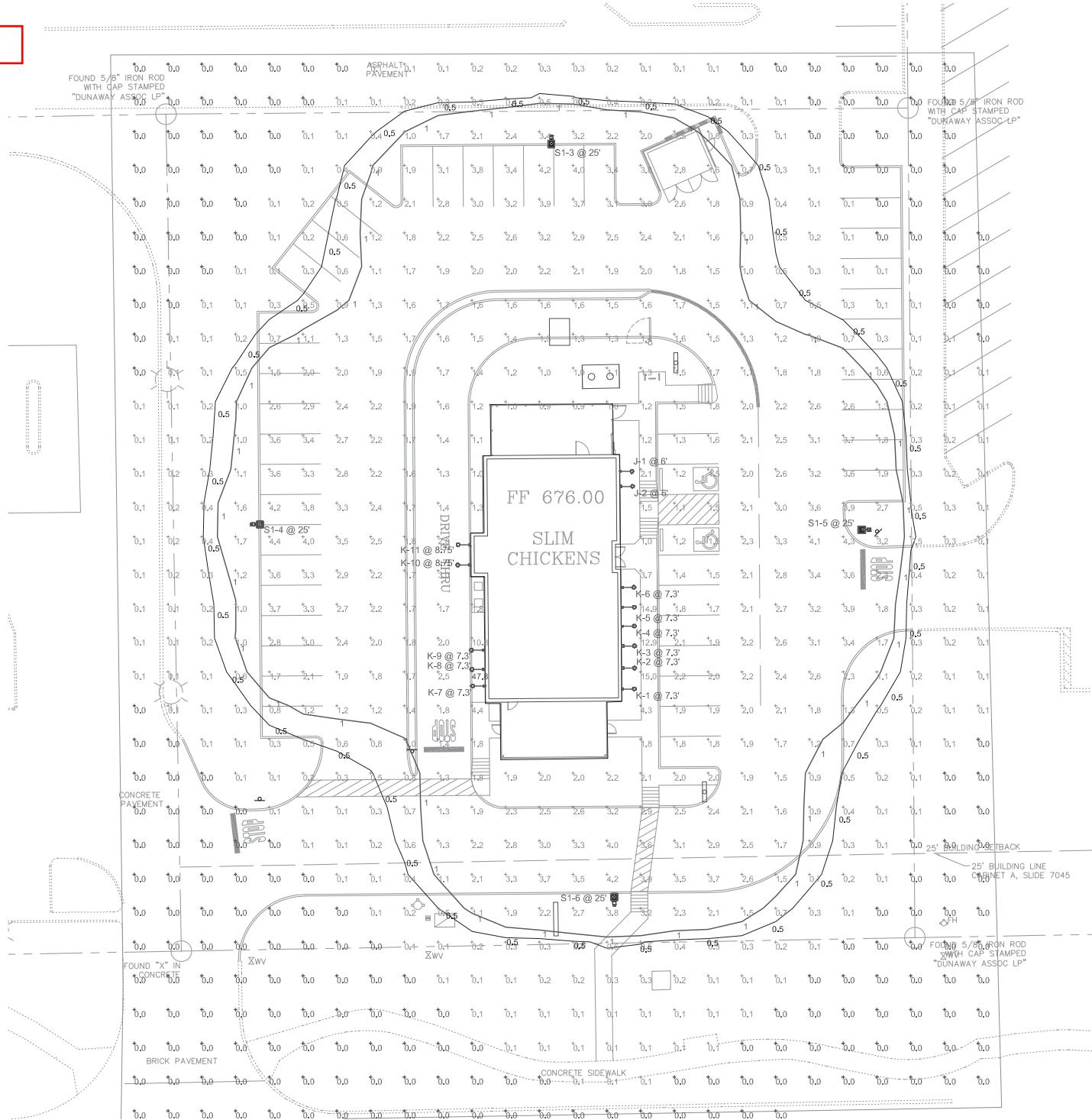





EXHIBIT H - SLIM CHICKENS



1 SITE PHOTOMETRIC  
1"=30'

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	1.1 fc	47.8 fc	0.0 fc	N/A	N/A


Luminaire Schedule									
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Wattage
	S1	4	EATON - MCGRAW-EDISON (FORMER COOPER LIGHTING)	GLEON-AE-04-LED-E1-SL4	GALLEON LED AREA AND ROADWAY LUMINAIRE (4) 70 CRI, 4000K, 1A LIGHTS SQUARES WITH 16 LEDS EACH AND TYPE IV SPILL LIGHT ELIMINATOR OPTICS ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN GONIOPHOTOMETER WITH TEST DISTANCE OF 28.75 FEET	LED cluster	64	GLEON-AE-04-LED-E1-SL4.ies	213
	K	11	TMS Lighting		SIGN WALL WASH LIGHT	LED	1	71=20W LED[1].ies	20
	J	2	TMS Lighting		SIGN WALL WASH LIGHT	LED	1	71=20W LED[1].ies	20

**Systems**  
Engineering Consultants  
800 West Airport Freeway  
Suite 611  
Irving, Texas 75062  
Tel (972) 812-8888  
Fax (972) 812-8890  
SA Job No 15054



**FORM**  
STUDIOS INC.  
FORM @ FORMFINDING.COM  
817-426-3005 VOICE  
817-426-3008 FAX  
300 BURNETT ST.  
SUITE 120  
FORT WORTH, TX 76102

NOTES:  
THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS  
P.O. BOX 12337, AUSTIN, TX 78711-2337  
P.O. BOX 12337, AUSTIN, TX 78711-2337  
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SUBJECT THE USER TO LEGAL REMEDY BEING SOUGHT  
BY FORM STUDIOS INC.

SEAL:  
  
THE SEAL APPEARING ON THIS  
DOCUMENT WAS AUTHORIZED BY  
SHUJI OKUDA, P.E. #54327 ON  
MARCH 10, 2016  
THIS DOCUMENT IS RELEASED FOR THE  
PURPOSE OF CONSTRUCTION UNDER THE  
AUTHORITY OF SHUJI OKUDA, P.E.  
#54327 ON MARCH 10, 2016

- CONTRACTOR NOTES:
- DRAWINGS ARE ONLY AN APPROXIMATION OF EXISTING CONDITIONS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO ANY CONSTRUCTION. NOTE ALL CONDITIONS AS TO CHARACTER AND EXTENT OF WORK INVOLVED. VERIFY ALL DIMENSIONS PRIOR TO ANY CONSTRUCTION. STUDIES OF ANY DISCREPANCIES, BEFORE STARTING ANY WORK.
  - CONTRACTOR SHALL CORRECT ALL WORK DISCREPANCIES AND REPORT CORRECTIONS TO FORM STUDIOS IMMEDIATELY. IF FOUND, THE CONTRACTOR SHALL CORRECT ALL DISCREPANCIES.
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OF ANY DISCREPANCIES PRIOR TO BEGINNING  
CONSTRUCTION.

SLIM CHICKENS  
9005 NORTH TARRANT PARKWAY  
NORTH RICHLAND HILLS, TX 76182  
TIM KRAFTSON  
(817) 797-7287

PROJECT:

  
SLIM CHICKENS  
NRH STORE

REVISIONS:

ISSUE FOR CONSTRUCTION DATED 03/10/16  
ISSUE FOR PERMIT & CONSTRUCTION 1/28/16

SHEET TITLE:  
SITE PHOTOMETRIC PLAN  
SHEET:

E3.0

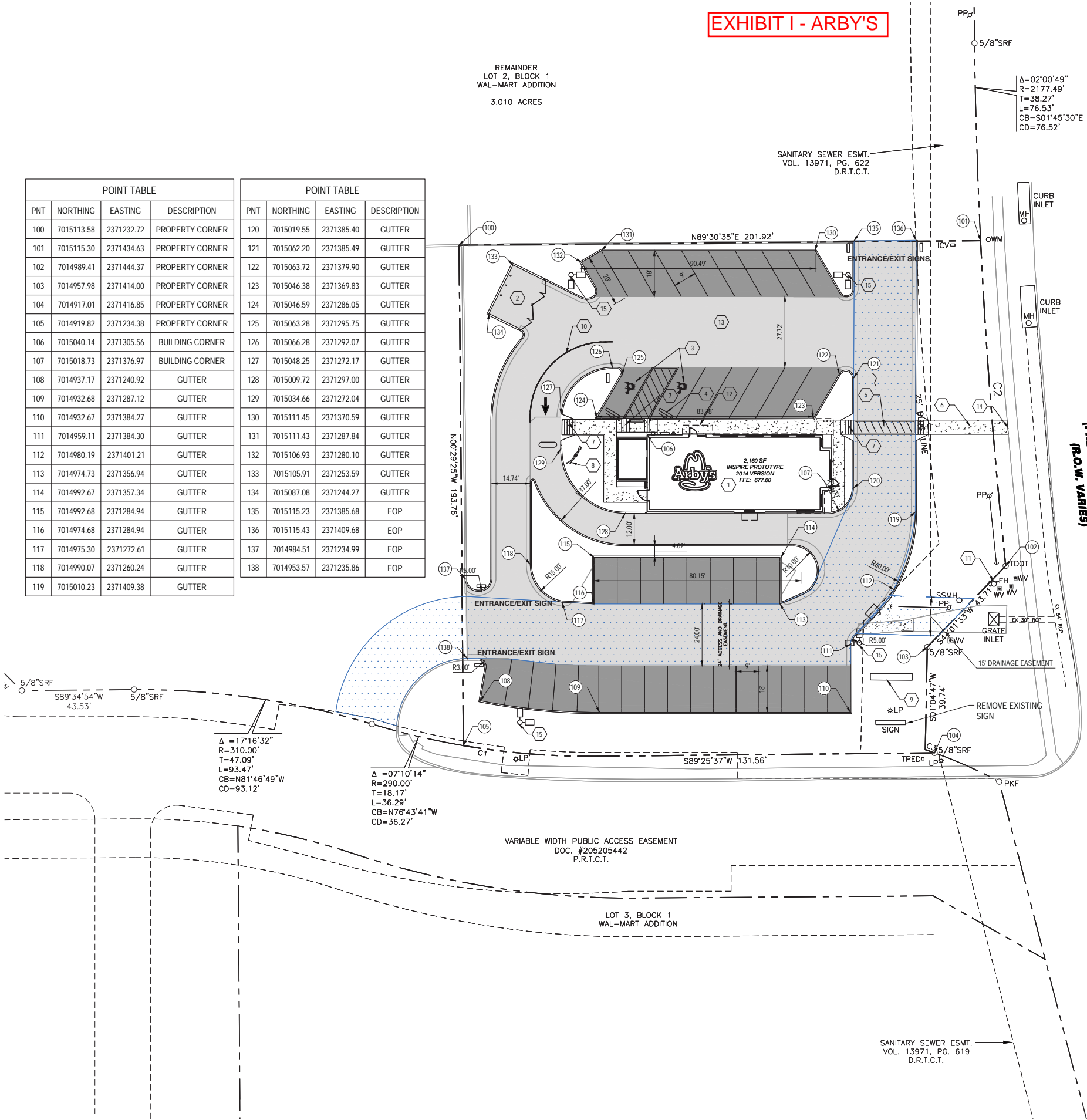


EXHIBIT I - ARBY'S

REMAINDER  
LOT 2, BLOCK 1  
WAL-MART ADDITION  
3.010 ACRES

POINT TABLE			
PNT	NORTHING	EASTING	DESCRIPTION
100	7015113.58	2371232.72	PROPERTY CORNER
101	7015115.30	2371434.63	PROPERTY CORNER
102	7014989.41	2371444.37	PROPERTY CORNER
103	7014957.98	2371414.00	PROPERTY CORNER
104	7014917.01	2371416.85	PROPERTY CORNER
105	7014919.82	2371234.38	PROPERTY CORNER
106	7015040.14	2371305.56	BUILDING CORNER
107	7015018.73	2371376.97	BUILDING CORNER
108	7014937.17	2371240.92	GUTTER
109	7014932.68	2371287.12	GUTTER
110	7014932.67	2371384.27	GUTTER
111	7014959.11	2371384.30	GUTTER
112	7014980.19	2371401.21	GUTTER
113	7014974.73	2371356.94	GUTTER
114	7014992.67	2371357.34	GUTTER
115	7014992.68	2371284.94	GUTTER
116	7014974.68	2371284.94	GUTTER
117	7014975.30	2371272.61	GUTTER
118	7014990.07	2371260.24	GUTTER
119	7015010.23	2371409.38	GUTTER

POINT TABLE			
PNT	NORTHING	EASTING	DESCRIPTION
120	7015019.55	2371385.40	GUTTER
121	7015062.20	2371385.49	GUTTER
122	7015063.72	2371379.90	GUTTER
123	7015046.38	2371369.83	GUTTER
124	7015046.59	2371286.05	GUTTER
125	7015063.28	2371295.75	GUTTER
126	7015066.28	2371292.07	GUTTER
127	7015048.25	2371272.17	GUTTER
128	7015009.72	2371297.00	GUTTER
129	7015034.66	2371272.04	GUTTER
130	7015111.45	2371370.59	GUTTER
131	7015111.43	2371287.84	GUTTER
132	7015106.93	2371280.10	GUTTER
133	7015105.91	2371253.59	GUTTER
134	7015087.08	2371244.27	GUTTER
135	7015115.23	2371385.68	EOP
136	7015115.43	2371409.68	EOP
137	7014984.51	2371234.99	EOP
138	7014953.57	2371235.86	EOP



KEYED NOTES:

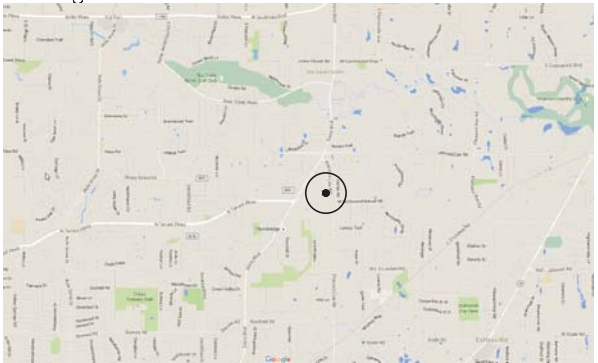
- 1 PROPOSED BUILDING - 2,160 SF BUILDING.
- 2 DUMPSTER WITH ENCLOSURE WITH 7" THICK CONC. APRON. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- 3 HANDICAP ACCESSIBLE PARKING SPACE (TYP.)-2 PLACES.
- 4 ADA POLE SIGNAGE & WHEELSTOPS (TYP.)-2 PLACES.
- 5 ADA-COMPLIANT WALKWAY.
- 6 PROPOSED 5' WIDE SIDEWALKS.
- 7 ADA-COMPLIANT BARRIER-FREE RAMP.
- 8 ORDER CONFIRMATION BOARD AND MENU BOARDS. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION.
- 9 PROPOSED SIGNAGE LOCATION. ALL SIGNAGE TO BE APPROVED AND INSTALLED UNDER A SEPARATE SIGN PERMIT.
- 10 4-INCH SOLID YELLOW STRIPE TO DRIVE-THRU LANE DESIGNATION.
- 11 EXISTING FIRE HYDRANT.
- 12 AWNING (TYPICAL).
- 13 CONCRETE PAVEMENT THICKNESS PER SITE DETAILS.
- 14 CONNECT TO EXISTING SIDEWALK.
- 15 LIGHT STANDARD.

GENERAL NOTES:

1. ALL PAVEMENT DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE. ALL BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF WALL UNLESS INDICATED OTHERWISE.
2. SEE ARCHITECTURAL SHEETS FOR EXACT DIMENSIONS OF BUILDING, AND DETAILS AROUND THE BUILDING.
3. ALL CURVE RADII ARE 3' UNLESS NOTED OTHERWISE.
4. SEE ELECTRICAL PLANS FOR SITE LIGHTING DESIGN AND DETAILS.

SITE DATA SUMMARY

EXISTING ZONING	PD-36
LAND USE DESIGNATION	RETAIL
LOT AREA	0.90 AC
BUILDING AREA	2,160 SQ. FT.
LOT COVERAGE	5.5%
AREA OF IMPERVIOUS COVERAGE	71.6%
NUMBER OF PARKING SPACES PROVIDED	40
BUILDING HEIGHT	19'-3"
LAND USE	RESTAURANT, QUICK SERVE



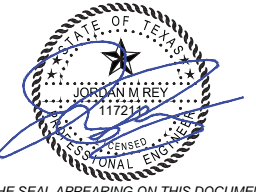
SITE LOCATION MAP

ARTEC  
ARCHITECTURE ENGINEERING CONSTRUCTION

ARTEC LLC  
6800 WEISKOPF AVE  
SUITE 150  
MCKINNEY, TEXAS 75070  
TBPE ENGINEERING FIRM F-16272  
TBAE ARCHITECTURAL FIRM BR 1707  
www.theartecedge.com  
214.721.0732



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THE SEAL APPEARING ON THIS DOCUMENT  
WAS AUTHORIZED BY JORDAN M REY, PE  
117211 ON 3/29/2016

ARBY'S RESTAURANT GROUP  
LOT 2, BLOCK 1  
WAL-MART ADDITION KNOWN AS  
8245 PRECINCT LINE ROAD  
NORTH RICHLAND HILLS, TEXAS 76182

TURBO RESTAURANTS  
3318 FOREST LANE, SUITE 200  
DALLAS, TEXAS 75234

PROJECT ISSUE DATES

ARTEC PROJECT NO. 16-1110 CLIENT PROJECT NO. FILE NO.

SHEET REVISIONS MARK DATE DESCRIPTION

PROJECT ORIENTATION



SITE AND DIMENSIONAL  
CONTROL PLAN

DRAWN BY RGM CHECKED BY JR MANAGER JR

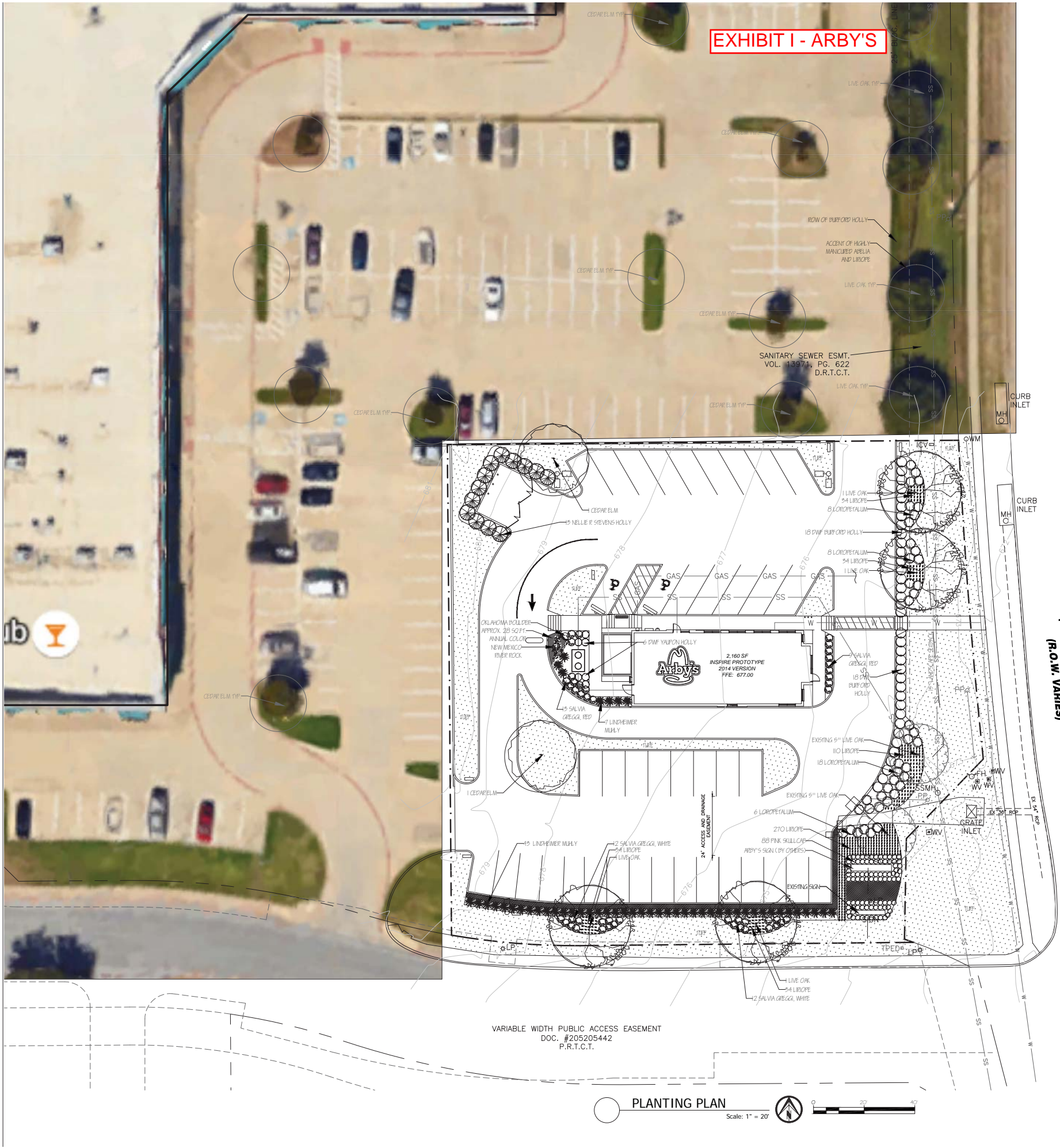
CASE ZC 2016-02

DATE: 3/29/2016

C-2.0

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Common Name	Botanical Name	Texas Native	Size	Qty	Notes
Annual Color	varies per season	Annual	28 sq ft		
Cedar Elm	Ulmus crassifolia	Tree	Yes	65 gal	2 3" caliper min.
Dwarf Burford Holly	Ilex cornuta 'Burfordii nana'	Shrub	No	5 gal	36 30" tall, 3' o.c.
Dwarf Yaupon Holly	Ilex vomitoria 'Nana'	Shrub	Yes	3 gal	6
Lindheimer Muhly / Big Muhly	Muhlenbergia lindheimeri	Grass	Yes	3 gal	50
Liriope, Big Blue	Liriope muscari 'Big Blue'	Groundcover	No	4" pots	515
Live Oak	Quercus virginiana	Tree	Yes	65 gal	4 3" caliper min.
Loropetalum 'Purple Pixie'	Loropetalum chinensis 'Purple Pixie'	Shrub	No	5 gal	40 30" tall, 3' o.c.
Nellie R. Stevens Holly	Ilex x attenuata 'Nellie R. Stevens'	Shrub	No	7 gal	13 3' tall at planting
Pink Skullcap	Scutellaria suffrutescens	Perennial	Mexico	1 gal	88
Salvia greggii 'white'	Salvia greggii	Perennial	Yes	3 gal	24
Salvia greggii 'red'	Salvia greggii	Perennial	Yes	3 gal	22
Turf	Bermuda grass sod				12,684 sq.ft.
Hardscape					
Boulder	Moss Boulders			0.2 ton	
River Rock	New Mexico 2" - 3"	3" depth		26 sq. ft	

PLANT LIST

Jurisdiction of Project

REGULATORY AUTHORITIES:

CITY OF NORTH RICHLAND HILLS  
7301 NE LOOP 820  
NORTH RICHLAND HILLS, TX 76180  
817-427-6000

TEXAS DEPARTMENT OF LICENSING AND REGULATION  
ELIMINATION OF ARCHITECTURAL BARRIERS  
E.O. THOMPSON STATE OFFICE BUILDING  
920 COLORADO  
AUSTIN, TEXAS 78701  
(512) 463-3211  
(512) 475-2886 (FAX)

Landscaping Requirements

NORTH RICHLAND HILLS CODE OF ORDINANCES  
CHAPTER 114 VEGETATION

LANDSCAPE AREA PERCENTAGE  
A. NOT LESS THAN 15% OF LOT AREA LANDSCAPE (LOT: 39,291 SF)  
REQUIRED: 5,894 SF  
PROVIDED: 12,618 SF (31 %)

LANDSCAPE SETBACK  
A. MINIMUM WIDTH OF 15' ADJACENT TO ALL PUBLIC STREET R.O.W.  
REQUIRED: 15' WIDTH  
PROVIDED: 15' WIDTH

B. 1 TREE OR 2 ORNAMENTAL PER 50 LF OF STREET FRONTAGE (210 LIN. FT.)  
REQUIRED: 4 TREES OR 8 ORNAMENTAL TREES OR COMBINATION  
PROVIDED: 2 CANOPY TREES + 2 EXISTING CANOPY TREES

C. 10 SHRUBS PER 50 LF OF STREET FRONTAGE (210 LIN. FT.)  
REQUIRED: 42 SHRUBS  
PROVIDED: 76 SHRUBS

PARKING SCREENING  
A. 1 LARGE TREE PER 20 PARKING SPACES (40 SPACES) WITH NO PARKING SPACE LOCATED MORE THAN 100' FROM A LARGE TREE  
REQUIRED: 2 TREES  
PROVIDED: 2 TREES

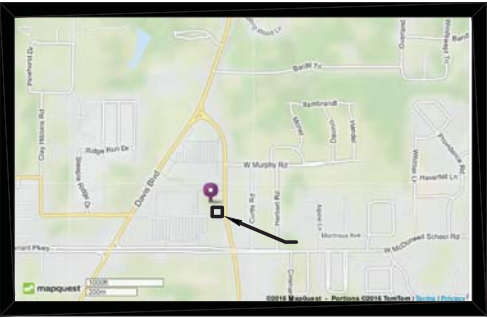
B. ALL SHRUBBERY FLOWERING PLANTS, AND TREES PLANTED IN PARKING LOT ISLANDS OR ADJACENT TO PARKING LOTS SHALL BE SETBACK 2' FROM ANY CURB WHERE VEHICLES MAY FACE.

TREE PRESERVATION  
2 EXISTING 5" LIVE OAK TO REMAIN

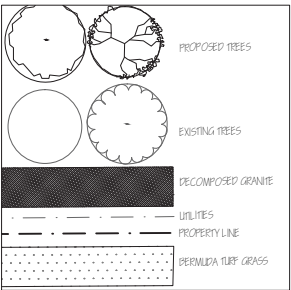
LANDSCAPE DOES NOT OBSTRUCT TRAFFIC VISIBILITY.

Irrigation Requirements  
UNDERGROUND AUTOMATIC SPRINKLING SYSTEM PROVIDED.  
SYSTEM DESIGNED AND INSTALLED ACCORDING TO TCEQ LAWS AND REGULATIONS PROVIDING FOR 100% COVERAGE ON ALL LANDSCAPE AND TURF. THE SYSTEM SHALL INCLUDE A FREEZE-RAIN SENSOR.

Site Location



DRAWING KEY



Owner & Professionals Information

OWNER TURBO RESTAURANTS 3318 FOREST LANE, #200, DALLAS, TX 75234 214-551-0921	LANDSCAPE ARCHITECT FELDMAN DESIGN STUDIOS P.O. BOX 832346 RICHARDSON, TEXAS 75083 ATTN: CAROL FELDMAN, 972-980-1730
ENGINEER ARTEX, LLC 6800 WEISKOPF AVE, SUITE 150, MCKINNEY, TEXAS 75070 TBPE ENGINEERING FIRM F-16272972-731-2930	

ZONING CASE ZC 2016-02  
LANDSCAPE PLANTING PLAN

DATE: 2.4.16

NO. 1. SITE PLAN SUBMITTAL

2. REVISED PER COMMENTS

3.

4.

5.

6.

7.

These drawings have been prepared under the supervision of Carol Feldman, Registered Landscape Architect #2080, Licensed Irrigator LI #20245

Carol Feldman

LANDSCAPE PLAN  
ARBY'S RESTAURANT  
8245 PRECINCT LINE ROAD  
NORTH RICHLAND HILLS, TEXAS

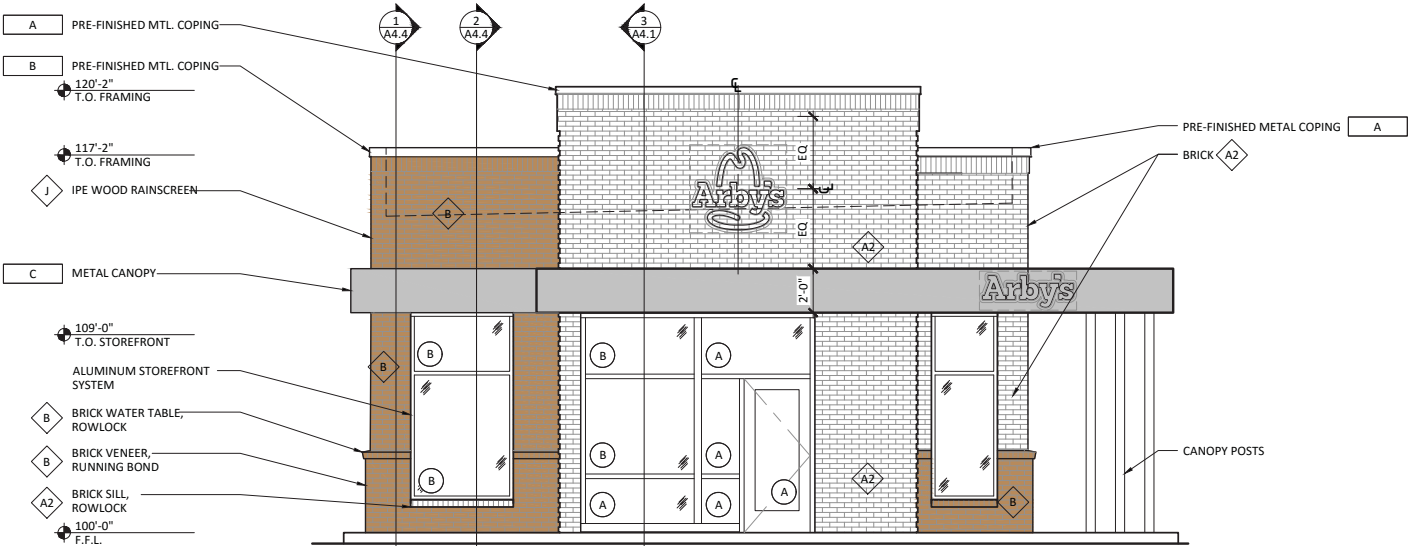
SHEET NO.

L1.01



MASONRY GROUP A	BRICK	87%
ACCENT	METAL	13%

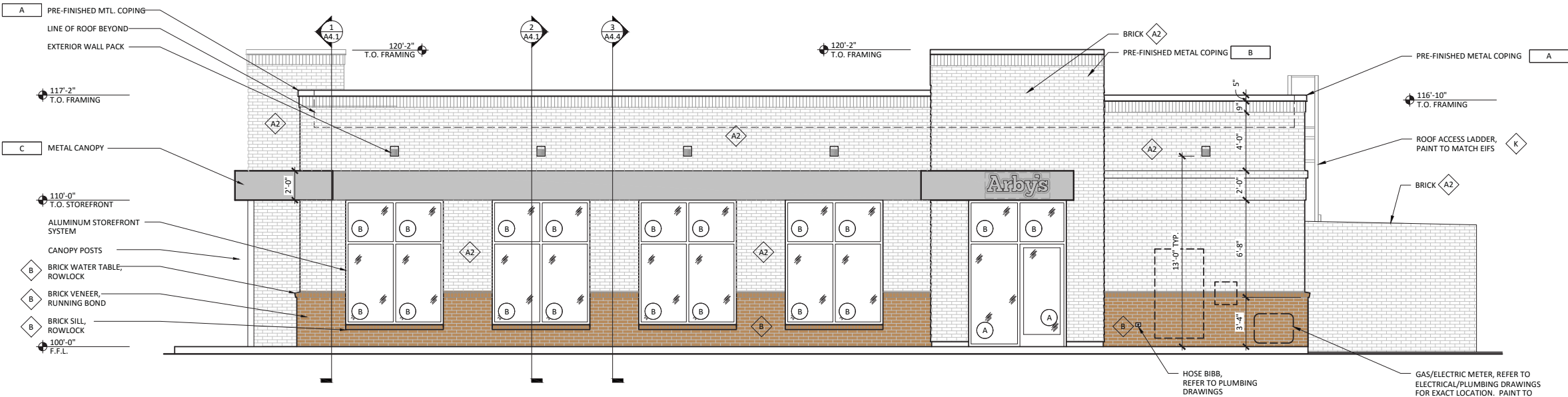
EXHIBIT I - ARBY'S



1  
A2.1  
1/4" = 1'-0"

FRONT ELEVATION

MASONRY GROUP A	BRICK	90%
ACCENT	METAL	10%



2  
A2.1  
1/4" = 1'-0"

SIDE ELEVATION

FINISH SCHEDULE

MARK	MANUFACTURER	DESCRIPTION	NOTES
GLASS TYPES			
A	---	1" CLEAR TEMPERED INSULATED GLASS UNIT	LOW "E"
B	---	1" CLEAR INSULATED GLASS UNIT	LOW "E"
C	---	1/4" CLEAR TEMPERED SAFETY GLASS	IN DRIVE THRU WINDOW UNIT

FINISHES			
A1	DRYVIT	#310 CHINA WHITE SANDBLAST TEXTURE	EIFS WALL SYSTEM
A2	COUNTY MATERIALS	HERITAGE COLLECTION WHITE NF	TEXTURE: SMOOTH GROUT: LATICRETE 90 LIGHT PEWTER
B	COUNTY MATERIALS	HERITAGE COLLECTION SABLE NF	TEXTURE: SMOOTH GROUT: LATICRETE 43 CHOC. TRUFFLE
C	NOT USED	---	---
D	SHERWIN WILLIAMS	PRIMER: LOXON ACRYLIC MASONRY PRIMER, A-24-300 FINISH: DTM ACRYLIC GLOSS, B66R38	TINT PRIMER TO SW P2 USE AT LEAST (2) TWO COATS OF FINISH
E	NOT USED	---	---
F	SHERWIN WILLIAMS	#SW 7024 FUNCTIONAL GRAY	SATIN FINISH
G	NOT USED	---	---
H	JAMES HARDIE	ARTISAN LAP SIDING - SMOOTH IRON GRAY	5/8" THICK 7 1/4" WIDTH (6" EXPOSURE)
J	IPE WOOD RAINSCREEN	---	PROVIDE UV SEALER
K	SHERWIN WILLIAMS	#SW 2123 WHITE	SATIN FINISH

METALS			
A	EXCEPTIONAL METALS/ DURO-LAST	TWO-PIECE SNAP-ON METAL COPING REGAL WHITE/ DURO-LAST #5R70/TE87	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA3110
B	EXCEPTIONAL METALS/ DURO-LAST	TWO-PIECE SNAP-ON METAL COPING DARK BRONZE/ DURO-LAST #5R70/TE87	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA3110
C	PRE-FABRICTED AWNING	PRIMER: BOND-PLEX WATERBASED ACRYLIC COATING, B71-200 FINISH: DTM ACRYLIC GLASS, B66R38	TINT PRIMER TO SW P2 USE AT LEAST (2) TWO COATS OF FINISH

1. PAINT ALL EXPOSED METERS, SERVICE ENTRANCES, GAS PIPE, ROOF ACCESS LADDER, ETC. TO MATCH ADJACENT EXTERIOR WALL SURFACE.
2. PROVIDE TEMPORARY MASKING OF EXPOSED STAINLESS STEEL DURING ACID WASHING OF MASONRY.
3. PROVIDE SOLID MASONRY UNITS AT THE ENDS OF JAMBS, SILLS, ETC.
4. TO HELP PREVENT EFFLORESCENCE ALL MASONRY UNITS ARE TO BE MANUFACTURED WITH INTEGRAL WATER REPELLANT. WATER REPELLANT ADMIXTURE IS TO BE MIXED IN AND PRE-WASHED SAND IS TO BE USED IN ALL MORTAR MIXES.
5. MAKE SURE THAT WALL WEEPS AND FLASHING ARE INSTALLED CORRECTLY. DO NOT BLOCK WEEPS. REFER TO SPECIFICATIONS ON SHEET SP-2.

ARTEC  
ARCHITECTURE ENGINEERING CONSTRUCTION

ARTEC LLC  
6800 WEISKOPF AVE  
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TBPE ENGINEERING FIRM F-16272  
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214.721.0732



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WAS AUTHORIZED BY DAVID M. REY, AIA  
NCARB 11676 ON 3/29/2016

ARBY'S RESTAURANT GROUP  
LOT 2, BLOCK 1  
WAL-MART ADDITION KNOWN AS  
8245 PRECINCT LINE ROAD  
NORTH RICHLAND HILLS, TEXAS 76182

TURBO RESTAURANTS  
3318 FOREST LANE, SUITE 200  
DALLAS, TEXAS 75234

PROJECT ISSUE DATES

01  
02  
03  
04  
05  
06  
07  
08  
09  
10

ARTEC PROJECT NO. 16-1110 CLIENT PROJECT NO. FILE NO.

SHEET REVISIONS MARK DATE DESCRIPTION

SHEET DATA

PROJECT ORIENTATION



EXTERIOR  
ELEVATIONS

DRAWN BY RGM CHECKED BY JR MANAGER JR

CASE ZC 2016-02

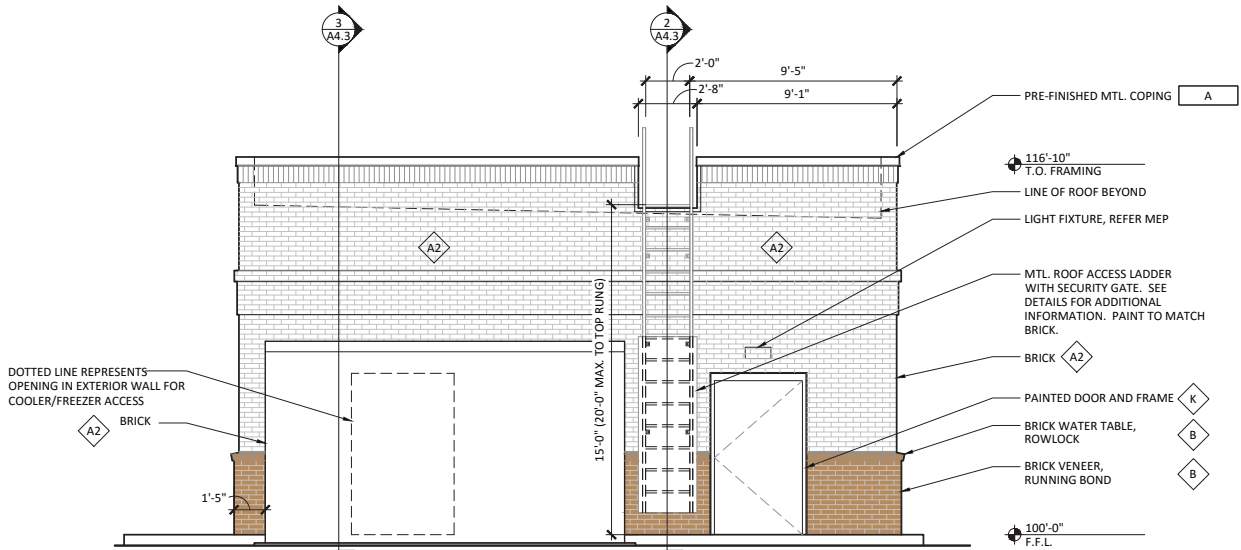
DATE: 3/29/2016

A2.1

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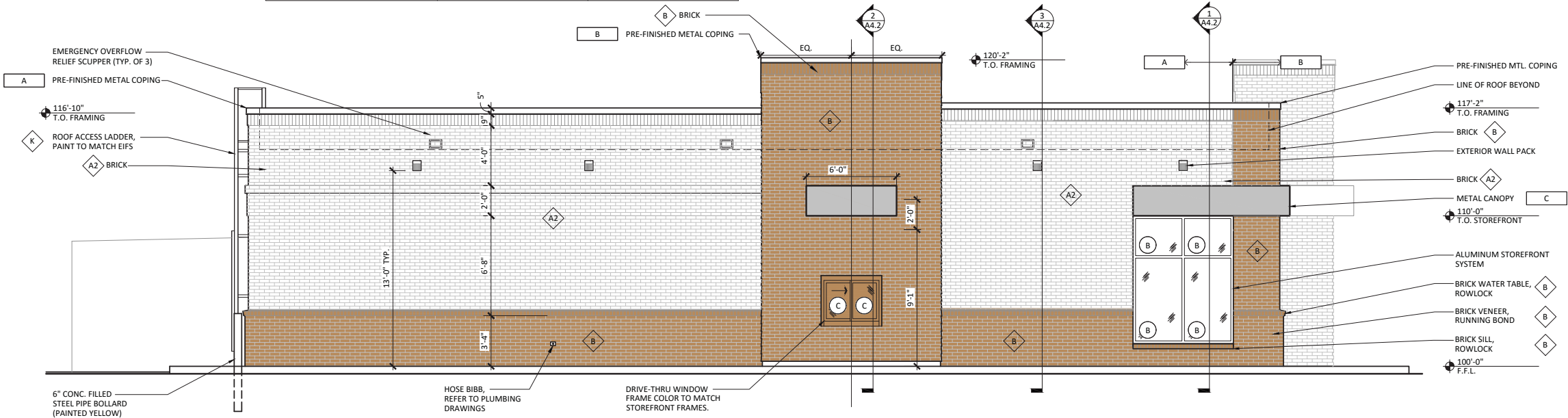
MASONRY GROUP A	BRICK	100%
-----------------	-------	------

EXHIBIT I - ARBY'S



1 REAR ELEVATION  
1/4" = 1'-0"

MASONRY GROUP A	BRICK	95%
ACCENT	METAL	5%



2 SIDE ELEVATION  
1/4" = 1'-0"

FINISH SCHEDULE

MARK	MANUFACTURER	DESCRIPTION	NOTES
GLASS TYPES			
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3318 FOREST LANE, SUITE 200  
DALLAS, TEXAS 75234

PROJECT ISSUE DATES

ARTEC PROJECT NO. 16-1110 CLIENT PROJECT NO. FILE NO.

SHEET REVISIONS MARK DATE DESCRIPTION

PROJECT ORIENTATION



EXTERIOR ELEVATIONS

DRAWN BY RGM CHECKED BY JR MANAGER JR

CASE ZC 2016-02

DATE: 3/29/2016

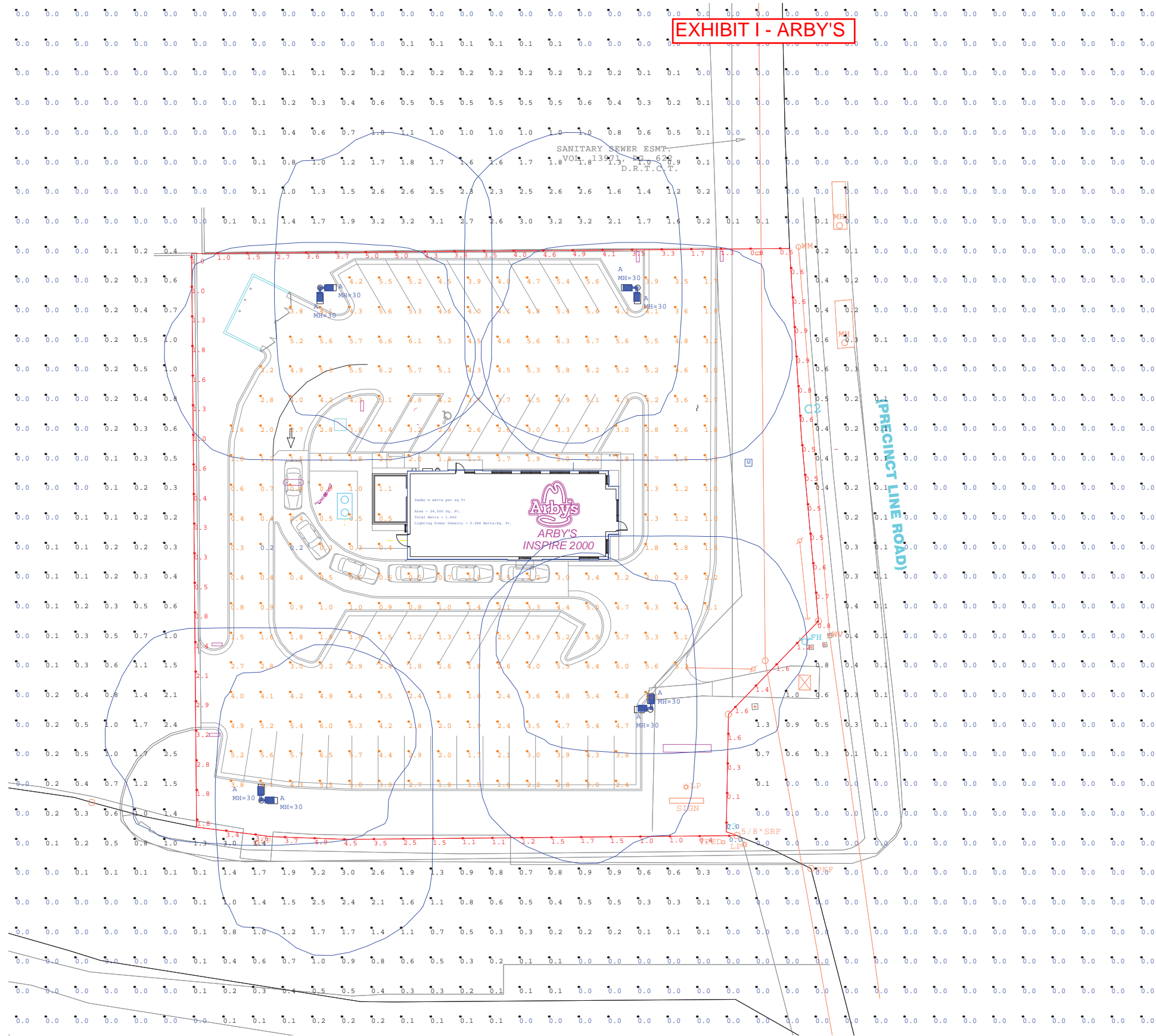
A2.2

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EXHIBIT I - ARBY'S



Luminaire Schedule					Description	Watts
Symbol	Qty	Label	Lumens	LLF		
	8	A	-1	0.850	SS2-B16-6K-DN-FT-NL	200
Calculation Summary						
Label	Avg	Max	Min	Avg/Min	Max/Min	
Beyond prop line	0.14	3.4	0.0	N.A.	N.A.	
Property line	1.84	5.0	0.0	N.A.	N.A.	
Parking lot	3.21	6.7	0.2	16.05	33.50	

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junolightinggroup.com

Client:  
  
SMART LIGHTING SOLUTIONS  
MR. RANDY PARRISH

Project:  
ARBY'S NORTH RICHLAND HILLS TX  
PRECINCT LINE ROAD  
MAINTAINED HORIZONTAL FC  
SHOWN AT GRADE LEVEL

Scale:  
  
Date: 2016-02-19  
  
Project No:  
16-51-SMART1 (4868)  
  
Drawn by: LJ

The calculation and results thereof, shown in this report, are based on information provided by the customer. The output figures are only as accurate as the input data. Therefore design parameters such as room reflectances, size, mounting height, depreciation factors, orientation and tilt must be verified.  
Juno Lighting Group disclaims all implied warranties with regard to actual installed light levels as compared to those calculated based on inaccurate or incomplete data