



REAL ESTATE #2012618 BUILDING TYPE PT14L RUFÉ SNOW N. RICHLAND HILLS, TX 76180 DRC SUBMITTAL

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REVISIONS	SYMBOL	DATE	DESCRIPTION

PROJECT: PT14L BUILDING TYPE UNIT 368 OFFSET RUFÉ SNOW AND LP 820 NORTH RICHLAND HILLS, TX 76180

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SHEET TITLE:
TITLE SHEET & INDEX OF DRAWINGS

PROJECT # 2102618
DATE: 5/29/2017
SCALE:
DRAWN BY: RC
APPROVED BY: JAQ

SHEET NO:
T1.1



CASE SUP 2017-04

SYMBOLS OWNER / CONSULTANTS

- CONCRETE MASONRY UNIT
- WOOD
- CONCRETE
- FIBERGLASS INSULATION
- PLYWOOD
- PRE-FAB COOLER BOX WITH INSULATION
- EARTH
- BRICK
- GYPSUM BOARD
- STUD WALL
- STUD WALL W/ INSULATION
- LIMITS OF CONSTRUCTION
- ELEVATION SHEET NUMBER
- BUILDING SECTION SHEET NUMBER
- WALL SECTION SHEET NUMBER
- DETAIL SHEET NUMBER
- WINDOW DESIGNATION
- DOOR DESIGNATION
- KEY NOTE DESIGNATION
- FINISH DESIGNATION
- DINING ROOM ROOM NAME
- ROOM NUMBER

OWNER
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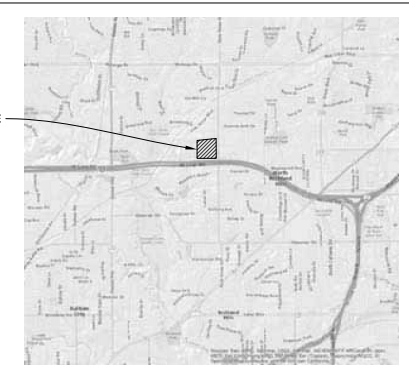
CODE ANALYSIS & GENERAL NOTES

APPLICABLE CODES			
JURISDICTION	CITY	COUNTY	STATE
CODE ENFORCEMENT	NORTH RICHLAND HILLS	TARRANT	TEXAS
SCOPING	NORTH RICHLAND HILLS	TARRANT	TEXAS
CODE	TITLE	EDITION	AMENDMENTS
BUILDING	INTERNATIONAL BUILDING CODE	2012	LOCAL
FIRE	INTERNATIONAL FIRE CODE	2012	LOCAL
MECHANICAL	INTERNATIONAL MECHANICAL CODE	2012	LOCAL
ELECTRICAL	NATIONAL ELECTRICAL CODE	2011	LOCAL
PLUMBING	INTERNATIONAL PLUMBING CODE	2012	LOCAL
LANDSCAPE	LOCAL LANDSCAPE ORDINANCE	YES	-
ENERGY	INTERNATIONAL ENERGY CONSERVATION CODE	2012	-
SCAFFOLD	LOCAL SCAFFOLD ORDINANCE	YES	-
ASBESTOS	2013 ASBESTOS ABatement STANDARDS	30150033	-
HEALTH	LOCAL HEALTH REQUIREMENTS	YES	-
USE AND OCCUPANCY CLASSIFICATION			
USE GROUP	CONSTRUCTION TYPE	FIRE PROTECTION	MIXED USE SECTION 502
300	TABLE 601	90.3.2.1	3.942
CLASSIFICATION	ASSEMBLY 2	VB	REQUIRED MAJOR OCCUPANCY A-2 NONSEPARATE TO OCC
ACTUAL BUILDING AREA			3,942
MODE USE	ASSEMBLY, STORAGE BUSINESS		
GENERAL BUILDING SUMMARY			
BUILDING HEIGHT LIMITATIONS	STORIES	BUILDING AREA LIMITATIONS (PER FLOOR)	TABLE 503
ALLOWABLE HEIGHT LIMITATION	1 STORY, 40'	ALLOWABLE AREA LIMITATION	8,000
ALLOWABLE HEIGHT INCREASE (SPRINKLER BY STIM)	1 STORY, 30'	ALLOWABLE AREA INCREASE	300%
OTHER	N/A	ALLOWABLE AREA INCREASE (SEPARATION)	N/A
TOTAL ALLOWABLE HEIGHT	60'	TOTAL ALLOWABLE AREA	18,000
ACTUAL HEIGHT (IN STORIES)	1 STORY, 21'-0"	ACTUAL BUILDING AREA	3,942
FIRE RESISTANCE RATINGS			
BUILDING ELEMENT	RATING (HOURS)	DESIGN NO.	REMARKS
STRUCTURAL FRAME	0		TABLE 601
BEARING WALLS - EXTERIOR	0		TABLE 601
BEARING WALLS - INTERIOR	0		TABLE 601
NONBEARING WALLS - EXTERIOR	0		TABLE 602
NONBEARING WALLS - INTERIOR	0		TABLE 601
FLOOR CONSTRUCTION	0		-
ROOF CONSTRUCTION	0		TABLE 1018.1
CORRIDORS	0		TABLE 1018.1
OPEN EGRESS STAIRS	N/A		-
FIRE RESISTANCE RATINGS FOR EXTERIOR WALLS BASED ON SEPARATION DISTANCE			
MINIMUM FIRE RESISTANCE RATING	MINIMUM FIRE SEPARATION	ACTUAL FIRE SEPARATION	TABLE 601
0	5'-0"	5'-0"	
OCCUPANT LOAD			
OCCUPANCY	AREA (SF)	FACTOR (SQ FT PER OCCUPANT)	LOAD (OCCUPANTS)
STORAGE	600	3	3
BUSINESS	41	100	1
COMMERCIAL KITCHEN	925	200	5
FLOOR SEATING	N/A	ACTUAL	488
POD SEATING	-	24 PER PERSON	53
WAITING	90	5	18
RESTROOMS	298	9 NET	8
TOTAL	1,924		538

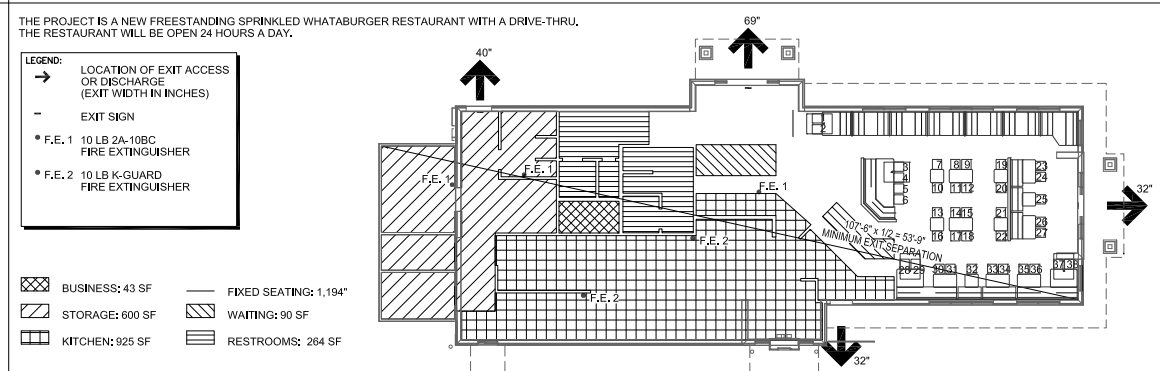
EGRESS WIDTH SALES FLOOR					
STARWAYS	0.3	N/A	N/A	1008.3.1	
DOORS, RAMP, COORIDORS	0.2	30	141	1008.3.2	
EXIT ACCESS REQUIREMENTS					
MINIMUM NUMBER OF EXITS	2	3	TABLE 1021.1		
MINIMUM CORRIDOR WIDTH (FEET)	4'	44"	1018.2		
STORE SEPARATION (FEET)	5'-0"	8'-0"	1018.2.1		
MAXIMUM LENGTH OF EXIT ACCESS TRAVEL (FEET)	200'	200'	1018.1		
MAXIMUM DEAD END (FEET)	30'	200'	1018.4		
MAXIMUM COMMON PATH OF EGRESS TRAVEL (FEET)	20'	75'	1018.4		
INTERIOR FINISHES					
MAXIMUM FLAME SPREAD CLASS	WALLS/CEILING	REMARKS	IBC 2012	TABLE 803.9	
EXIT PASSAGEWAYS	A	TABLE 803.9			
CORRIDORS	B	TABLE 803.9			
ROOMS AND ENCLOSED SPACES	C	TABLE 803.9			
PLUMBING FIXTURE COUNT					
TOTAL STORE OCCUPANT LOAD	138	MALE: 68	FEMALE: 68	IPC 2012	TABLE 403
FIXTURE TYPE	FACTOR PER OCCUPANT	REQUIRED	PROVIDED	REMARKS	
WATER CLOSET	1	1	1	2	
URINALS	10% MAY BE URINAL	N/A	N/A	1	N/A
LAVATORIES	200	1	1	1	
ANKER TOILET REQUIRED IF 4 OR MORE WC ARE REQUIRED	N/A	1	0		
SERVICE SINKS	1 REQUIRED	1	1	1	at each dispenser
DRINKING FOUNTAINS	300	1	1	1	

- PERFORM WORK IN COMPLIANCE WITH ALL APPLICABLE ACCESSIBILITY, FEDERAL, STATE AND LOCAL CODES AND ORDINANCES. NOTIFY ARCHITECT OF ANY DISCREPANCIES FOR CLARIFICATION.
- NOT USED.
- COORDINATE ALL TRADES PRIOR TO CONSTRUCTION TO ENSURE PROPER SEQUENCING OF THE WORK.
- VERIFY ALL EXISTING CONDITIONS PRIOR TO BIDDING, FABRICATION AND CONSTRUCTION. NOTIFY ARCHITECT OF ANY DISCREPANCIES FOR CLARIFICATION.
- DO NOT SCALE DRAWINGS. NOTIFY ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES FOR CLARIFICATION.
- DIMENSIONS UNLESS NOTED OTHERWISE:
TO FACE OF WOOD STUD, CONCRETE OR MASONRY WORK; TO CENTERLINE OF COLUMNS OR OTHER GRID POINTS TO CENTERLINE FRAMED WINDOW AND DOOR OPENINGS; TO FINISH FACES OF CLEAR WIDTHS.
- VERIFY SIZE, CHARACTERISTICS, AND REQUIRED CLEARANCES OF ALL EQUIPMENT TO BE FURNISHED WITH MANUFACTURERS OR SUPPLIERS PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT OF ANY DISCREPANCIES FOR CLARIFICATION.
- PROVIDE BLOCKING AND GROUNDS AS SPECIFIED FOR BUILT-IN AND SURFACE MOUNTED ITEMS PRIOR TO APPLYING WALL-SURFACING MATERIALS. LOCATIONS SHALL BE COORDINATED WITH THE WORK OF OTHER TRADES.
- CONCEAL ALL PLUMBING, DUCTWORK, CONDUIT, WIRE, AND SIMILAR ITEMS UNLESS NOTED OTHERWISE.

VICINITY MAP N.T.S.

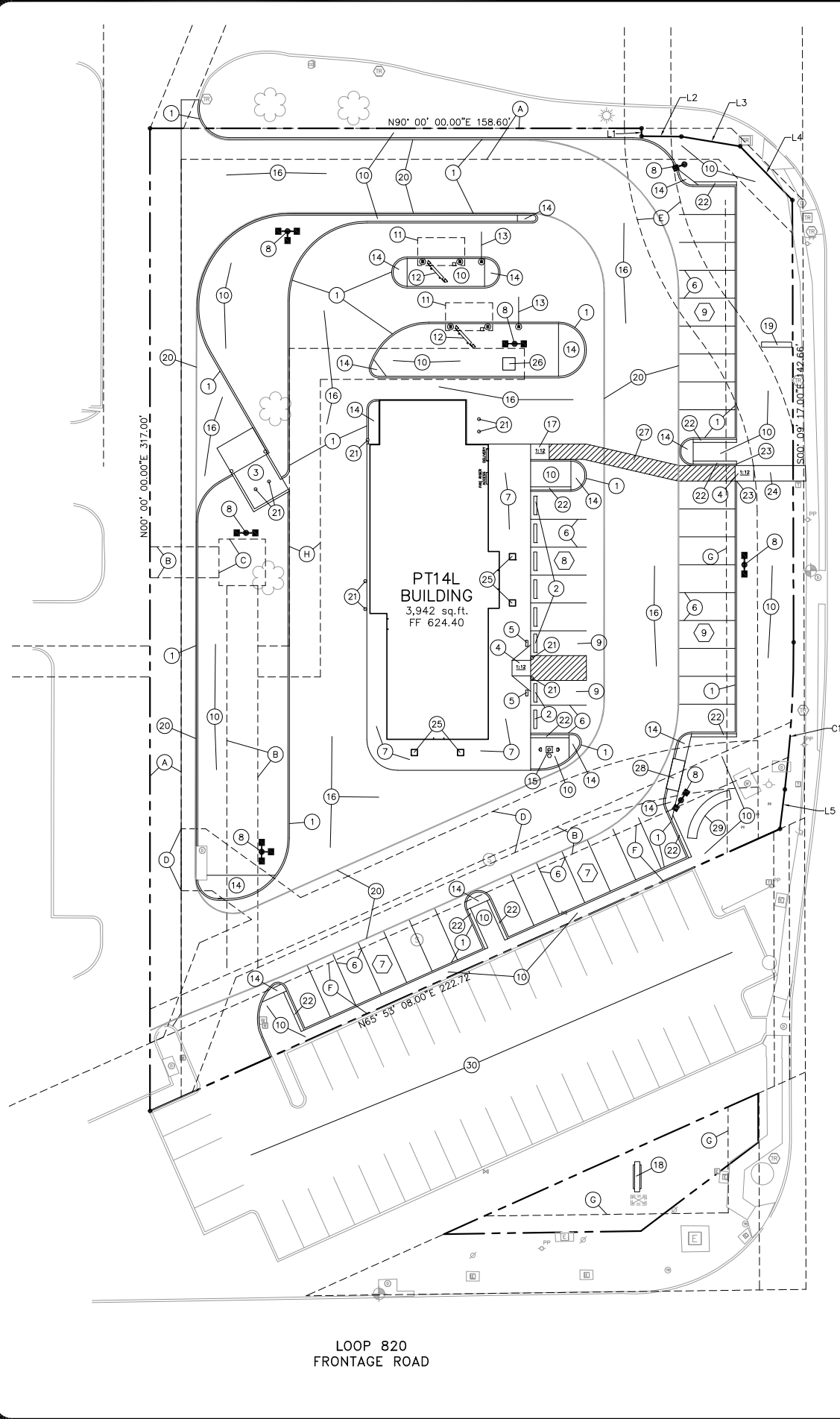


LIFE SAFETY PLAN N.T.S.



Plot Date/Time: Jun. 06. 17. - 16:30:22

Drawing: McNAUL\9385 - 2102618 - (388 Offset) 820 & Rufe Snow, North Richland Hills, TX 75080, CADD\0202 CIVIL\02025 Comp\C-3.0 CIVIL SITE PLAN.dwg



LINE	LENGTH	DIRECTION
L1	2.52'	S00°34'12"E
L2	12.84'	S89°23'58"E
L3	19.20'	S80°37'50"E
L4	24.22'	S44°10'35"E
L5	12.82'	S07°01'48"W

CURVE	RADIUS	LENGTH	DELTA	CHORD	BRNG	CHORD
C1	383.36'	47.58'	7°08'40"	503°24'03"W	47.55'	

NOTES BY SYMBOL

- ① 6" CONCRETE CURB, SEE SHEET C-7.1, DETAIL 11
- ② 6" LONG PRECAST CONCRETE WHEEL STOP, SEE SHEET C-3.1, DETAIL 04
- ③ DUMPSTER ENCLOSURE, REF STRUCTURAL PLANS, SEE SHEET S-7.1, DETAIL A3
- ④ ADA CURB RAMP, SEE SHEET C-3.1 FOR DETAIL
- ⑤ ADA CURB SIGNAGE, SEE SHEET C-3.1 FOR DETAIL
- ⑥ 90° PARKING & PAVEMENT STRIPING, SEE SHEET C-3.1, DETAIL 01
- ⑦ BUILDING PERIMETER SIDEWALK, REF STRUCTURAL PLANS FOR DETAILS
- ⑧ AREA LIGHT WITH POLE AND BASE, SEE SHEET S-7.1, DETAIL A1
- ⑨ ADA PARKING, SEE SHEET C-3.1, DETAIL 01
- ⑩ LANDSCAPE AREA, REF LANDSCAPING PLANS, SEE SHEET L-1.1 FOR DETAILS
- ⑪ MENU BOARD CANOPY, SEE SHEET A-0.1, DETAIL C1 AND S-7.1, DETAILS D3
- ⑫ EXTERIOR MENU BOARD, REF ARCH. PLANS, SEE SHEET A-0.1, DETAIL B4
- ⑬ HEADACHE BAR, SEE SHEET S-7.1, DETAIL D4
- ⑭ CONCRETE SIDEWALK/ISLAND NOSE (TYP), SEE SHEET C-7.1, DETAIL 06
- ⑮ FLAGPOLE WITH GROUND MOUNTED LIGHTS, UNITED FLAG AND BANNER, GARRISON TYPE OR OWNER APPROVED EQUAL, 30' HIGH, 5" BUTT ALUMINUM WITH 14 GAUGE ALUMINUM BALL FINIAL. INCLUDE ALUMINUM ROLLER AND SLEEVE. HARDWARE TO INCLUDE STATIONARY TRUCK, NYLON FLAGSNAPS AND HALYARDS, ENTIRE ASSEMBLY (INCLUDING FOUNDATION) TO CONFORM TO APPLICABLE CODES, SEE SHEET S-7.1, DETAIL A2 FOR FOUNDATION DETAILS SEE SHEET E3.1, DETAIL 4 FOR LIGHT DETAILS
- ⑯ CONCRETE PAVEMENT, SEE SHEET C-7.1, DETAIL 01
- ⑰ LOADING RAMP/ADA RAMP, SEE SHEET C-3.1, DETAIL 06
- ⑱ PYLON SIGN, REF SIGNAGE PLANS FOR DETAILS
- ⑲ MONUMENT SIGN, REF SIGNAGE PLANS FOR DETAILS
- ⑳ FIRE LANE STRIPING, SEE SHEET C-3.1, DETAIL 03
- ㉑ 6" STEEL BOLLARD, SEE STRUCTURAL SHEET S-7.1, DETAIL C1. FINAL LOCATION OF THE 2 BOLLARDS NEAR ELECTRICAL CONNECTION TO BE COORDINATED WITH ELECTRICAL SURVEYOR.
- ㉒ 1' DECOMPOSED GRANITE STRIP, REFER TO LANDSCAPE PLANS FOR DETAILS
- ㉓ CURB TERMINAL, SEE SHEET C-7.1, DETAIL 02
- ㉔ 5' WIDE CONCRETE SIDEWALK, PER CITY OF NORTH RICHLAND HILLS SPECIFICATIONS
- ㉕ COLUMNS, SEE SHEET A.1 FOR MORE INFORMATION
- ㉖ NEW TRANSFORMER PAD, CONTRACTOR TO COORDINATE WITH ONCOR
- ㉗ 5' WIDE PAINTED PEDESTRIAN ACCESS ROUTE, SEE SHEET C-7.1 FOR STRIPING SPECIFICATIONS
- ㉘ PROPOSED STORM DRAIN SYSTEM, SEE SHEET C-5.0 FOR MORE INFORMATION
- ㉙ PROPOSED 20 L.F., DECORATIVE WALL, SEE ARCHITECTURAL SHEETS FOR MORE INFORMATION
- ㉚ EXISTING CONCRETE PARKING AREA TO REMAIN

RUFÉ SNOW
VOL. 10517, PG. 1355 &
VOL. 7148, PG. 59
(C.O.W. WIDTH VARIES)

SITE DATA TABLE

ZONING	C-2 WITHIN CORRIDOR OVERLAY DISTRICT
EXISTING LAND USE	EXISTING RESTAURANT
PROPOSED LAND USE	NEW WHATABURGER RESTAURANT WITH DRIVE THRU SERVICE
LOT AREA	1,2787 AC., (55,699 S.F.)
BUILDING SLAB	3,942 S.F.
BUILDING SLAB/LOT AREA PERCENTAGE	6.4%
BUILDING HEIGHT	21 FT.
FRONT YARD SETBACK	50 FT.
LANDSCAPE SETBACK (RUFÉ SNOW)	15'
PARKING REQUIRED	27 SPACES
PARKING PROVIDED	40 SPACES
LANDSCAPING (ON-SITE)	12,905 S.F.
ON-SITE CONCRETE PAVING (PARKING AND DRIVES)	31,815 S.F.
CURB (ON-SITE)	1,627 L.F.
BUILDING PERIMETER WALK	2,061 S.F.
CONCRETE FLATWORK (ON-SITE)	721 S.F.

EASEMENTS AND SETBACKS

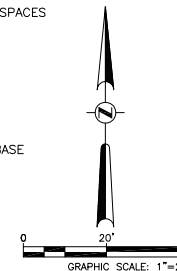
- (A) EXISTING 10' PUBLIC UTILITY EASEMENT, CAB A, SLIDE 1184
- (B) EXISTING 10' ELECTRIC EASEMENT, VOL. 11308, PG. 965, R.P.R.T.C.T.
- (C) EXISTING 15'x15' ELECTRIC EASEMENT, VOL. 11308, PG. 965, R.P.R.T.C.T.
- (D) EXISTING 15' AND VARIABLE WIDTH DRAINAGE EASEMENT, VOL. 11132, PG. 602, R.P.R.T.C.T.
- (E) EXISTING 15' DRAINAGE EASEMENT, CAB A, SLIDE 1184
- (F) EXISTING 20' WATER AND SEWER EASEMENT, VOL. 10518, PG. 1741, R.P.R.T.C.T.
- (G) EXISTING 25' BUILDING LINE
- (H) PROPOSED 10 ELECTRIC EASEMENT

LEGAL DESCRIPTION

BEING A TRACT OR PARCEL OF LAND SITUATED IN THE J.M. VAN DUSEN SURVEY, ABSTRACT NO. 1588 IN THE CITY OF NORTH RICHLAND HILLS, TARRANT COUNTY, TEXAS AND BEING PART OF LOT 3, BLOCK 4, TAPP ADDITION, AN ADDITION TO THE CITY OF NORTH RICHLAND HILLS, AS RECORDED IN CABINET A, SLIDE 1184, PLAT RECORDS, TARRANT COUNTY, TEXAS.

LEGEND

- ⑧ NUMBER OF PARKING SPACES
- PROPERTY LINE
- - - EASEMENT LINE
- CONCRETE CURB
- ▭ BUILDING
- AREA LIGHT POLE & BASE



THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES 24-HOURS PRIOR TO COMMENCING CONSTRUCTION.

REVISIONS:	SYMBOL	DATE	DESCRIPTION	BY

PROJECT: PT14L BUILDING TYPE
UNIT 368 OFFSET
RUFÉ SNOW AND LP 820
NORTH RICHLAND HILLS, TX 76180

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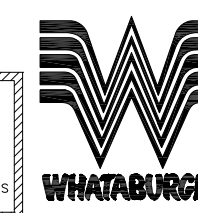
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SHEET TITLE:
CIVIL SITE PLAN

PROJECT NO. 2102618
DATE: 6/6/2017
SCALE: 1"=20'
DRAWN BY: PTW
APPROVED BY: MH

SHEET NO:
C-3.0

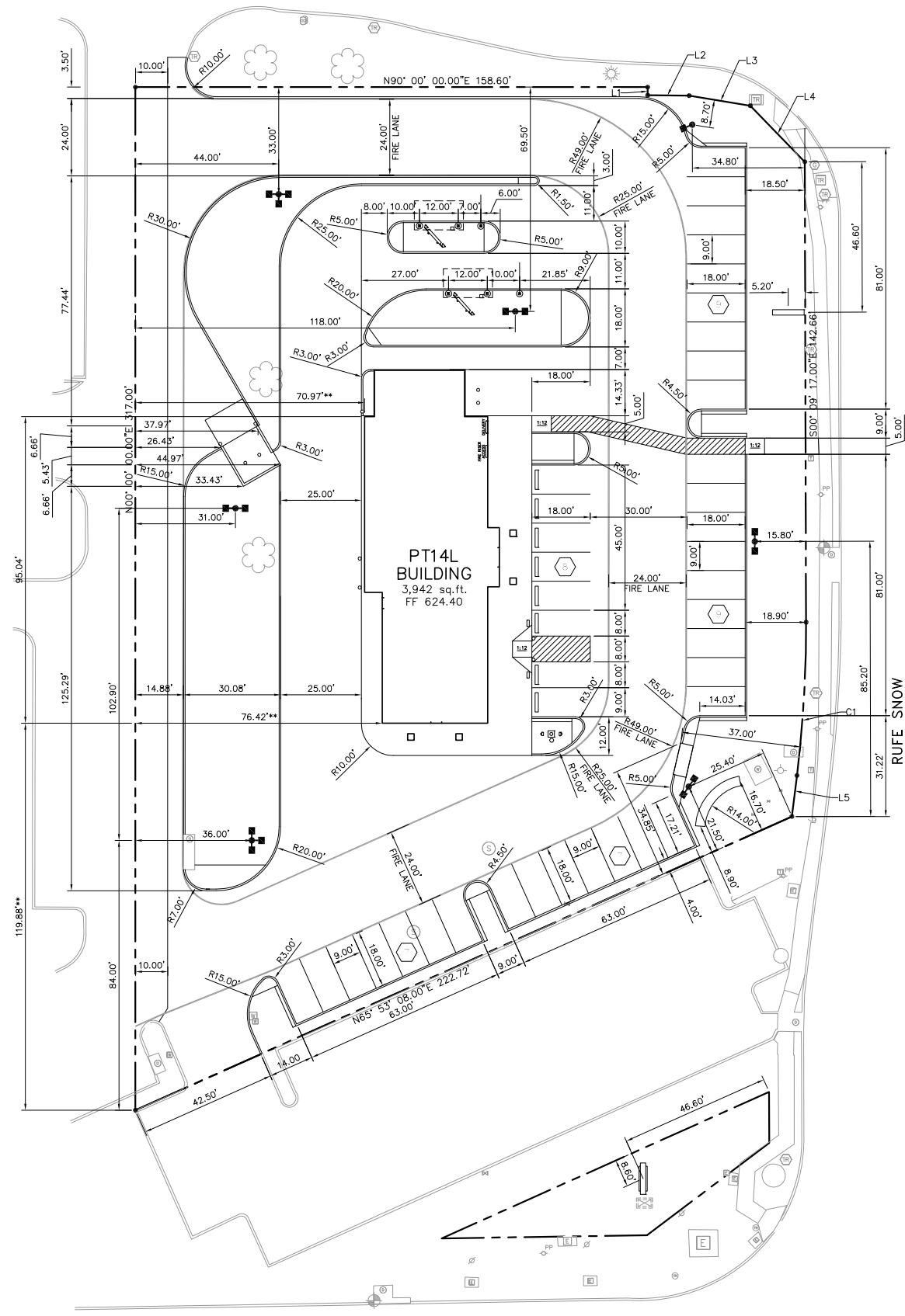
CASE SUP 2017-04



Plot Date/Time: Jun. 06. 17 - 16:33:24

Drawing: McJANUS985 - 2102618 - (388 Offset) 820 & Rufe Snow, North Richland Hills, TX 7700 CADDD1702 Civil/20.5 Comp/C-4.0 DIMENSIONAL CONTROL PLAN.dwg

LINE TABLE			CURVE TABLE					
LINE	LENGTH	DIRECTION	CURVE	RADIUS	LENGTH	DELTA	CHORD BRNG	CHORD
L1	2.52'	S00°34'12"E	C1	383.36'	47.58'	7°06'40"	S03°24'03"W	47.55'
L2	12.84'	S89°23'58"E						
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RUFÉ SNOW
VOL. 18517, PG. 1355 &
VOL. 7148, PG. 59

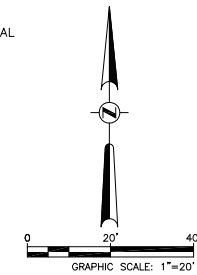
LOOP 820
FRONTAGE ROAD

NOTES

1. ALL DIMENSIONS ARE TO FACE OF CURB/EOP, TO CENTER OF PAINT STRIPING OR PERPENDICULAR TO THE PROPERTY LINE, UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONAL CONTROL DISTANCES FOR PARKING AREAS AND DRIVEWAYS/LANES ARE FROM FACE OF CURB/EOP. NO OFFSETS ARE GIVEN.
3. ALL FACE OF CURB RADII ARE 5.0' UNLESS OTHERWISE NOTED.
4. SEE SHEETS C-3.1 AND C-7.1 FOR CIVIL DETAILS.
5. CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL AND STRUCTURAL PLANS. REFERENCE SHEET S1.1 FOR ADDITIONAL BUILDING DIMENSIONS.
6. **NOTE: DIMENSION SHOWN IS TO THE OUTSIDE EDGE OF THE 2X6 WALL STUD. REFERENCE SHEET S5.1 FOR ADDITIONAL BUILDING DIMENSIONS.

LEGEND

- NUMBER OF PARKING SPACES
- PROPERTY LINE
- EASEMENT LINE
- CONCRETE CURB
- BUILDING
- AREA LIGHT POLE & BASE



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PT14L BUILDING TYPE
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NORTH RICHLAND HILLS, TX 76180

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SHEET TITLE:
DIMENSIONAL CONTROL PLAN

PROJECT NO. 2102618
DATE: 6/6/2017
SCALE: 1"=20'
DRAWN BY: PTW
APPROVED BY: MH

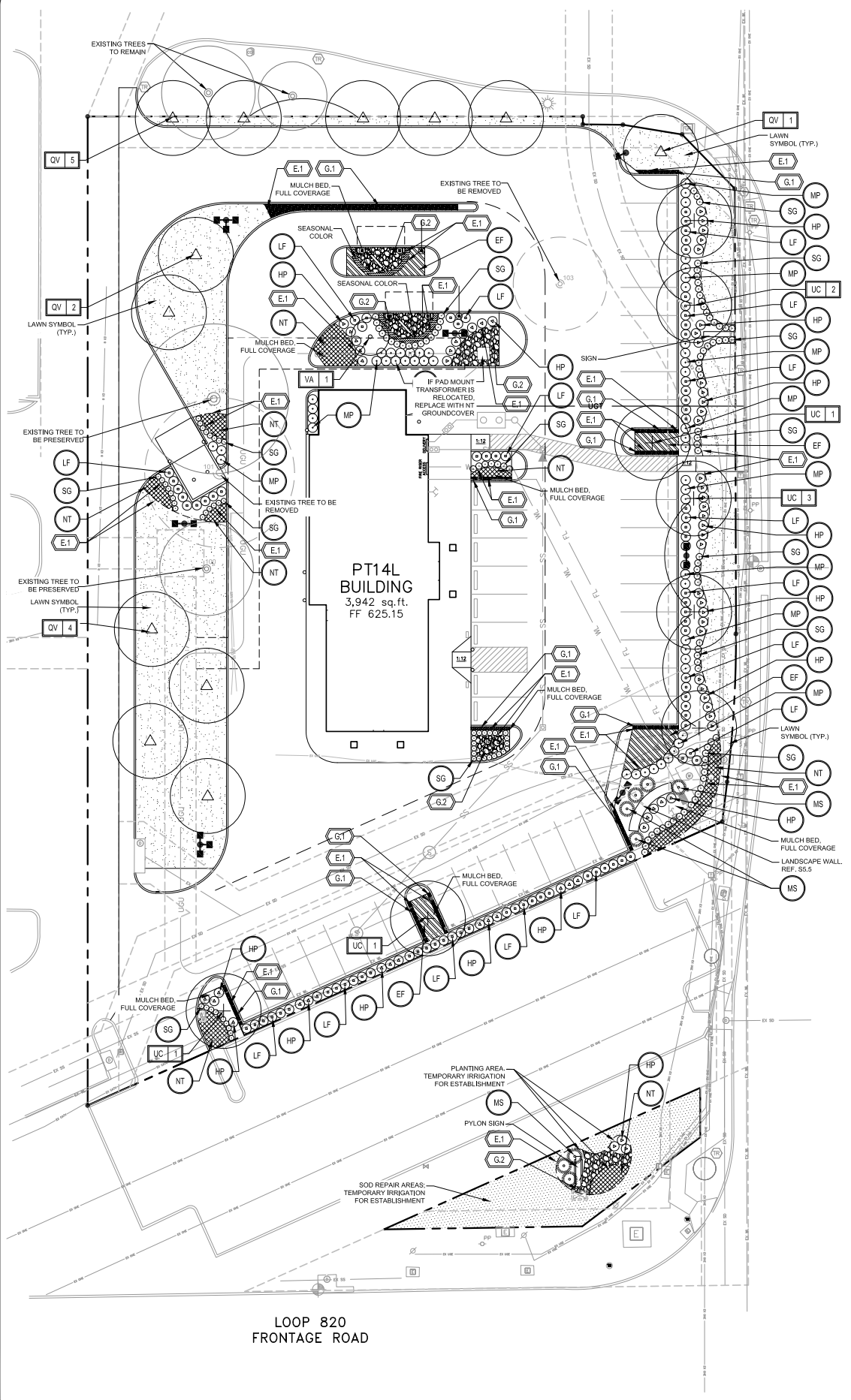
SHEET NO:
C-4.0

CASE SUP 2017-04



Plot Date: 1/14/2017, Jun. 06, 17 - 11:46:09

Drawing: M:\141\141855-2\102618-0853\Office\820 & Rufe Snow, North Richland Hills, TX\700 CAD\702 01\702 01 Landscaping.dwg



LEGEND

- EXISTING TREE TO BE PRESERVED
- EXISTING TREE TO BE REMOVED
- CEDAR ELM (3")
Ulmus crassifolia
- LIVE OAK
(4" REPLACEMENT TREE)
Quercus virginiana
- CHASTE TREE (2")
Vitex angust-castus
- 'SILVERADO' SAGE (7 GAL.)
Leucophyllum frutescens 'Silverado'
- DWARF WAX MYRTLE (7 GAL.)
Myrica pusilla
- RED YUCCA (5 GAL.)
Hesperaloe parviflora
- AUTUMN SAGE (3 GAL.)
Salvia greggii
- MEXICAN FEATHERGRASS (1 GAL.)
Nassella tenuisima
- PURPLE WINTERCREEPER (4" POT)
Euonymus fortunei 'Coloratus'
- STEEL PLANTER BED EDGING
- DECOMPOSED GRANITE GRAVEL
- 2-4" ROCK COBBLE

RUFÉ SNOW

LANDSCAPE REQUIREMENTS - NORTH RICHLAND HILLS, TX

TOTAL SITE AREA: 57,432 SF
RUFÉ SNOW: 226 LF
PARKING SPACES: 41

REQUIRED	PROVIDED
1. LANDSCAPE AREA: 57,432 x .15 = 8,615 SF LANDSCAPED AREA	1. 12,259 SF PROVIDED
2. LANDSCAPE AREA SETBACK (RUFÉ SNOW): 15' LANDSCAPE SETBACK -REQUIRED TREES: 1 TREE PER 50 LF OF FRONTAGE (226 / 50 = 4.52) 5 TREES REQUIRED -REQUIRED SHRUBS: 10 SHRUBS PER 50 LF OF FRONTAGE (226 / 50 = 4.52 x 10 = 46) 46 SHRUBS REQUIRED	2. 15' LANDSCAPE SETBACK PROVIDED -5 TREES PROVIDED ALONG RUFÉ SNOW -126 SHRUBS PROVIDED ALONG RUFÉ SNOW
3. PARKING LOT SCREENING: LARGE SHRUBS PLANTED MAX. 36" O.C. WITH MIN. HEIGHT OF 30"	3. PROVIDED
4. PARKING LOT LANDSCAPING: -REQUIRED TREES: 1 TREE PER 20 PARKING SPACES (41 / 20 = 2.05) 3 TREES IN ISLANDS REQUIRED - PARKING ENTRANCE ISLANDS SHALL BE PLANTED WITH SMALL SHRUBS -NO PARKING MORE THAN 100 LF FROM A LARGE TREE -5% OF THE PARKING AREA TO BE LANDSCAPED (25,815 x .05 = 1,791 SF PARKING LOT LANDSCAPE AREA)	4. 3 TREES IN ISLANDS PROVIDED LANDSCAPED PARKING ENTRANCE PROVIDED NO PARKING MORE THAN 100 LF FROM LARGE TREE 5,500 SF PARKING LOT LANDSCAPE PROVIDED
5. HARDSCAPE (ALONG RUFÉ SNOW): -LOW WALL: 30 SF STONE FACADE PER 50 SF FRONTAGE (226 / 50 = 4.52 x 30 = 136 SF REQUIRED)	5. 136 SF PROVIDED 3'H x 3'W x 20'L = 138 SF FACADE

TREE MITIGATION CHART

TREE NUMBER	TREE TYPE	PRESERVE / REMOVE	TREE SIZE (CAL.)
100	OAK	PRESERVE	18"
101	OAK	REMOVE	30"
102	OAK	PRESERVE	24"
103	OAK	REMOVE	16"

TOTAL INCHES REMOVED	46
TOTAL INCHES TO BE MITIGATED	46
PROPOSED REPLACEMENT INCHES: (12) 4" CAL. TREES	48
REMAINING INCHES TO BE PAID TOWARDS CITY'S REFORESTATION FUND	0

NOTES:

- SEE SHEET L-1.1 FOR PLANTING SCHEDULE AND DETAILS.
- ALL SCREENING SHRUBS SHALL BE PLANTED A MINIMUM OF TWO FEET FROM THE BACK OF CURB.
- ALL PARKING ISLAND SHRUBS SHALL BE PLANTED A MINIMUM OF TWO AND A HALF FEET FROM THE BACK OF CURB.
- ALL TREES SHALL BE PLANTED A MINIMUM OF FIVE FEET FROM UNDERGROUND UTILITY LINES.
- ALL AREAS OUTSIDE OF PROPERTY LINE DUE TO CONSTRUCTION ACTIVITIES TO BE RE-VEGETATED WITH SOD, UNLESS OTHERWISE NOTED, REPAIR AREAS TO RECEIVE TEMPORARY IRRIGATION, IF NECESSARY, UNTIL VEGETATION IS ESTABLISHED UNLESS OTHERWISE DIRECTED BY OWNER.

REVISIONS:	SYMBOL	DATE	DESCRIPTION

PROJECT: PT14L BUILDING TYPE
UNIT 368 OFFSET
RUFÉ SNOW AND LP 820
NORTH RICHLAND HILLS, TX 76180

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JACOBS ENGINEERING GROUP INC.
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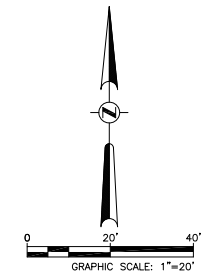
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SHEET TITLE:
LANDSCAPE PLAN

PROJECT NO. 2102618
DATE: 5/29/2017
SCALE: -
DRAWN BY: LW
APPROVED BY: LW

SHEET NO:
L-1.0

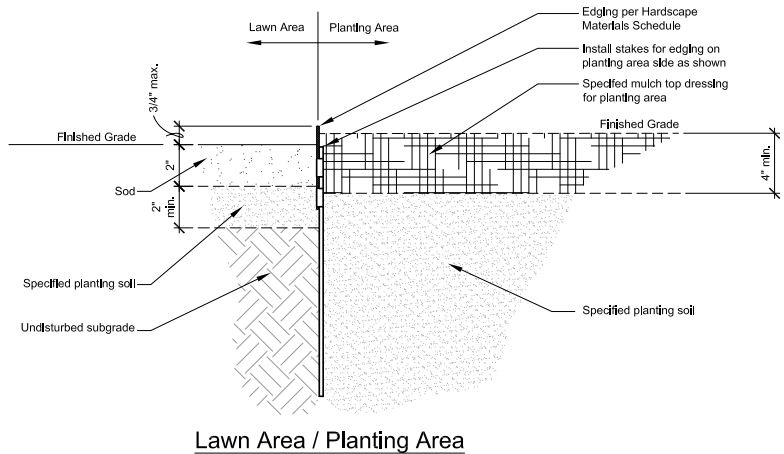
CASE SUP 2017-04



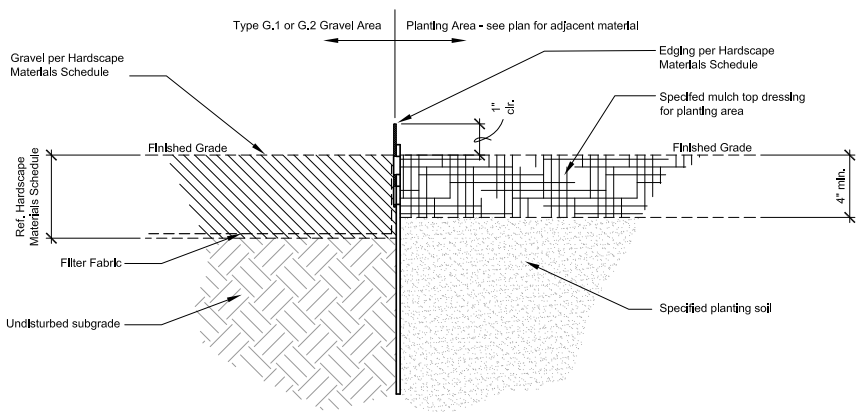
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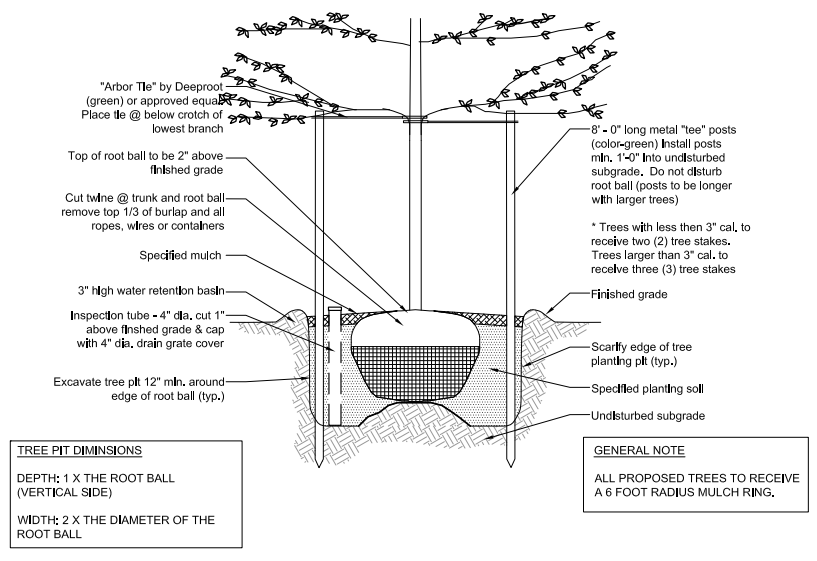
Plot Date: 11/16/16, Jun. 06, 17 - 13:23:16



1 TYPICAL PLANTING BED EDGE SECTION SCALE: 3" = 1'-0"



2 TYPICAL GRAVEL EDGE SECTION SCALE: 3" = 1'-0"



3 TYPICAL TREE PLANTING SECTION SCALE: 1/2" = 1'-0"

PLANT MATERIALS SCHEDULE

TREES							
SYMBOL	QTY	COMMON / Scientific	ROOTBALL	CAL.	HEIGHT	SPREAD	NOTES
QV 12		LIVE OAK/ <i>Quercus virginiana</i>	N/A	4"	14-16'	6-8'	Min. caliper for replacement trees is 3" and min. height is 7' measured 12" from the base of trunk; full symmetrical canopy.
UC 8		CEDAR ELM/ <i>Ulmus crassifolia</i>	N/A	3" min	12-14'	5' min.	Container grown; height measured 6" from the base of trunk; full symmetrical canopy. Min 5" Clear
VA 11		VITEK/ <i>Vitex agnus-castus</i>	24" min. dia. 15 1/2" min. depth	2" min	N/A	N/A	Container grown; height measured 6" from the base of trunk; full symmetrical canopy.

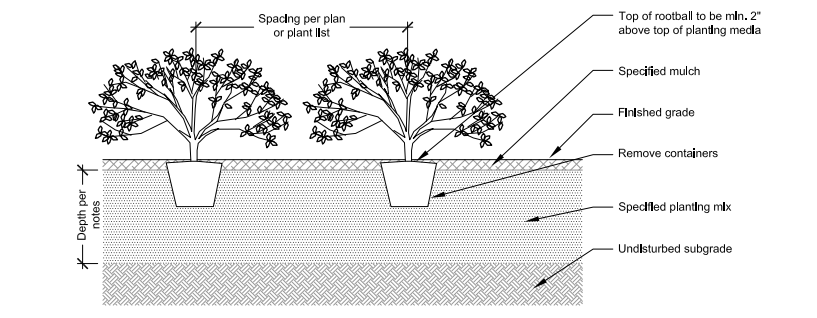
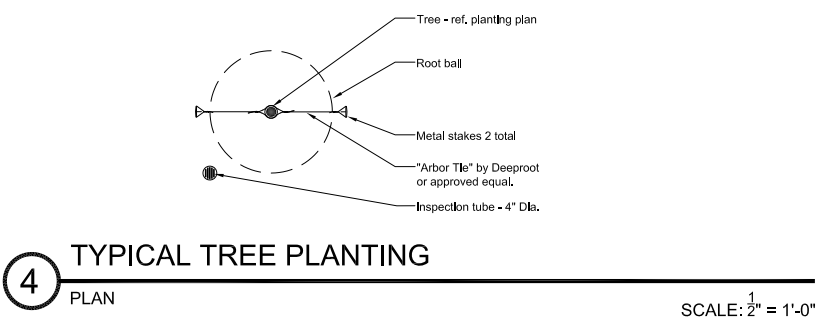
SHRUBS							
SYMBOL	QTY	COMMON / Scientific	SIZE	HEIGHT	SPREAD	SPACING	NOTES
MS 9		MISCANTHUS/ <i>Miscanthus sinensis</i>	5 gal.	18-24"	18-24"	36"	Full plant, container grown
MP 53		DWARF WAX MYRTLE/ <i>Myrica posilla</i>	7 gal.	18-24"	18-24"	36"	Full plant, container grown
IP 68		RED YUCCA/ <i>Hesperaloe parviflora</i>	5 gal.	18-24"	18-24"	36"	Full plant, container grown
LF 85		SILVERADO SAGE/ <i>Leucophyllum frutescens 'Silverado'</i>	7 gal.	18-24"	18-24"	36"	Full plant, container grown
SG 140		AUTUMN SAGE/ <i>Salvia greggii</i>	3 gal.	12-18"	12-18"	24"	Full plant, container grown

GROUNDCOVERS							
SYMBOL	COMMON / Scientific	SIZE	HEIGHT	SPREAD	SPACING	SF	NOTES
EF	PURPLE WINTERCREEPER/ <i>Eucynonem fortunei 'Coloratus'</i>	4" pot	N/A	36-60"	36"	approx. 1,500 SF	Full plant, container grown
NT	MEXICAN FEATHERGRASS/ <i>Nassella tenuissima</i>	1 gal	6-12"	6-12"	18"	approx. 580 SF	Full plant, container grown
	SEASONAL COLOR	4" pot				approx. 130 SF	Full plant, container grown

GRASSES							
SYMBOL	COMMON / Scientific	SIZE	HEIGHT	SPREAD	SPACING	SF	NOTES
LAWN	COMMON BERMUDAGRASS/ <i>Cynodon dactylon</i>					approx. 6,900 SF	solid sod

HARDSCAPE MATERIALS SCHEDULE

QTY	TAG	DESCRIPTION	COLOR	FINISH	NOTES
approx. 580 LF	E.1	PLANTER BED EDGE; STEEL EDGING 1/2" BY 4" AS MANUFACTURED BY JOSEPH RYERSON CO, INC OR APPROVED EQUAL	GREEN	STANDARD	
approx. 345 SF	G.1	DECOMPOSED GRANITE GRAVEL			Well compacted
approx. 250 SF	G.2	COLORADO COBBLE VARIEGATED; 2"-4" AS SOLD BY TEX-ART STONE, OR APPROVED EQUAL			6" depth



4 TYPICAL TREE PLANTING PLAN SCALE: 1/2" = 1'-0"

5 TYPICAL SHRUB PLANTING SECTION SCALE: 3/4" = 1'-0"

GENERAL NOTES

- CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND MARKING OF ALL UNDERGROUND OR ABOVE GROUND UTILITIES WITHIN THE PROJECT.
- PROPOSED LANDSCAPING IS TO BE INSTALLED AS PER LOCAL CITY ORDINANCES AND CODES.
- ALL LANDSCAPE AREAS TO BE IRRIGATED AS SHOWN ON IRRIGATION PLAN.
- LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER MATERIALS OF PLANTS NOT A PART OF THE ORIGINAL LANDSCAPING.
- ALL LANDSCAPE AREAS SHALL BE PROTECTED FROM VEHICULAR TRAFFIC THROUGH THE USE OF CONCRETE CURBS, WHEEL STOPS OR OTHER PERMANENT BARRIERS.
- ALL LANDSCAPE AREAS SHALL BE CONSTRUCTED, INSTALLED, AND MAINTAINED SO AS NOT TO OBSTRUCT VIEW OF MOTORISTS BETWEEN THE STREET AND ACCESS DRIVES. VISIBILITY TRIANGLES, AS DEFINED BY LOCAL ORDINANCE, SHALL REMAIN UNOBSTRUCTED AT ALL TIMES.
- ALL PERMEABLE SURFACES NOT OCCUPIED BY TREES, SHRUBS, PLANTING BEDS, SIGNS, AND OTHER PERMITTED ITEMS OR FIXTURES SHALL BE SOD UNLESS NOTED OTHERWISE.
- REFERENCE ARCHITECTURAL AND CIVIL PLANS FOR DETAILED BUILDING LAYOUT, RAMPS, STAIRS AND WALKS.
- REFERENCE CIVIL PLANS FOR PROPOSED GRADES.
- FINAL LOCATION OF PLANT MATERIAL MAY VARY DUE TO ACTUAL FIELD CONDITIONS AND PROPOSED GRADES. GENERAL INTENT SHALL BE MET.
- EXISTING TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION BY METHODS REQUIRED BY THE CITY.
- THE PROPERTY OWNER, TENANT OR AGENT, SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL REQUIRED LANDSCAPING IN A HEALTHY, NEAT, ORDERLY AND LIVE-GROWING CONDITION AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, IRRIGATION, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OR LANDSCAPING. LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIALS NOT A PART OF THE LANDSCAPING.
- AFTER CONTRACTOR WARRANTIES HAVE EXPIRED AND ALL REPLACEMENTS HAVE BEEN MADE AND ACCEPTED BY THE OWNER'S REPRESENTATIVE, THE OWNER SHALL BE RESPONSIBLE FOR REPLACING ALL PLANT MATERIALS WHICH SHOW DEAD BRANCHING PATTERNS AND REPAIR IRRIGATION SYSTEMS AS REQUIRED BY THE CITY.

PLANTING NOTES

- ALL PLANT MATERIAL SHALL CONFORM TO THE SIZES GIVEN IN THE PLANT LIST AND SHALL BE NURSERY GROWN IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, PUBLISHED BY AMERICAN ASSOCIATION OF NURSERYMEN, (AAN).
- IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLAN AND QUANTITIES SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLAN SHALL APPLY.
- OBTAIN APPROVAL FROM LANDSCAPE ARCHITECT'S OR OWNER'S REPRESENTATIVE BEFORE MAKING ANY SUBSTITUTIONS OR CHANGES.
- CONTRACTOR SHALL OBTAIN, AT THE CONTRACTOR'S COST, AN AGRICULTURAL SUITABILITY SOIL ANALYSIS OF THE ON-SITE TOPSOIL FOR TURF ESTABLISHMENT FROM A CERTIFIED SOIL TESTING LABORATORY. CONTRACTOR SHALL AMEND EXISTING TOPSOIL PER THE RECOMMENDATION OF THE ANALYSIS TO THE OWNER'S ACCEPTANCE. EXISTING TOPSOIL ANALYSIS AS WELL AS A SECONDARY TEST ON AMENDED SOILS SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR APPROVAL.
- ALL PLANTING SOIL, RATHER OBTAINED USING ON-SITE SOILS AND AMENDING THEM TO MEET THE FOLLOWING SPECIFICATIONS, OR BROUGHT IN FROM OFF-SITE, SHALL BE "SANDY LOAM" AS DETERMINED BY THE MECHANICAL ANALYSIS (ASTM D422) AND BASED ON THE USDA CLASSIFICATION SYSTEM. IT SHALL BE OF UNIFORM COMPOSITION WITHOUT THE ADMIXTURE OF SUBSOIL AND BE NATURAL, FRIABLE, FERTILE, WITH A PH RANGE OF 6.0-6.5, AND FREE OF TRASH, DEBRIS, STONES, WEEDS, AND TWIGS OR BRANCHES. 100% SHALL PASS THROUGH A 1-INCH SCREEN AND BE COMPRISED OF 40-60% SAND, 30-40% SILT, AND 10-30% CLAY. THE SOIL SHALL BE MIXED WITH ORGANIC MATTER AT A ONE TO FIVE RATIO - ONE PART ORGANIC MATTER AND 5 PARTS SOIL.
- ALL SOD AREAS TO CONTAIN A MIN 4-INCH DEPTH OF PLANTING SOIL PRIOR TO INSTALLATION. ALL PLANTING BEDS TO BE A MINIMUM OF 2-FEET DEEP FOR SHRUBS AND 3-FEET DEEP FOR TREES.
- ALL PLANT BEDS TO BE MULCHED TO A DEPTH OF 4-INCHES UNLESS OTHERWISE NOTED ON DRAWINGS. MULCH SHALL BE HIGH QUALITY, DOUBLE-GROUND, PREMIUM HARDWOOD MULCH. IT SHALL NOT BE DYED RED OR BLACK, BUT SHALL BE A NATURAL BROWN COLOR. MULCH SHALL HAVE BEEN AGED FOR A MINIMUM OF SIX MONTHS AND NOT LONGER THAN TWO YEARS. MULCH SHALL BE SHREDDED TO A UNIFORM SIZE; FREE OF DIRT, DEBRIS AND FOREIGN MATTER; WITH PIECES NO THICKER THAN 1/4-INCH OR LARGER THAN 2-INCHES IN ANY DIRECTION. MULCH MUST BE FREE OF STRINGY MATERIAL OR CHUNKS OVER 3-INCHES IN SIZE AND SHALL NOT CONTAIN, IN THE JUDGMENT OF THE OWNER'S REPRESENTATIVE, AN EXCESS OF FINE PARTICLES.
- SLOW RELEASE FERTILIZERS, AS RECOMMENDED BY THE SOIL TESTING LAB, SHALL BE USED PER MANUFACTURER RECOMMENDATIONS.
- CONTRACTOR SHALL SUBMIT SAMPLES OF PLANTING SOIL, MULCH, FERTILIZER, AND GRAVEL FOR APPROVAL BY OWNER'S REPRESENTATIVE.
- PLANT MATERIALS LOCATION TO BE STAKED IN THE FIELD AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
- ALL AREAS DISTURBED BY PLANTING OPERATIONS SHALL BE FINE GRADED.
- ALL PLANT BEDS SHALL BE CONTAINED WITH STEEL EDGING.
- ALL LANDSCAPE AREAS TO BE WEED FREE AT TIME OF FINAL ACCEPTANCE. HERBICIDE SHALL BE APPLIED PER MANUFACTURER'S RECOMMENDATIONS.

BY	SYMBOL	DESCRIPTION

PROJECT: PT14L BUILDING TYPE UNIT 368 OFFSET RUFÉ SNOW AND LP 820 NORTH RICHLAND HILLS, TX 76180

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JACOBS ENGINEERING GROUP INC.
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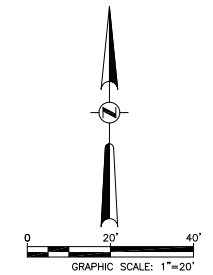
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SHEET TITLE: LANDSCAPE DETAILS

PROJECT NO. 2102618
DATE: 5/29/2017
SCALE: -
DRAWN BY: LW
APPROVED BY: LW

SHEET NO: L-1.1

CASE SUP 2017-04



THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES 24-HOURS PRIOR TO COMMENCING CONSTRUCTION.



Drawing: NEW/AL/9885-2102618 - (985 Office) 820 & Rufe Show, North Richland Hills, TX 76180 CADD/202 CM/202 E. CONSULT-1. LANDSCAPE DETAIL S.W.G.

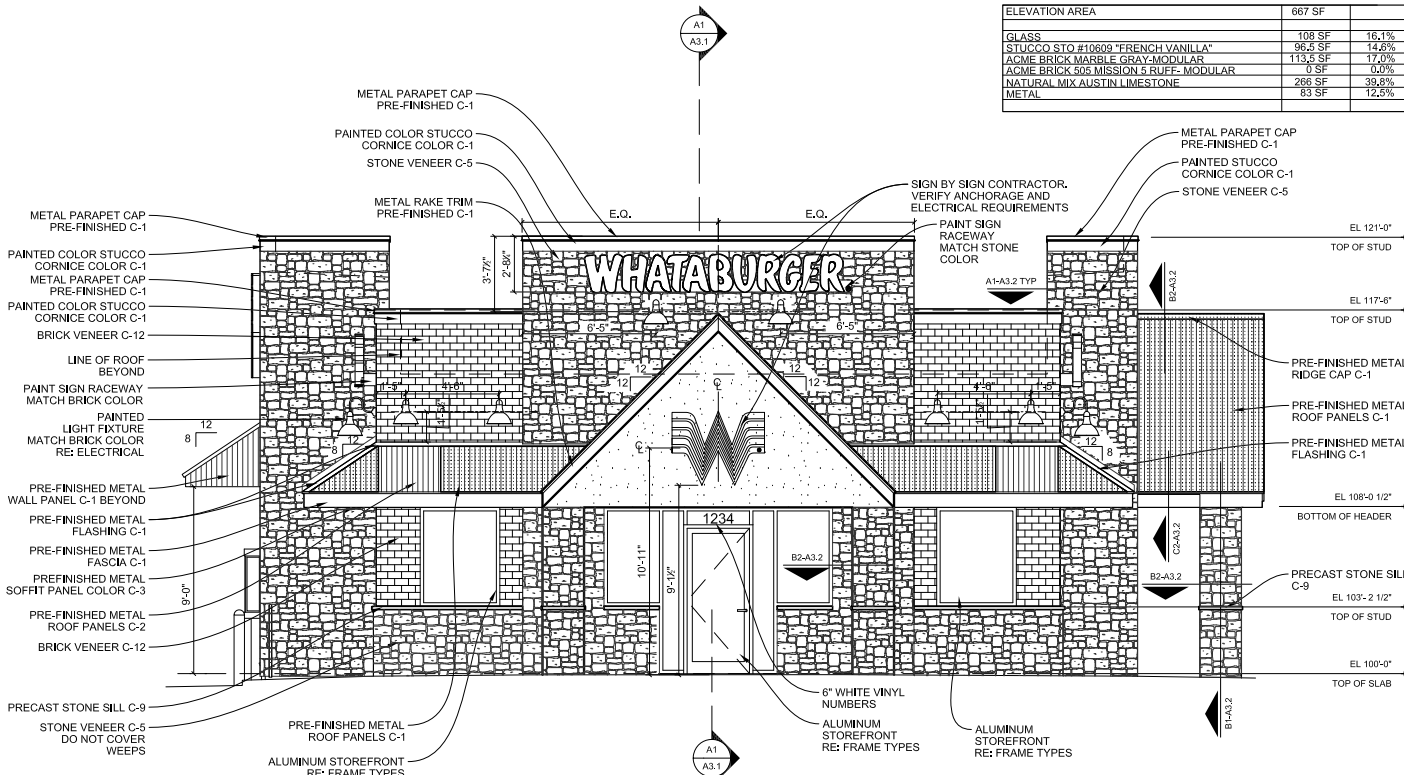
Plot Date/Time: Jun 07 17 09:01:52

CAP FLASHING	C-1
RAKE TRIM	C-1
DOWNSPOUT, CONDUCTOR HEADS	C-6
METAL FASCIA	C-1
PARAPET CAP	C-1
STUCCO (WALLS AND SOFFIT)	C-4
STONE VENEER AND SILL	C-5
MORTAR (STONE VENEER)	C-5 (STD)
PTD, ACCENT BAND	C-1
PIPE BOLLARDS (DRIVE-THRU)	C-11
PIPE BOLLARDS (OUTSIDE DUMPSTERS)	C-6
PIPE BOLLARDS (INSIDE DUMPSTERS)	C-8
HAND RAIL (EXPEDITE DOOR)	C-6
EXP. DOOR/FRAME (EXT.)	C-6
EXP. DOOR/FRAME (INT.)	C-7
BACK DOOR/FRAME (EXT.)	C-6
BACK DOOR/FRAME (INT.)	C-7
FIRE ROOM DOOR/FRAME (EXT.)	C-6
FIRE ROOM DOOR/FRAME (INT.)	C-7
DUMPSTER ENCLOSURE (EXT.)	C-4
DUMPSTER ENCLOSURE (INT.)	C-8
DUMPSTER GATES (ALL SURFACES)	C-6
DRIVE-THRU SPEAKER PEDESTAL	C-2
HEADACHE BAR AND ACCESSORIES	C-2
PVC PIPE AT HEADACHE BAR	C-1
CLEARANCE LETTERING	C-1
DRIVE-THRU CANOPY ASSEMBLY	C-2
DRIVE-THRU CANOPY DOWNSPOUT	C-1
DRIVE-THRU CANOPY TRIM	C-1

C-1	ORANGE	C-13	PPG MANOR HALL EXTERIOR FLAT #70-110/01 (MATCH TO STO #10609 FRENCH VANILLA)
C-2	WHITE		
C-3	MBC1 - SIGNATURE 300 - ALMOND		
C-4	STO #10609 "FRENCH VANILLA"		
C-5	NATURAL MIX "AUSTIN LIMESTONE"		
C-6	SHERWIN WILLIAMS - CANVAS TAN (SW7531)		
C-7	PPG FAST DRY 35 FRP GRAY		
C-8	PPG FAST DRY 35 GLOSS BLACK		
C-9	SITE WORKS-CAST STONE "NATURAL"		
C-10	ACME BRICK "505 MISSION 5 RUFF-MODULAR"		
C-11	IDEAL SHIELD ORANGE		
C-12	ACME BRICK "MARBLE GRAY-MODULAR"		

NOTE STUCCO SYSTEM:
 7/8" PORTLAND CEMENT
 STUCCO SYSTEM ON GALVANIZED
 METAL WITH GRADE "D" PAPER BACK LATH
 AND BOTTOM DRAINAGE TRACK.

ELEVATION AREA		667 SF
GLASS	108 SF	16.1%
STUCCO STO #10609 "FRENCH VANILLA"	96.5 SF	14.5%
ACME BRICK MARBLE GRAY-MODULAR	113.5 SF	17.0%
ACME BRICK 505 MISSION 5 RUFF-MODULAR	0 SF	0.0%
NATURAL MIX AUSTIN LIMESTONE	266 SF	39.8%
METAL	83 SF	12.5%



REVISIONS	SYMBOL	DATE	DESCRIPTION

PROJECT: PT14L BUILDING TYPE
 UNIT 368 OFFSET
 RUFFE SNOW AND LP 820
 NORTH RICHLAND HILLS, TX 76180

JACOBS
 ENGINEERING GROUP, INC.
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SHEET TITLE:
EXTERIOR ELEVATIONS

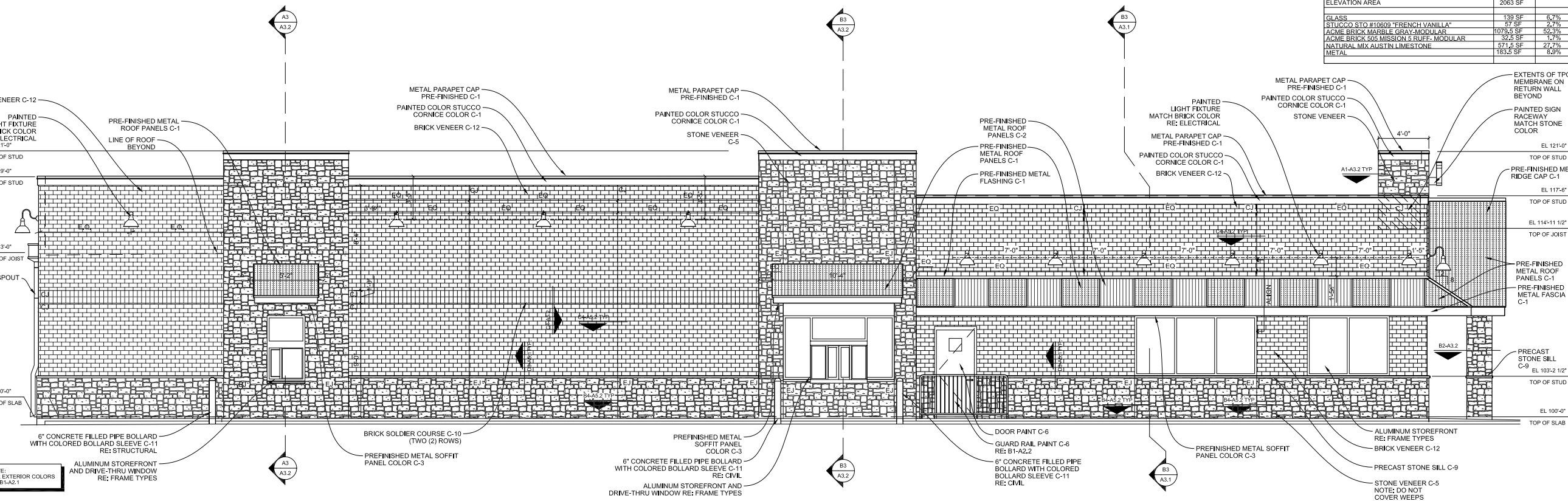
PROJECT # 2102618
 DATE: 5/29/2017
 SCALE:
 DRAWN BY: RC
 APPROVED BY: JAQ

SHEET NO:
A2.1



B1 EXT. COLOR SCHEDULE

B3 ELEVATION - FRONT



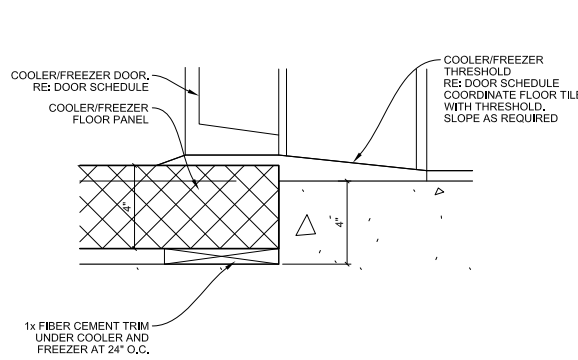
ELEVATION AREA		2063 SF
GLASS	139 SF	6.7%
STUCCO STO #10609 "FRENCH VANILLA"	57 SF	2.7%
ACME BRICK MARBLE GRAY-MODULAR	1079.5 SF	52.3%
ACME BRICK 505 MISSION 5 RUFF-MODULAR	37.5 SF	1.8%
NATURAL MIX AUSTIN LIMESTONE	571.5 SF	27.7%
METAL	183.5 SF	8.9%

A1 ELEVATION - DRIVE-THRU

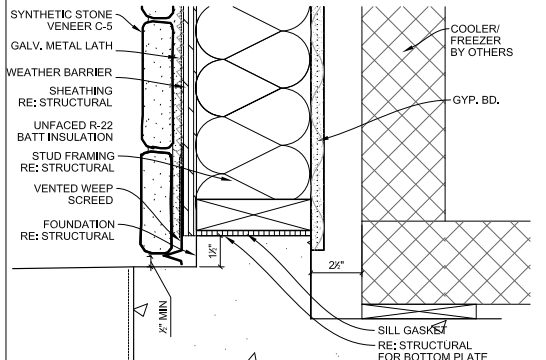
CASE SUP 2017-04 **WHATABURGER**

1/4"=1'-0" A1-A1.1; A1-A1.3; A1-A1.4

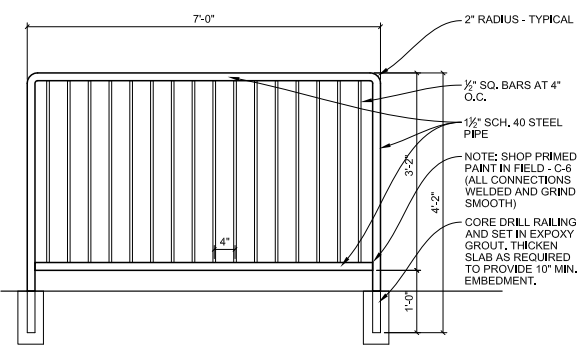
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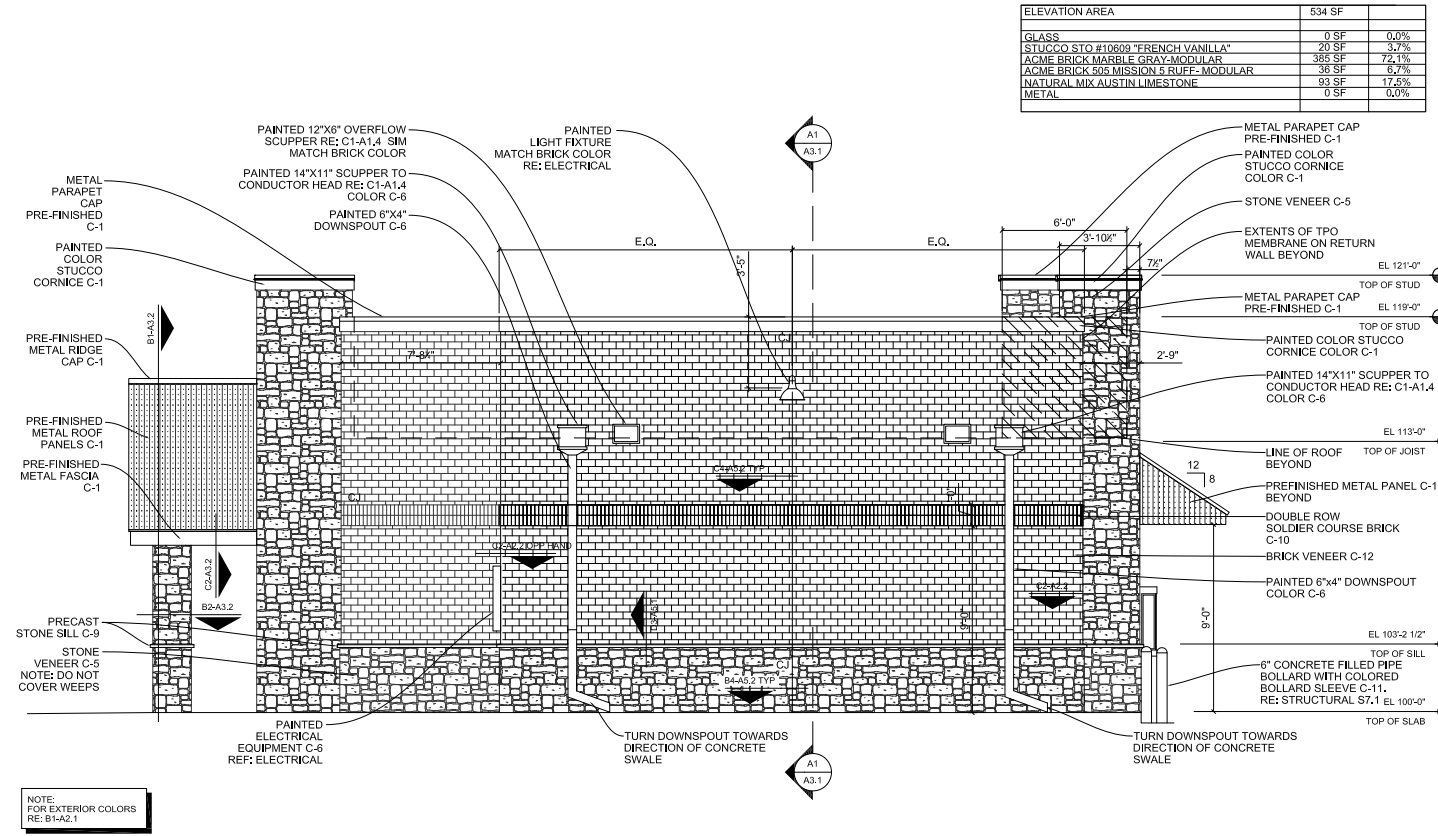
C1 WALK-IN FLOOR DETAIL
3"=1'-0" A3-A4.1



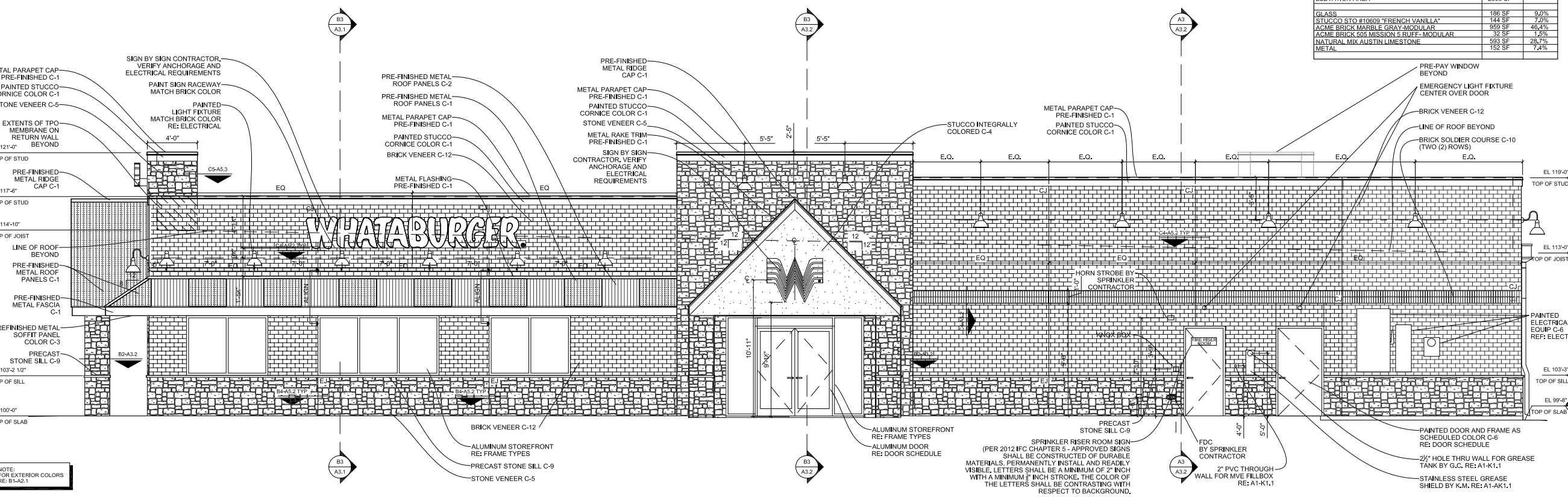
C2 COOLER/FREEZER WALLS ONLY WALL BASE DETAIL AT STONE
3"=1'-0" A1-A3.1; A3-A4.1



B1 GUARDRAIL ELEVATION
3/4"=1'-0" A1-A1.1; A1-2.1



B3 ELEVATION - BACK
1/4"=1'-0" A1-A1.1; A1-A1.3; A1-A1.4



A1 ELEVATION - ENTRANCE
1/4"=1'-0" A1-A1.1; A1-A1.3; A1-A1.4

REVISIONS	SYMBOL	DATE	DESCRIPTION

PROJECT: PT14L BUILDING TYPE
UNIT 368 OFFSET
RUFÉ SNOW AND LP 820
NORTH RICHLAND HILLS, TX 76180

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CITY OFFICE: 2017
JAMES A. CARROLL, A.L.A. 22070
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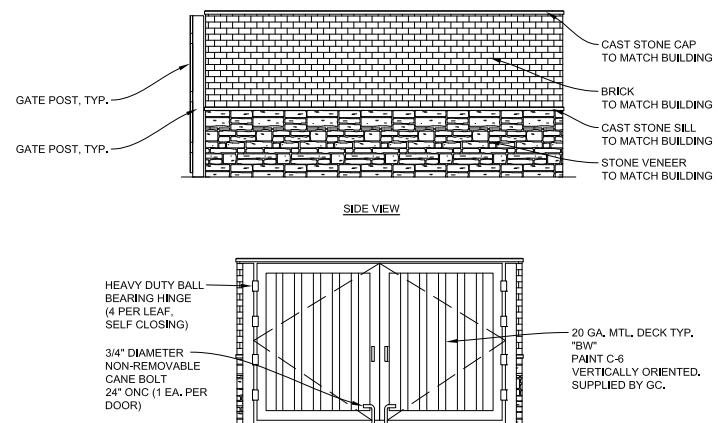
SHEET TITLE:
EXTERIOR ELEVATIONS

PROJECT # 2102618
DATE: 5/29/2017
SCALE:
DRAWN BY: RC
APPROVED BY: JAQ

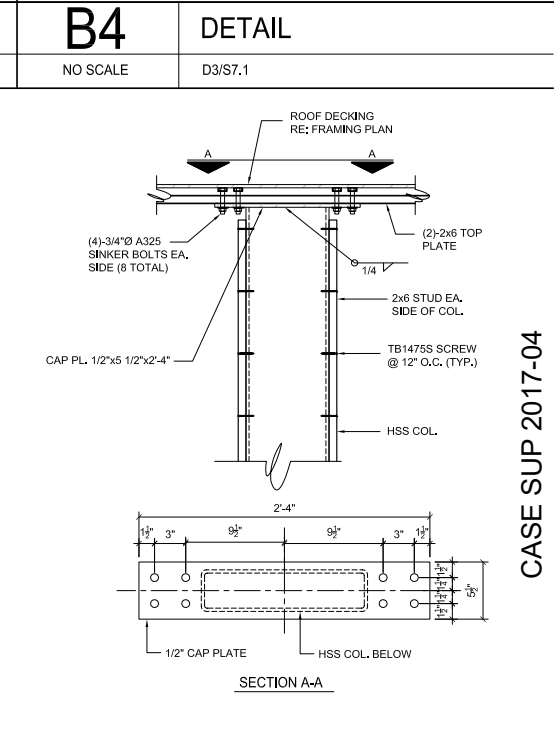
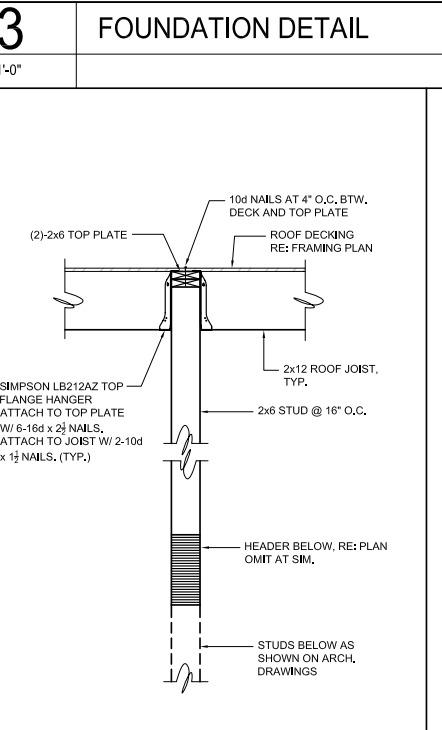
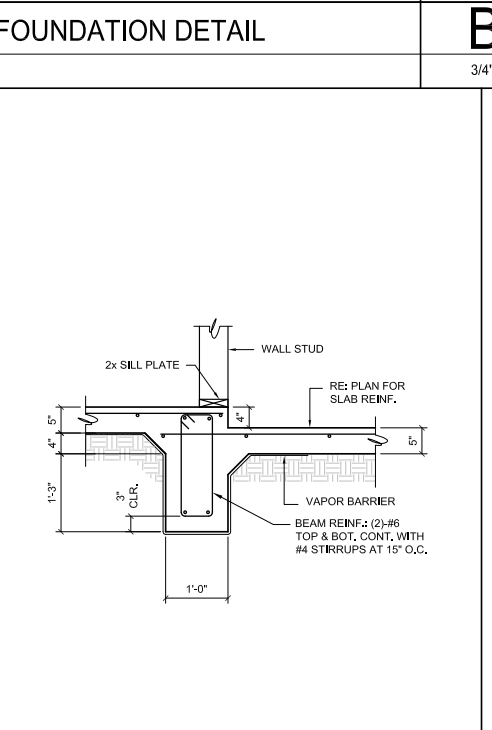
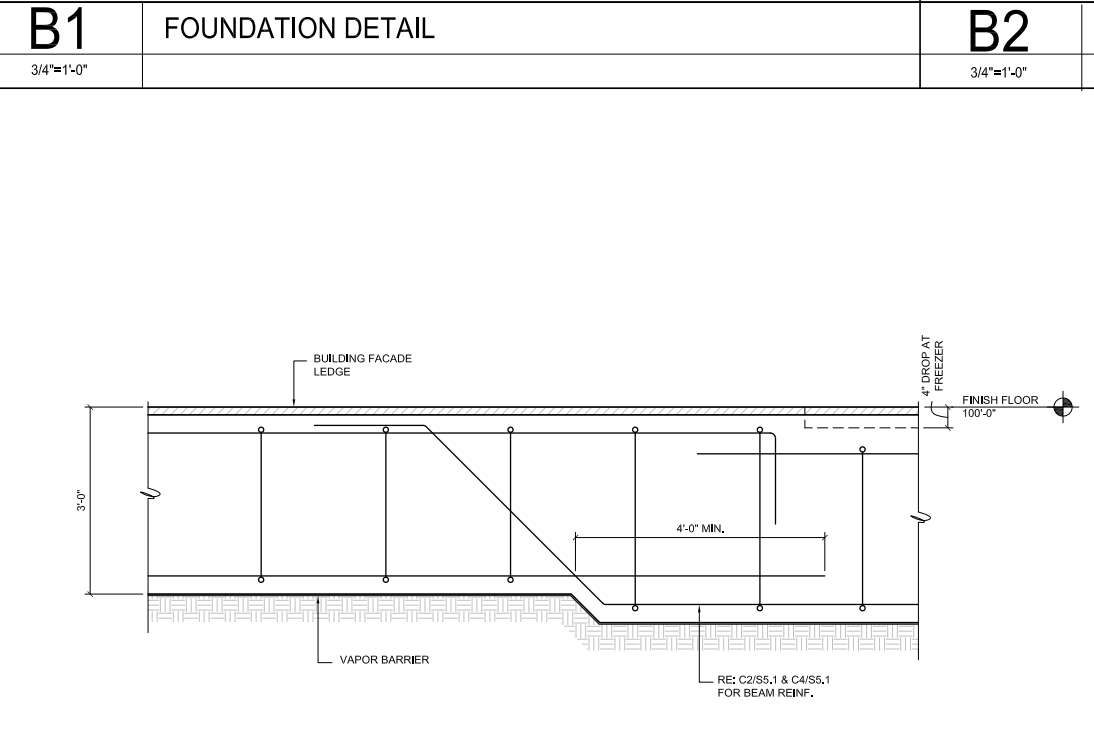
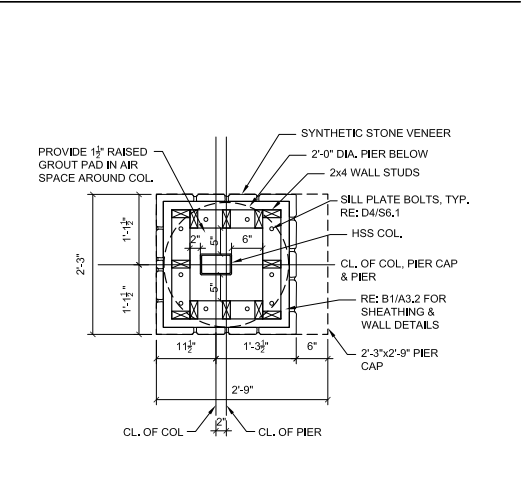
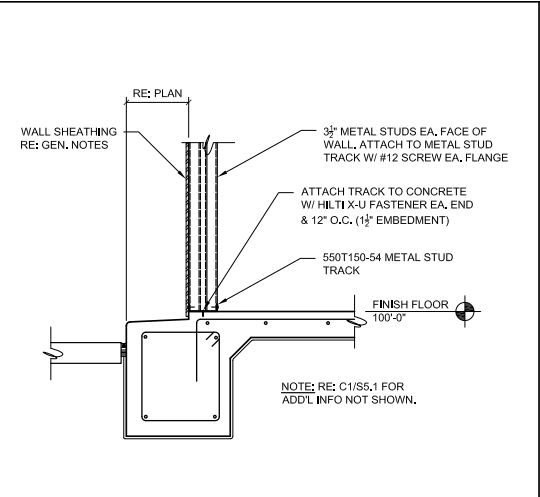
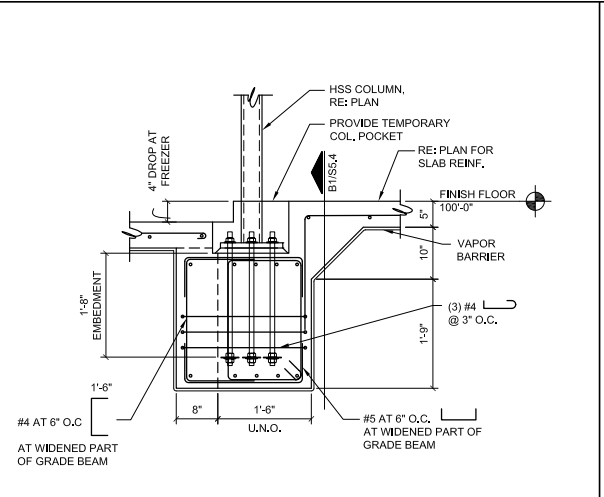
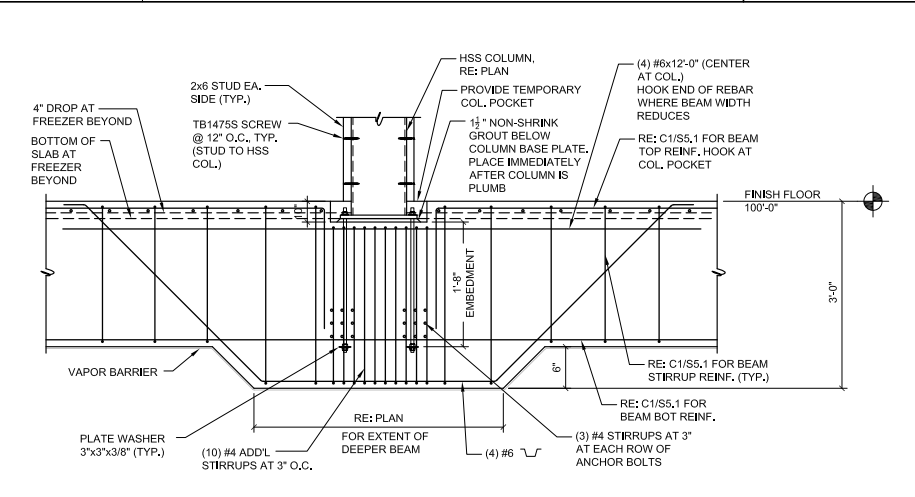
SHEET NO:
A2.2



CASE SUP 2017-04



C1 TRASH ENCLOSURE ELEVATIONS
NO SCALE A3/S7.1



REVISIONS:	SYMBOL	DATE	DESCRIPTION

PROJECT: PT14L BUILDING TYPE UNIT 368 OFFSET RUFÉ SNOW AND LP 820 NORTH RICHLAND HILLS, TX 76180

JACOBS
JACOBS ENGINEERING GROUP INC.
TEXAS REGISTRATION #0065
811 CENTRAL PARKWAY NORTH,
SUITE 400, FORT WORTH, TEXAS 76102
TEL (817) 494-5088
FAX (817) 494-5055
CORP. REG. #004-00000000
JACOBS ENGINEERING GROUP INC.
FORM REGISTRATION NO. 2996
JACOBS ENGINEERING GROUP, INC.

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SAN ANTONIO, TEXAS
210-476-6000 ZIP 78216

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SHEET TITLE: FRAMING DETAILS

PROJECT # 2102618
DATE: 5/29/2017
SCALE:
DRAWN BY: TH
APPROVED BY: KL

SHEET NO: S5.4



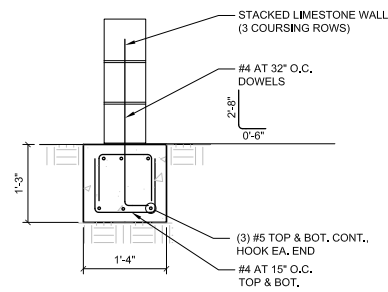
CASE SUP 2017-04

Plot Date: 7/11/17 10:06:17 AM 17-0541446

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Plot Date: 7/11/17 11:53:47

Drawing: E:\projects\5\Whataburger\WJL\8895_820R\16\Drawings\Drawings\SS.dwg



A1

LANDSCAPE WALL DETAIL

3/4"=1'-0"

CASE SUP 2017-04

REVISIONS: SYMBOL	DATE	DESCRIPTION	BY

PROJECT:
**PT14L BUILDING TYPE
UNIT 368 OFFSET
RUFÉ SNOW AND LP 820
NORTH RICHLAND HILLS, TX 76180**

JACOBS
JACOBS ENGINEERING GROUP, INC.
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CORP-REG-12054
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FIRM REGISTRATION NO. 2096
JACOBS ENGINEERING GROUP, INC.

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SHEET TITLE:
**LANDSCAPE
WALL
DETAILS**

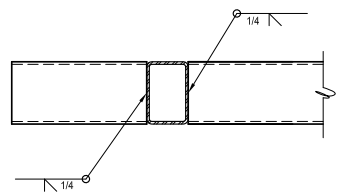
PROJECT # 2102618
DATE: 6/6/2017
SCALE:
DRAWN BY: TH
APPROVED BY: KL

SHEET NO:
S5.5

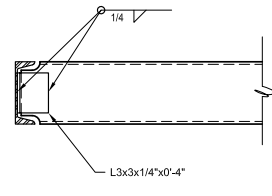


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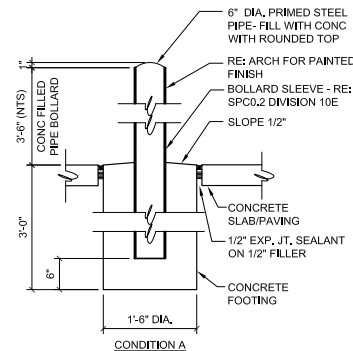
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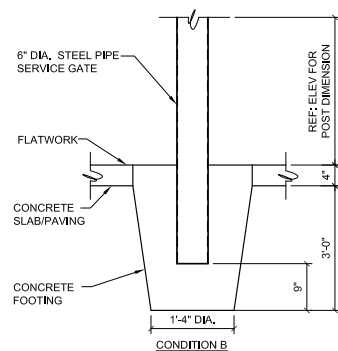
D1 FRAMING DETAIL
1 1/2"=1'-0"



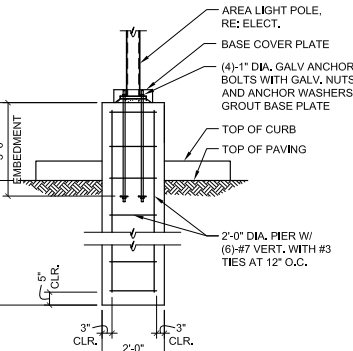
D2 FRAMING DETAIL
1 1/2"=1'-0"



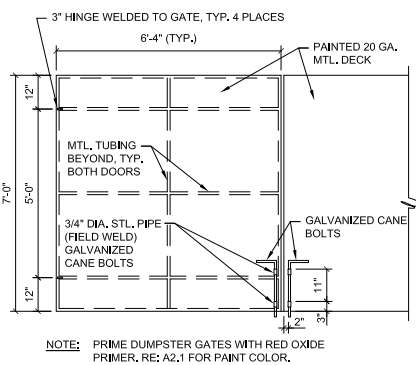
C1 BOLLARD / GATE POST DETAIL
3/4"=1'-0"



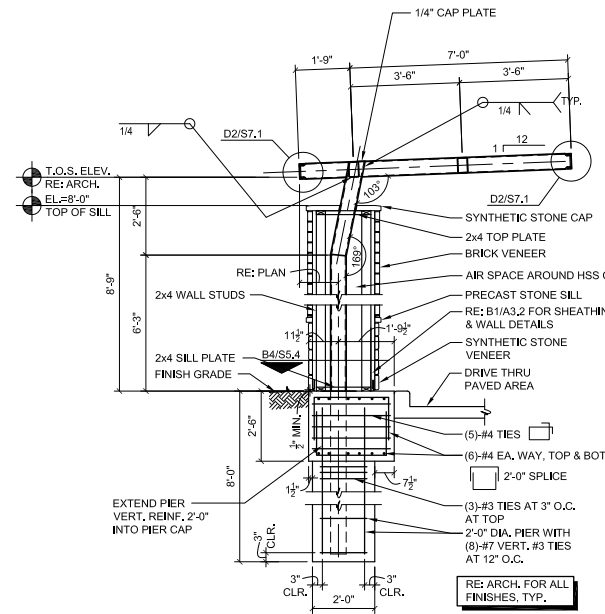
B1 FOUNDATION DTL.
3/4"=1'-0"



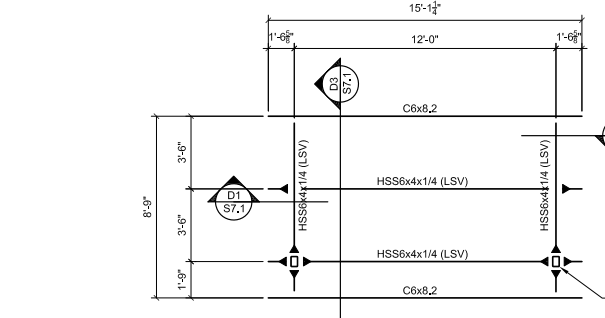
A2 FLAG POLE DTL.
3/8"=1'-0"



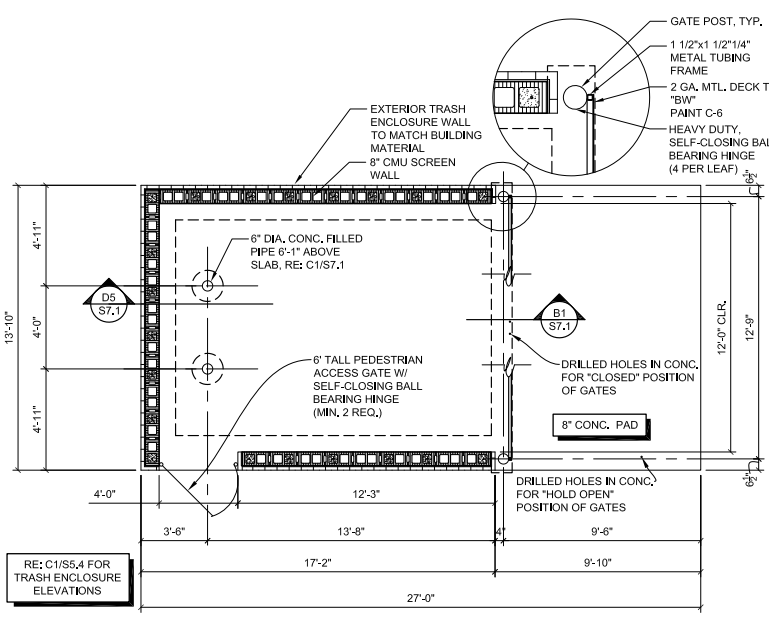
B2 DUMPSTER GATE DTL.
NO SCALE



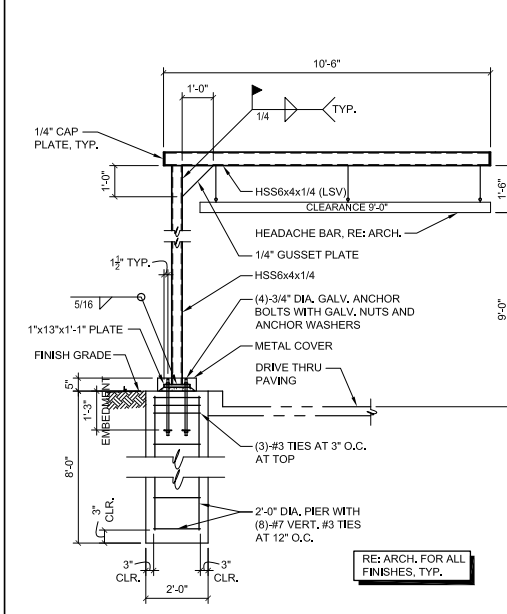
D3 CANOPY DETAIL
3/8"=1'-0"



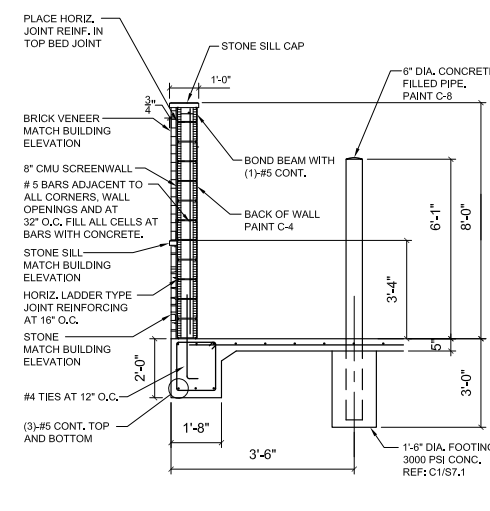
C3 CANOPY PLAN
3/4"=1'-0"



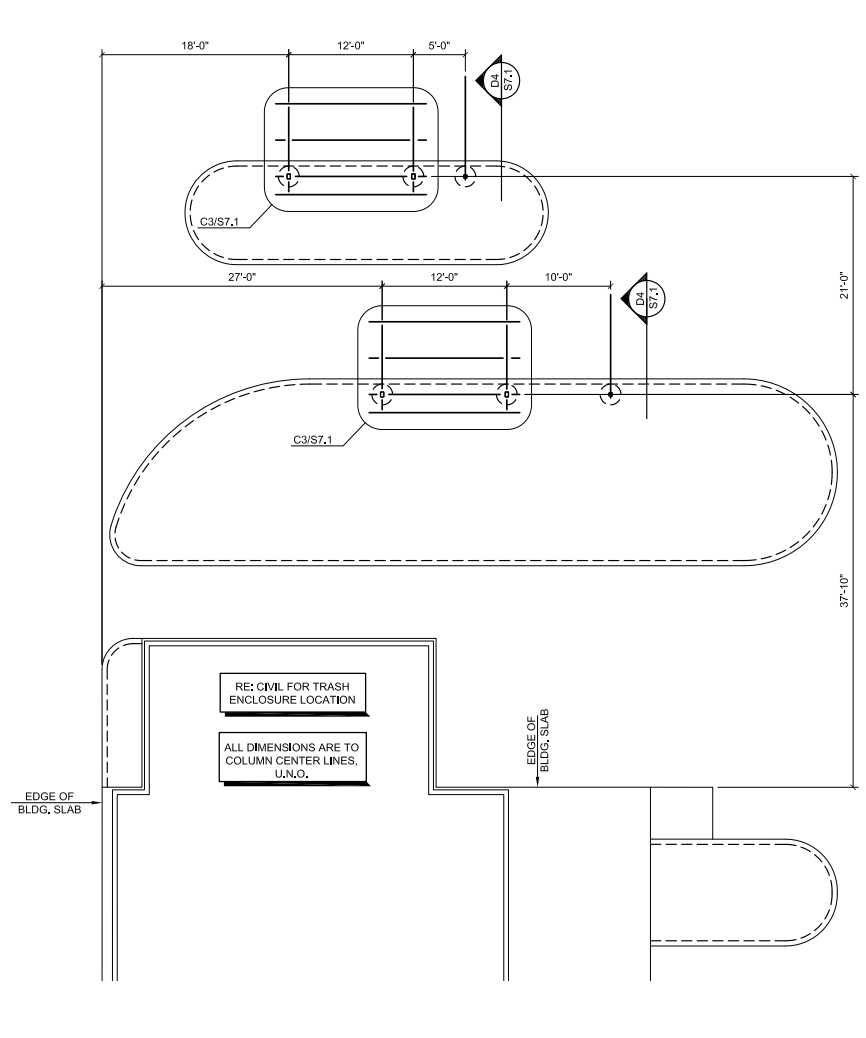
A3 TRASH ENCLOSURE
1/4"=1'-0"



D4 HEADACHE BAR DETAIL
3/8"=1'-0"



D5 TRASH ENCLOSURE DTL.
3/8"=1'-0"



A5 SITE PLAN
1/8"=1'-0"

SYMBOL	DESCRIPTION

PROJECT: PT14L BUILDING TYPE UNIT 368 OFFSET RUFÉ SNOW AND LP 820 NORTH RICHLAND HILLS, TX 76180

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SAN ANTONIO, TEXAS
210-476-6000 ZIP 78216

SHEET TITLE:
CANOPY PLAN AND DETAILS

PROJECT # 2102618
DATE: 6/6/2017
SCALE:
DRAWN BY: TH
APPROVED BY: KL

SHEET NO:
S7.1



CASE SUP 2017-04



NORTH

