

NOTES

1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. ALL CURB RADI ARE 2' UNLESS DIMENSIONED OTHERWISE.
3. REFERENCE SHEET C-5 FOR PAVEMENT SECTIONS. SEE GEOTECH FOR DETAILS.
4. CONTRACTOR TO ADJUST EXISTING SANITARY SEWER MANHOLES, ELECTRICAL MANHOLES, FIRE HYDRANTS, VALVE BOXES, WATER METERS, ETC. TO MATCH PROPOSED FINISHED GRADES IF NECESSARY.

LEGEND	
PROPERTY LINE	---
EASEMENT LINE	- - - - -
PROPOSED CURB	---
MEDIUM PAVEMENT (SEE SHEET C-5 FOR DETAILS)	+
HEAVY DUTY PAVEMENT (SEE SHEET C-5 FOR DETAILS)	+
LIGHT DUTY PAVEMENT (SEE SHEET C-5 FOR DETAILS)	+
PROPOSED SIDEWALK (SEE DETAIL SHEET C-16)	---
EXISTING WATER LINE	W
EXISTING SANITARY SEWER LINE	SS
EXISTING STORM LINE	S
PROPOSED WATER LINE	W
PROPOSED SANITARY SEWER LINE	SS
PROPOSED GAS LINE	GAS
PROPOSED STORM LINE	S
PROPOSED UNDERGROUND ELECTRIC	UGE

KEY	
TYPICAL	TYP.
EXISTING	EX.
FIRE HYDRANT	FH
CURB INLET	CI
MANHOLE	MH
GRATE INLET	GI
LANDSCAPE AREA	LS
BARRIER FREE RAMP	BFR

SITE DATA TABLE - BRAUM'S	
LOT/BLOCK	LOT 1-R-2-R-2, BLOCK 25 SNOW HEIGHTS ADDITION
LAND AREA (SQUARE FEET/ACRES)	50,167 S.F./1.152 ACRES
ZONING	PLANNED DEVELOPMENT
DETENTION	NOT REQUIRED
EXISTING USE	VACANT
PROPOSED USE	RESTAURANT W/ DRIVE THRU
BUILDING AREA (SQUARE FEET)	5,118 SF
BUILDING HEIGHT (FEET)	26
SITE PARKING	
PARKING RATIO (FROM ZONING ORDINANCE)	1 SPACE PER 100 GROSS FLOOR AREA
REQUIRED PARKING (# SPACES)	52 SPACES
PROVIDED PARKING (# SPACES)	51 SPACES
ACCESSIBLE PARKING REQ'D (# SPACES)	3 SPACES
ACCESSIBLE PARKING PROVIDED (# SPACES)	3 SPACES

GROSS AREA TABLE - BRAUM'S			
AREA	SQUARE FEET	ACRES	PERCENTAGE OF TOTAL PROPERTY
HEAVY DUTY PAVEMENT	1,615	0.037	3.2%
MEDIUM DUTY PAVEMENT	11,244	0.258	22.4%
LIGHT DUTY PAVEMENT	22,097	0.507	44.0%
SIDEWALK	2,565	0.059	5.1%
BUILDING FOOTPRINT	5,118	0.117	10.2%
LANDSCAPE	7,408	0.170	14.8%

REFERENCE CONSTRUCTION PLANS FOR "NRH BRAUMS LOT 1-R-2, BLOCK 25 DRAINAGE, PAVING, AND UTILITY IMPROVEMENTS" DATED MAY 2019 FOR LOT 1-R-2-R-1 IMPROVEMENTS

CAUTION!!

EXISTING UNDERGROUND UTILITIES IN THE AREA. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.

BENCHMARKS

CITY BENCHMARK
A 2" BRASS DISK STAMPED "CITY OF NORTH RICH AND HILLS BENCHMARK 404" SET IN THE CENTERLINE OF A 10' CURB INLET ON THE SOUTHWEST SIDE OF MIDCITIES BOULEVARD AND 50' EAST OF THE CENTERLINE OF HOLIDAYS LANE. ELEVATION = 630.89'

SITE BENCHMARK 1
AN "X" CUT IN CONCRETE FOUND AT THE NORTHEAST CORNER OF A CONCRETE HEADWALL LOCATED ±12' NORTH OF SUBJECT TRACT NORTH LINE. ±42' NORTHWESTERLY OF A 4" IRON ROD WITH ORANGE PLASTIC CAP STAMPED "MOAK SURV INC" FOUND FOR NORTHEAST CORNER OF SUBJECT TRACT. ELEVATION = 613.89'

SITE BENCHMARK 2
AN "X" CUT IN CONCRETE SET NEAR THE SOUTHWEST CORNER OF AN APPROACH LOCATED ALONG THE SOUTHERLY LINE OF INTERSTATE HIGHWAY LOOP 820. ±123' WESTERLY OF A 4" IRON ROD WITH ORANGE PLASTIC CAP STAMPED "P&C 100871" SET FOR NORTHWEST CORNER OF SUBJECT TRACT. ELEVATION = 614.87'

NO.	REVISIONS	DATE	BY

Kimley»Horn

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DALLAS, TX 75240
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WWW.KIMLEY-HORN.COM TX F-928

PREL

Not for construction or permit purposes.

Kimley»Horn

Engineer: SHAY E. BEACH
P.E. No. 127857 Exp. 12/31/2019

BRAUM'S
ICE CREAM AND DAIRY STORES

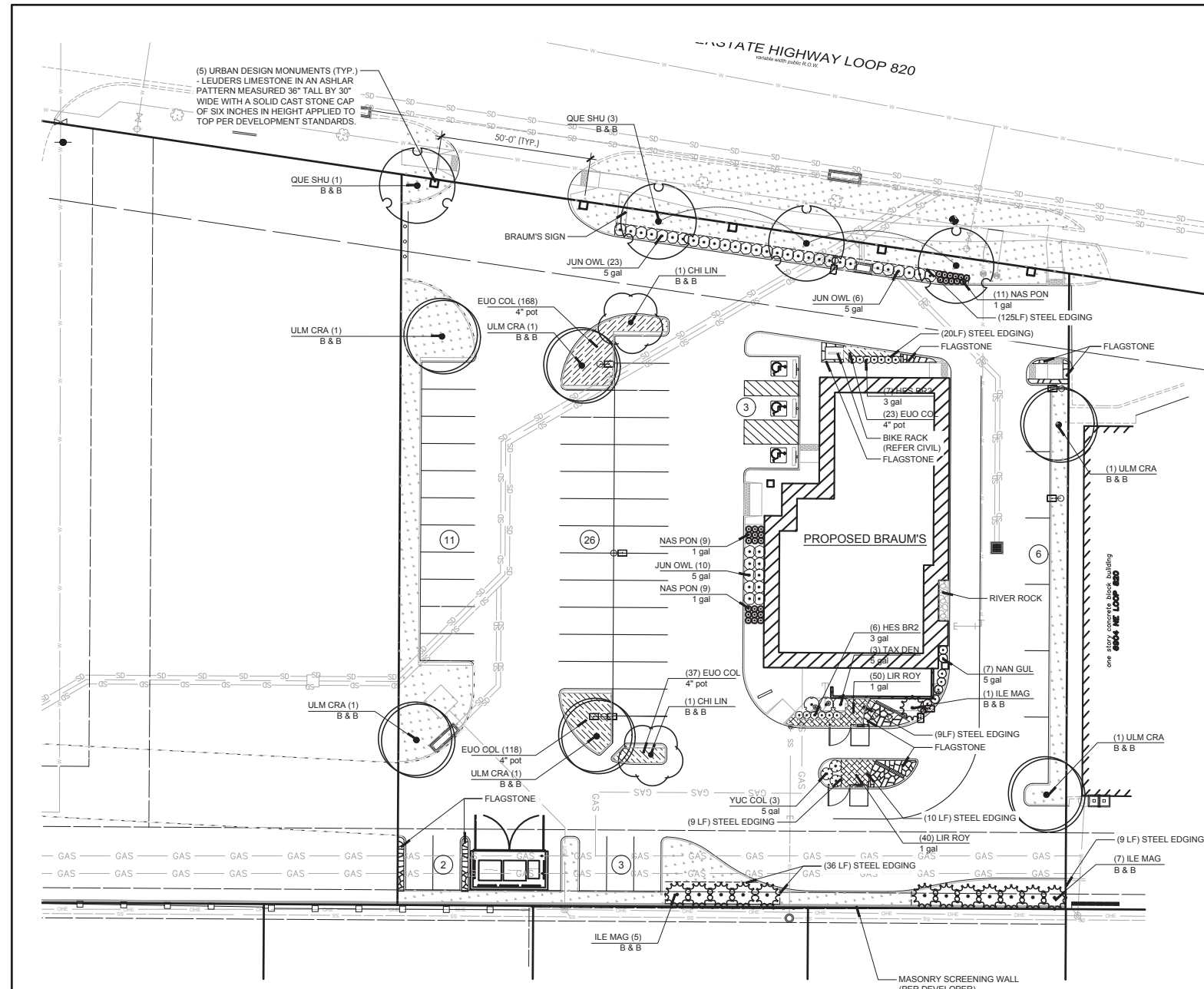
6800 NE LOOP 820
CITY OF NORTH RICHLAND HILLS
TARRANT COUNTY, TEXAS



SITE PLAN

SHEET NUMBER
C-4

MAJES: [REDACTED]
 DATE: 10/26/2019
 TIME: 10:00 AM
 USER: [REDACTED]
 PROJECT: [REDACTED]
 SHEET: [REDACTED]
 TITLE: [REDACTED]



PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE
DECIDUOUS TREES	ILE MAG	10	Ilex x 'Magland' / Oakland Red Holly	B & B	6-7' ht min
	QUE SHU	4	Quercus shumardii / Shumard Red Oak	B & B	3" cal
	ULM CRA	6	Ulmus crassifolia / Cedar Elm	B & B	3" cal
ORNAMENTAL	CHI LIN	3	Chilopsis linearis / Desert Willow (4' Min HT)	B & B	1.5" cal
SHRUBS	HES BR2	28	Hesperaloe parviflora 'Brakelights' TM / Brakelights Red Yucca		3 gal
	JUN OWL	55	Juniperus virginiana 'Grey Owl' / Eastern Redcedar		5 gal
	NAN GUL	5	Nandina domestica 'Gulf Stream' TM / Heavenly Bamboo		5 gal
	TAX DEN	3	Taxus x media 'Densiformis' / Dense Yew		5 gal
	YUC COL	3	Yucca filamentosa 'Color Guard' / Adam's Needle		5 gal
GRASSES	NAS PON	39	Nassella tenuissima 'Pony Tails' / Mexican Feathergrass		1 gal
GROUND COVERS	EUC COL	358	Euonymus fortunei 'Colorata' / Purple-leaf Winter Creeper		4" pot 18" o.c.
	LIR ROY	100	Liriope muscari 'Royal Purple' / Royal Purple Liriope		1 gal 18" o.c.
		7,050 sf	Bermuda Solid Slab Sodding		



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 www.tannerbairdshop.com
 TEXAS CERTIFICATION OF AUTHORIZATION
 NO. BR 2921 EXP. 03/31/2020



THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT THE WRITTEN PERMISSION AND CONSENT OF TANNER CONSULTING, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT OBTAINING SAID WRITTEN PERMISSION AND CONSENT. ANY CHANGES MADE FROM THESE PLANS WITHOUT THE WRITTEN PERMISSION AND CONSENT OF TANNER CONSULTING ARE UNAUTHORIZED, AND SHALL RESTORE TANNER CONSULTING OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.

DATE	REVISION
04/25/19	FIRST SUBMITTAL
08/22/19	SECOND SUBMITTAL
10/03/19	THIRD SUBMITTAL

DATE: 10/03/19

City of North Richland Hills, Texas
Landscaping and Buffer Regulations of the City of North Richland Hills
Section 114-71 Landscaping Regulations

Description of Property:
 Loop 820 Frontage= 223.7' Lot Size= 50,167 sf
 Proposed Parking Spaces= 51 Parking Lot Size= 44,607 sf
 Building Footprint= ±5,120 sf

Loop 820
 Minimum Requirements:
 One large tree shall be planted per 50 linear feet of street frontage. (223.7/50 = 4 Trees) **Provided: Large Trees= 4**

Ten small shrubs shall be planted per 50 linear feet of street frontage. (223.7/50 = 40 Shrubs) **Shrubs= 40**

Sec. 114-71 (f) Landscape Area Percentage:
 An area not less than 15 percent of the total lot area shall be landscaped.
 Minimum Requirements: 50,167 sf x 15%= 7,525.05 sf **Provided: 7,408 sf (15%)**

Sec. 114-71 (h) Parking Lot Screening:
 (1) Screening shall be a maximum height of 30" above the grade of the parking lot along and adjacent to its entire length and provide a solid screening barrier.
 (2) Shrubs shall be planted a minimum of two feet off the back of curbs. Areas under car bumpers shall be covered with ground cover or special paving treatments.

Sec. 114-71 (i) Landscaping of Parking Lot:
 Minimum Requirements:
 (2) One large tree shall be planted for every 20 parking spaces. (51/20 = 3 Trees) **Provided: Large Trees= 8**

(2) No parking space shall be located more than 100 feet from a large tree within a landscaped island.
 (2) All landscape islands shall be landscaped with at least ground cover and one large tree.
 (5) All parking lots must be at least five percent landscaped.
 Minimum Requirements: 44,607 sf x 5%= 2,230.4 sf **Provided: 4,688 sf (11%)**

(2)(b) Urban Design Monuments:
 Urban design monument features of Leuders Limestone in an Ashlar pattern measured 36 inches tall by 30 inches wide with a solid cast stone cap of six inches in height applied to the top. Said monuments shall be evenly spaced 50 feet on-center and 25 feet on-center from required large trees.

Sec. 114-72 (c) Buffer Requirements
 Minimum Requirements:
 (4)(b) A minimum of one large tree planted per each 30 linear feet of buffer area. (221.5/30= 8 Trees) **Provided: Evergreen Trees= 12***

*A gas easement is within the majority of the bufferyard and overstory trees are not allowed. 12 smaller evergreen trees have been used in the small area of the bufferyard that is outside the gas easement. These trees will reach a mature height of approximately 15'-20'.

Irrigation:
 All required landscape areas shall be permanently maintained and shall be irrigated with an automatic conventional irrigation system equipped with rain and freeze sensor controls.

LEGEND (THIS SHEET)

- FLAGSTONE ON 1" SAND BED INSTALLED OVER 6" COMPACTED AGGREGATE BASE. 1-1/2" MAX JOINTS FILLED WITH GATOR DUST. (COLOR: SELECT FROM REGIONAL AVAILABILITY) (MIN SIZE PER STONE PIECE: 9 SF x 2" THICK) (355 sf)
- 4"-6" RIVER ROCK (45 sf)
- 6" x 3/16" STEEL EDGING (COLOR: GREEN)
- NUMBER OF PARKING SPACES

I, Derek McCall, Registered Landscape Architect # 3343
 Certify that the Plan Shown Meets the Landscaping Regulations of the City of North Richland Hills, Section 114-71 Landscape Requirements.

Signature: *Derek McCall*
 Date: 10/03/19

Scale: 1"=20'-0"
 NORTH

REFER TO SHEET L5 FOR PLANTING NOTES

(CASE ZC 2019-07)

Braum's
 ICE CREAM AND DAIRY STORES
 Loop 820 & Rufe Snow
 North Richland Hills, TX

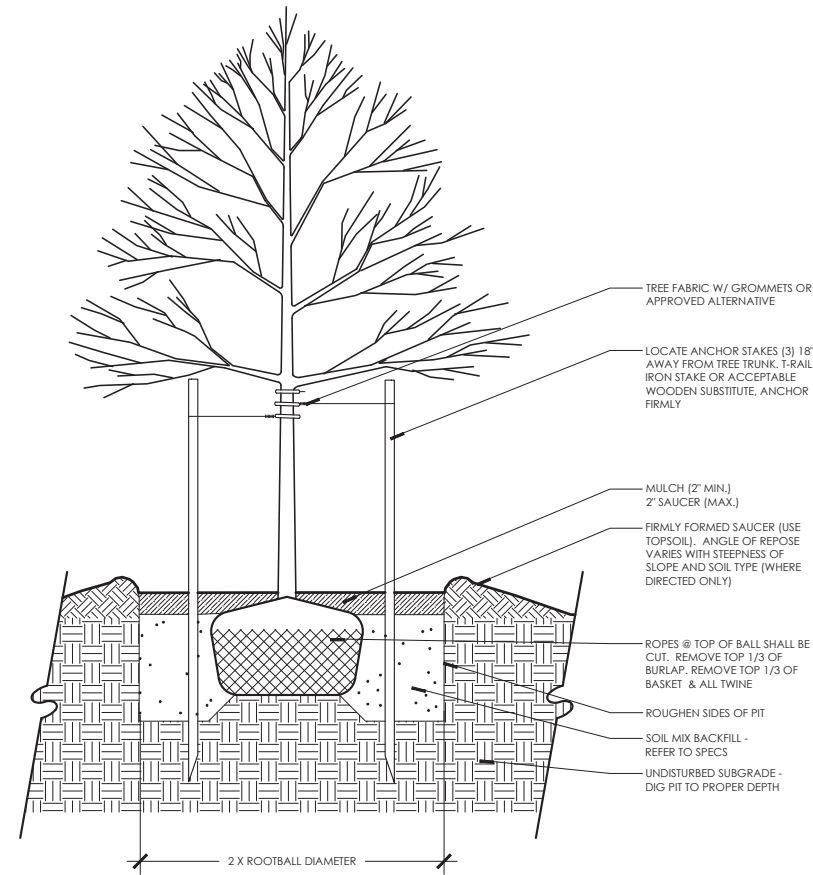
BRAUM'S
 ICE CREAM AND DAIRY STORES
 PRODUCERS, PROCESSORS & RETAILERS OF FINE DAIRY PRODUCTS
 P.O. BOX 25425, 3000 N.E. 38RD, OKLAHOMA CITY, OKLAHOMA 73112
 (405) 478-1656

PROJECT: 19040
 ISSUE DATE: 10/03/2019

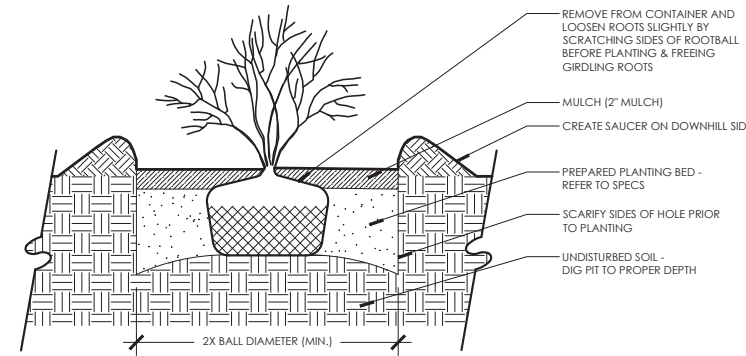
PLAN SCALE: (H) 1"=20'

LANDSCAPE PLAN

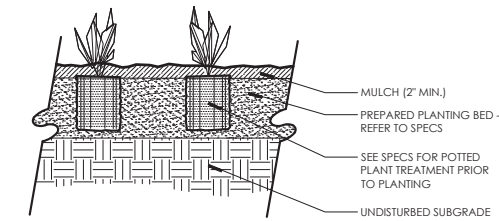
L1



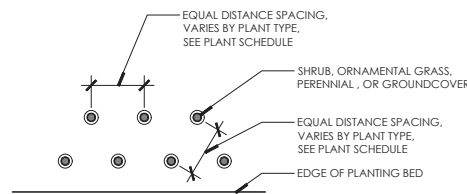
1 SECTION: DECIDUOUS TREE PLANTING
1"=1'-0"



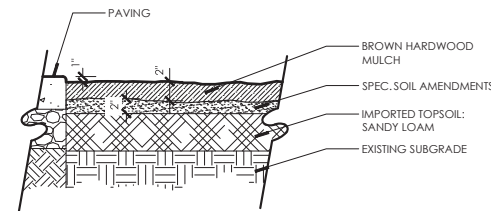
2 SECTION: SHRUB PLANTING
1"=1'-0"



3 SECTION: PERENNIAL & GROUNDCOVER PLANTING
1"=1'-0"



4 DETAIL PLAN: TYPICAL PLANT LAYOUT
1"=1'-0"



NOTES:
1) REMOVE ALL ROCK, DEBRIS AND OTHER FOREIGN MATTER OVER 1" IN DIAMETER FROM TOP 4" OF SOIL
2) 8" SUBGRADE PRIOR TO INSTALLING TOPSOIL AND TILL INTERFACE OF SUBGRADE AND TOPSOIL
3) TILL TOPSOIL AND SOIL AMENDMENTS TO A MIN. OF 6" DEPTH
4) CONTRACTOR TO ASSURE PLANTING BEDS ARE FREE OF WEED SEEDS AND EXISTING LAWN GRASSES

5 SECTION: MULCH
1"=1'-0"

REFER TO SHEET L5 FOR PLANTING NOTES

(CASE ZC 2019-07)



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MILESTONE	DATE
FIRST SUBMITTAL	04/25/19
SECOND SUBMITTAL	08/22/19
THIRD SUBMITTAL	10/03/19
PLOT DATE: 10/03/19	

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PRODUCTS, PROCESSORS & RETAILERS OF FINE DAIRY PRODUCTS
P.O. BOX 25429, 3000 N.E. 68RD OKLAHOMA CITY, OKLAHOMA 73121
(405) 478-1656

PROJECT: 19040
ISSUE DATE: 10/03/2019

PLAN SCALE: (H) NONE

LANDSCAPE DETAILS

L2

GENERAL PROJECT NOTE

1. Work performed shall conform to these notes, construction drawings, and specifications.
2. Work performed shall conform to all applicable local, state, and federal ordinances and regulations.
3. Contractor shall be responsible for all damage to all utilities during the installation. Contractor shall confirm the location of the utilities prior to starting any work. All utility locations shown are approximate and are based on survey information, site development plans, utility records, etc.
4. The contractor is responsible for contacting local underground utility services and/or one-call system at 1-800-522-6543 for utility location and identification, prior to commencing any construction activities.
5. Perform construction activities in the vicinity to existing utilities by hand, if necessary. The contractor bears full financial and legal responsibility for his/her work and damage to utilities shall be repaired immediately at no cost to the owner.
6. Notify Landscape Architect of any site conditions that would not allow this plan to be installed as shown. If any part of this plan cannot be installed as shown due to site conditions or any other reason, notify the client's representative for clarification prior to commencing construction.
7. Verify base information. Source of surveyor, civil engineer, or architect base information is assumed to be correct. Report discrepancies to the landscape architect or Owner's Representative immediately.
8. When the contractor believes they are substantially complete, they are to request a punch-list walk-through with the owner's representative and landscape architect.

DEMOLITION NOTES

1. Items shall only be removed if designated for removal in the drawings. Trees, footings, paving, and other items to be removed to their full depth unless otherwise noted.
2. Significant items found below grade and not shown on drawings shall be brought to the attention of the landscape architect or owner's representative.
3. All concrete and asphalt removal shall be saw-cut. Damage to edges of paving to be saved shall be repaired to an acceptable quality by the contractor at no cost to the owner.
4. Remove demolished material from site and dispose of according to local, state, and federal regulations. No burning or burying is allowed.
5. Salvage existing site materials as requested by the landscape architect and stockpile on-site in an area that will not inhibit construction activities.

LAYOUT NOTES

1. Layout and verify dimensions and locations prior to construction. Bring discrepancies to the attention of the landscape architect for clarification.
2. Written dimensions take precedence over scaled drawings. Addenda, clarifications, and specifications take precedence over written dimensions.
3. For dimensions of existing buildings and proposed buildings, refer to the architectural drawings.
4. Dimensions are measured perpendicular from adjacent face of building, wall, or other fixed site improvement. Dimensions to centerlines are as indicated.
5. Where dimensions are called 'equal' or 'typical' (TYP.), space referenced items equally measured to their centerlines.
6. Install intersecting elements at 90 degree angles to each other unless otherwise noted.
7. Provide expansion joints where flatwork meets buildings, footings, wall, curbs, steps, or other fixed elements.
8. Install control joints as shown on plans. Control joints in concrete walkways spaced no more than distances equal to 24 to 30 times the slab thickness and be a minimum of 1/4 of the depth of the slab made 4-12 hours after concrete finishing.
9. All walkways shall be located from finished face of buildings.

GRADING AND DRAINAGE NOTES

1. Drainage lines to be laid out in field and slope a minimum of 1% downhill.
2. All hardscape surfaces shall drain toward drainage inlets and away from structures.
3. All planting beds to drain toward drain inlets or french drains as shown and away from building at a min. of 6" over 10'. Finished grade of planting beds shall be a minimum 8" lower than the finished floor elevation of the building slab. Notify the landscape architect immediately of any perceived discrepancies.
4. Erosion and control measures installed as required by all municipal codes and shall meet all municipal code specifications
5. All drainage pipes in lawn areas to have pop-up exits or drain to specified location.
6. The contractor is to install according to this plan but proper drainage and grading will be the ultimately be the responsibility of the Contractor on site. Discrepancies in drawing to be brought to the attention of Landscape Architect before or during construction.
7. Walls over 48" from top of wall to bottom of footing to be reviewed by designed by licensed Engineer.

PLANTING NOTES

1. The contractor shall familiarize himself/herself with the site conditions and verify them to his/her satisfaction.
2. The contractor is responsible for maintaining, in full all planting areas (including watering, spraying, mulching, mowing, fertilizing, etc.) until the job is accepted, in full, by owner and/or Landscape Architect.
3. The landscape contractor is responsible for confirming the availability of all the specified plant materials within two (2) weeks of project award. All requests for substitution due to lack of availability must be made to the landscape architect in writing within this period. No substitution shall be permitted without prior written approval. The contractor is responsible for exhausting all means possible to obtain the materials as specified prior to requesting substitution. Approved substituted materials must be offered at no additional costs to the owner.
4. The landscape contractor is responsible for confirming the quantities of each plant material required to adequately cover the area shown on the landscape plans at the prescribed spacing and notifying the landscape architect immediately of any perceived discrepancies a min. of two (2) working days prior to planting.
5. The landscape architect reserves the right to review and approve all plant materials if requested, including sod, at the source nursery with the landscape contractor prior to delivery to the job site.
6. All root balls shall conform to the size standards set forth in "American Standards for Nursery Stock".
7. Each tree shall be backfilled with 3 cubic feet of Back to Nature cotton burr compost mixed thoroughly with existing topsoil. Apply Biotone starter following Espoma Organic Bio-tone Starter Plus 4-3-3 following manufacturer's recommendations.
8. For evergreen shrub and tree planting, apply Wilt-Pruf anti-desiccant spray at a rate of 1:10 (Wilt-Pruf to water) the same day as planting.
9. Refer to Civil Engineer's grading plans for grading information. If actual site conditions vary from what is shown on the plans or if there are discrepancies between the plans, contact the Landscape Architect for direction as to how to proceed.
10. All plant material shall be protected during transport and delivery to final location with shade cloth or other acceptable means of windburn prevention.
11. All trees must be guyed or staked as shown in the details.
12. Installation- all plant material shall be installed in a sound, workman-like manner and according to accepted good planting and tree relocation procedures with the quality of plant materials as hereinafter described. All elements of landscaping shall be installed so as to meet all applicable ordinances and code requirements.
13. Contractor shall assure drainage and percolation of all planting pits prior to installation of plant material. Contractor shall fill all tree pits with water before planting to assure that proper drainage and percolation is available. Correct if required to assure percolation. Contractor is responsible for replacement of all plants lost due to inadequate drainage conditions.
14. Contractor to request final acceptance of project in writing. If all work is satisfactory and complete in accordance with conditions of contract documents, then the owner, and/or landscape architect shall declare the project substantially complete.
15. Contractor to replace rejected plant material within two (2) weeks of written notice.
16. Contractor shall mulch all plant material throughout and completely to a three-inch (3") depth of loose, weed free sterilized cedar mulch unless noted otherwise in plans or specifications. All disturbed areas to be covered with sod, mulch, planting, or gravel at completion of project. No bare soil shall remain on property or adjacent properties.
17. Contractor shall place all plant material on site and get landscape architect approval before planting.

SOIL PREPARATION NOTES

1. Till and remove the top 8" of soil and stockpile on site. Amend and reuse by percentage as shown below or replace with new conforming mix. Till the 8" of soil mix into the next 6" of soil to obtain 14" of weed free de-compacted soil. Stones over 2" to be removed from the soil.
The top 8" of planting bed soil to consist of the following percentages by volume:
Native or imported topsoil 40%
Sharp washed sand 10%
Leaf Compost 40%
Mushroom or Cotton Burr Compost 10%
2. Apply Roundup (manufactured by Monsanto Corp. or equal.) according to manufacturer's rate and specification within limits of all areas to be planted. Protect existing plants to remain from overspray or spray within root zone. Contractor to ensure total weed eradication

TREE PRESERVATION NOTES

1. All trees to be preserved as indicated on the Landscape Demolition Plan shall be protected by 6' construction fence. The fence shall be located at a 5-ft. radius from the edge of the trunk. The fence shall be firmly anchored into the ground and shall remain upright and intact until all construction activity is complete. Construction activities or storage shall not occur within these protected areas. The Contractor shall stake the protective fencing location. The location of the protective fencing shall be approved onsite by the Landscape Architect prior to the start of any site work.
2. When excavation near a tree to be protected must be carried out, damage can be limited by root pruning. Root pruning shall be completed before grading is started and shall occur beneath the protective fencing as shown on the plan.
3. Root pruning shall be performed, when required, with a trencher such as a telephone cable puller or a "Ditch Witch" prior to adjacent excavation. The trenching shall be to a minimum depth of 24" or the depth of excavation. The contractor shall stake the limit of root pruning as per the plan. Limits of trenching shall be approved by the Landscape Architect prior to any trenching in the field. Do not trench for irrigation or electrical within drip lines of existing trees. Coordinate all trenching required for utility work with the landscape plans.
4. The best method to avoid soil compaction is to KEEP OFF. This includes restricting all traffic both vehicular and pedestrian from crossing over the root zones, and restricting even temporary material storage under trees.

LAWN NOTES

1. Sod or seed all areas as shown on plans and all disturbed areas. If not shown on plans but within limits of work, contractor to confirm with landscape architect.
2. Provide 1/4 inch of compost to be tilled into top 4" of lawn areas prior to seeding or sodding if heavy clay soils are present.
3. Top soil shall be free of weeds and foreign material immediately before sodding.
4. Lay sod with closely fitted joints leaving no voids and with ends of sod strips staggered. Sod shall be laid within 24 hours of harvesting.
5. Tamp and roll sod with approved equipment to eliminate minor irregularities and to form close contact with soil bed immediately after planting and watering. Submit type of tamping and rolling equipment to be used to the Landscape Architect for approval, prior to construction.
6. Evenly spread fertilizer composite at a rate of 40 pounds per 5000 square feet or as recommended by manufacturer. Fertilizer shall not be placed until 2 weeks after placement of sod.
7. Lawn to receive a minimum 1/2 inch water for the first 3 weeks after area is sodded. After 3-week period, water twice a week with 3/4 inch of water each time unless comparable amount has been provided by rain.

IRRIGATION NOTES

1. Contractor shall install a fully functional and automated irrigation system that provides full coverage to all landscape areas as shown in the plans and details. Contractor shall cut and remove any abandoned existing irrigation main lines and lateral lines within the project work area.
2. This irrigation design is for diagrammatic purposes only. The intent is to show the general layout and logic of the system. Major adjustments to the design must immediately be brought to the attention of the Landscape Architect. Scaled measurements, quantities, and actual location of equipment may vary due to field adjustments. Piping layout is schematic. Locate heads, lines and wiring along back of curbs and bed edges, combine lines and wiring in common trenches where possible. Place heads directly adjacent to curbs and edges. Place valves in accessible locations. No lines are to be placed under vehicular paving areas unless in irrigation sleeves.
3. This irrigation design makes the assumption that the existing water main is 3" ductile iron and the static pressure is 75psi. Contractor shall verify and notify Tanner Consulting if pressure or flow is significantly different than the assumed.
4. All irrigation sleeving under pavements shall be minimum 4" schedule 40 pvc (unless noted otherwise) placed 18"-24" below finish grade. Cap ends shut and backfill with crushed limestone gravel and compact according to earthwork specifications. Contractor shall field verify any existing sleeves. Temporarily mark ends of all sleeves with wood stakes or steel "T" posts. Permanently mark all sleeves with 1/4" deep "V" cut into pavements. Verify actual locations on site. All sleeving shall be bored underneath existing pavement or installed prior to new pavement. No existing pavement shall be removed for irrigation sleeving.
5. Contractor shall verify and document existing water source data on site and notify Tanner Consulting of any discrepancies before proceeding with installation.
6. Contractor shall coordinate location and installation of irrigation water meter with Civil drawings.
7. Install a Reduced Pressure Principle Backflow Preventer inside building in accordance with all applicable local and state regulations. For outdoor installation, an insulated, fiberglass enclosure is to be installed over the assembly. A GFI receptacle is to be installed within the enclosure and hard wired to an electrical supply. Landscape Architect shall approve of the backflow location if there is not an existing one.
8. Install controller inside building or if installed outside it must be placed inside of a locking enclosure. Coordinate location with general contractor or landscape architect.
9. Install Wireless Rain/Freeze sensor either on a parking lot light pole or on the building facade a minimum of 12' above finished grade. Coordinate location with landscape architect.
10. Appropriate size valve boxes are to be installed over all valves.
11. The general contractor to provide adequate electrical outlets for all irrigation equipment.
12. Contractor shall obtain any required permits, adhere to all municipal codes and follow standard and accepted local practices.
13. A minimum of two (2) automatic drain valves shall be installed at the lowest portion of each zone and at 100' intervals on the mainline.
14. Provide 100% coverage for all landscape areas and make final adjustments to obtain optimal performance. 100% coverage is defined as having head to head coverage in all direction in all areas. There shall be no shrub heads or drip irrigation placed on the same zone with turf heads and vice versa.
15. Review and report any discrepancies shown on the plan, for correction, prior to proceeding with related work.
16. Install all equipment in accordance with manufacturers details and specifications.
 - 1/2" Lateral lines shall be PVC Class 315 SDR 13.5.
 - Greater than 1/2" Lateral lines shall be PVC Class 200 SDR 21.
 - Mainline shall PVC Schedule 40 IPS Plastic Pipe.
17. Place all piping on the perimeter of landscape areas where possible. Place valves in planting areas or out of view where possible. Limit trenching around existing trees as much as possible, stay min. of 8' from trunk. Be aware of the location of new trees and shrubs and place piping away from the root balls.
18. All spray heads in planting areas to be 12" pop-ups. All spray heads in lawn areas to be a 6" pop up minimum.
19. Some piping may be shown off property or outside of sleeves for graphic purposes only. Place all irrigation components on the property and in appropriate sleeves.
20. All wire connections for the irrigation system shall be made with 3M Direct Bury Splice Kit DBR/Y-6 or approved equal.
21. Control wires shall have looped slack at all valves, corners, and bores. Snake wire in trench to allow for contraction.
22. Detectable underground warning tape shall be installed with all main line and lateral lines.



Tanner Consulting, LLC
 CIVIL ENGINEERING | LAND SURVEYING
 LANDSCAPE ARCHITECTURE | PLANNING
 5323 SOUTH LEWIS AVENUE
 TULSA, OKLAHOMA 74105-6539
 OFFICE: 918.745.9929
 www.tannerbathop.com
 TEXAS CERTIFICATION OF AUTHORIZATION
 NO. BR 2921 EXP. 03/31/2020



THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS PERMISSION AND CONSENT OF TANNER CONSULTING, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT OBTAINING SAID WRITTEN PERMISSION AND CONSENT. ANY CHANGES MADE FROM THESE PLANS WITHOUT CONSENT OF TANNER CONSULTING ARE UNAUTHORIZED, AND SHALL RESIDE TANNER CONSULTING OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.

MIILESTONE	DATE
FIRST SUBMITTAL	04/25/19
SECOND SUBMITTAL	08/22/19
THIRD SUBMITTAL	10/03/19
PLOT DATE: 10/03/19	

Braum's
 ICE CREAM AND DAIRY STORES
 Loop 820 & Rufe Snow
 North Richland Hills, TX



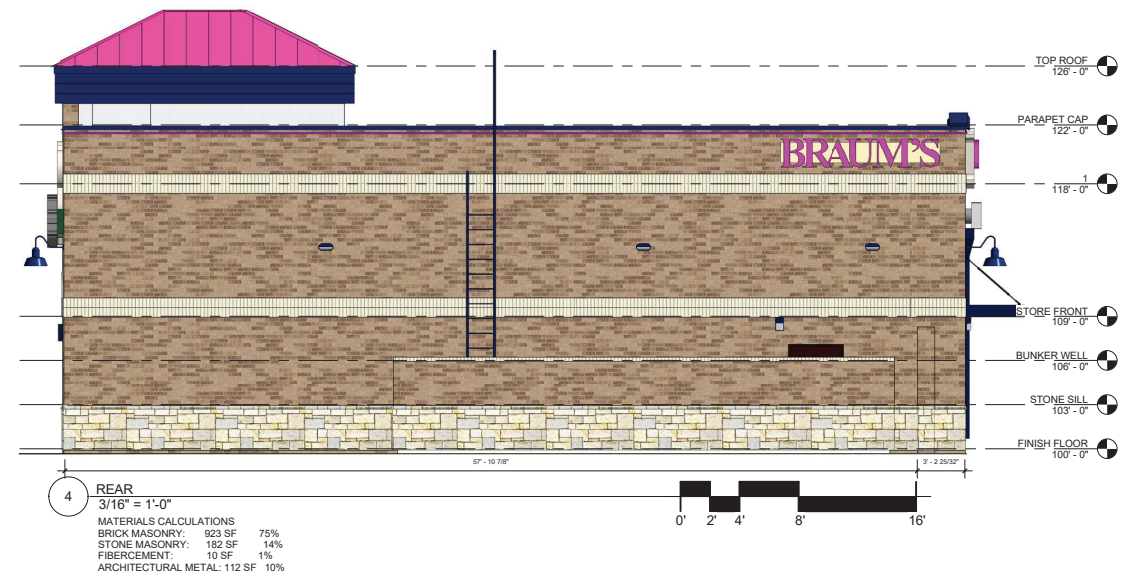
PROJECT: 19040
 ISSUE DATE: 10/03/2019

PLAN SCALE: (H) NONE

GENERAL NOTES

L5

(CASE ZC 2019-07)



MATERIALS SCHEDULE

BRICK VENEER: ACME BRICK, KENNEWICK KINGSIZE
BRICK SOLDIER COURSE VENEER: ACME BRICK, GLACIER WHITE KINGSIZE
STONE SILL: AUSTON WHITW LIME STONE
STONE VENEER: EAGLE STONE, GRANBURY YELLOW MIX
EIFS: "STUCCO PATERN" PANITONE COATED- CONE YELLOW-135C
METAL ROOF: PANITONE COATED PINK-232C
TRIM METAL: PANITONE COATED BLUE-281C
STOREFRONT FRAMING: ANODIZED BRONZE
PARKING LOT LIGHTS: TECH LIGHT VBL SERIES
WALL PACK LIGHTS: CANOPY LIGHTS CHARCOAL GRAY

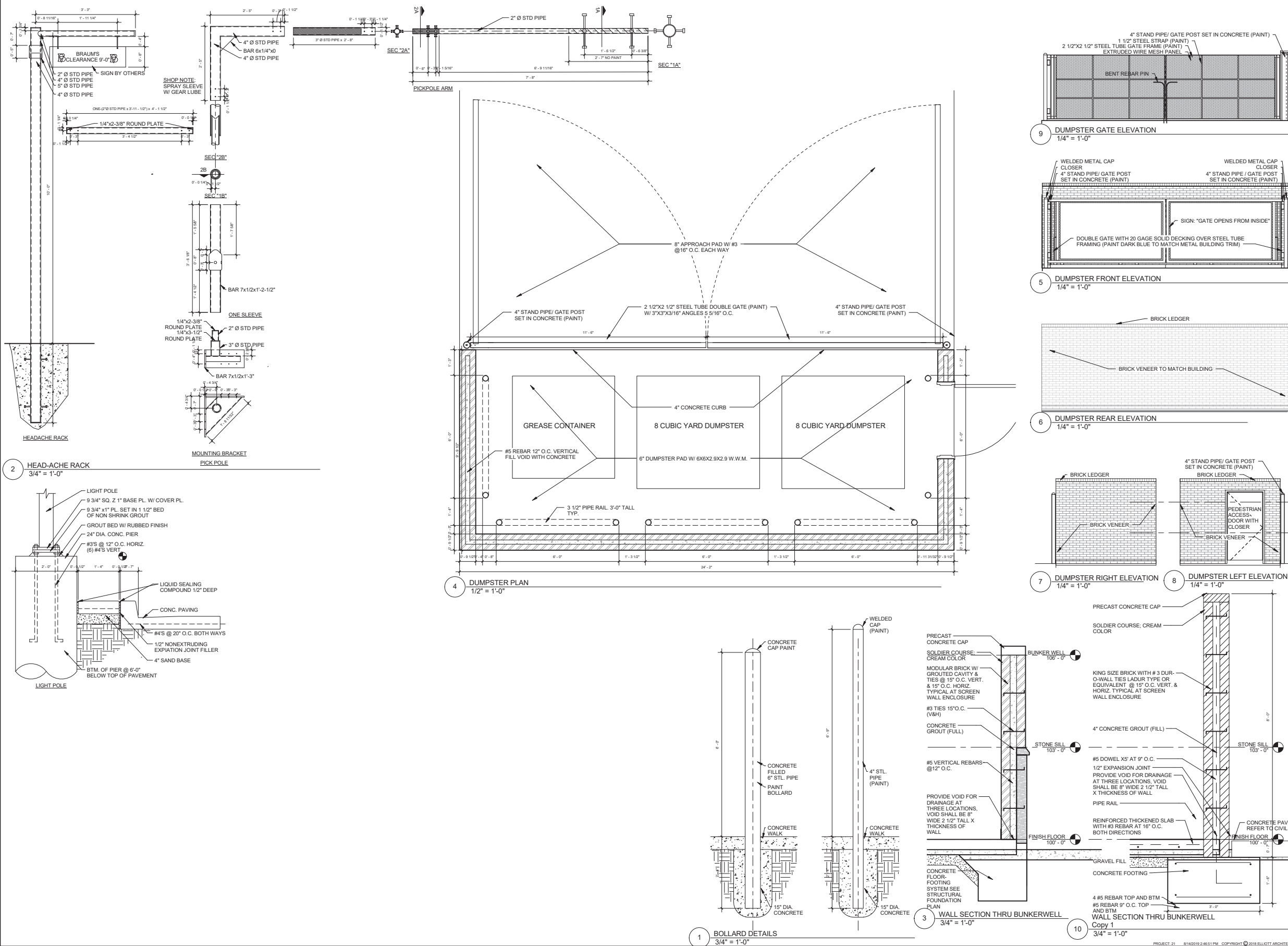
BRAUM'S STORE MODEL "X" EXTERIOR ELEVATIONS

BRAUM'S
ICE CREAM AND DAIRY STORES

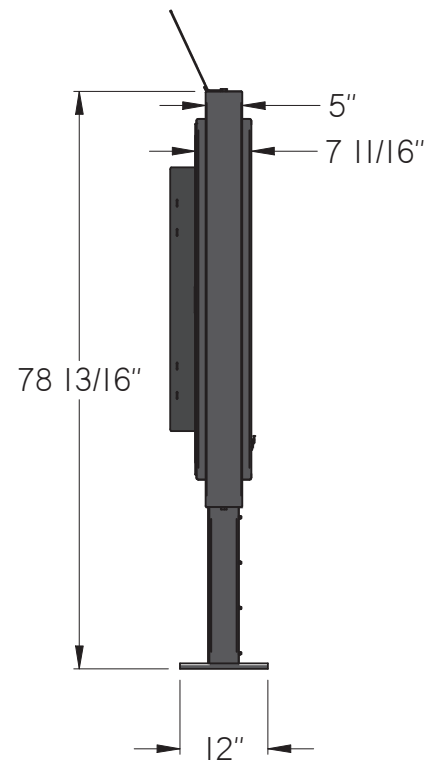
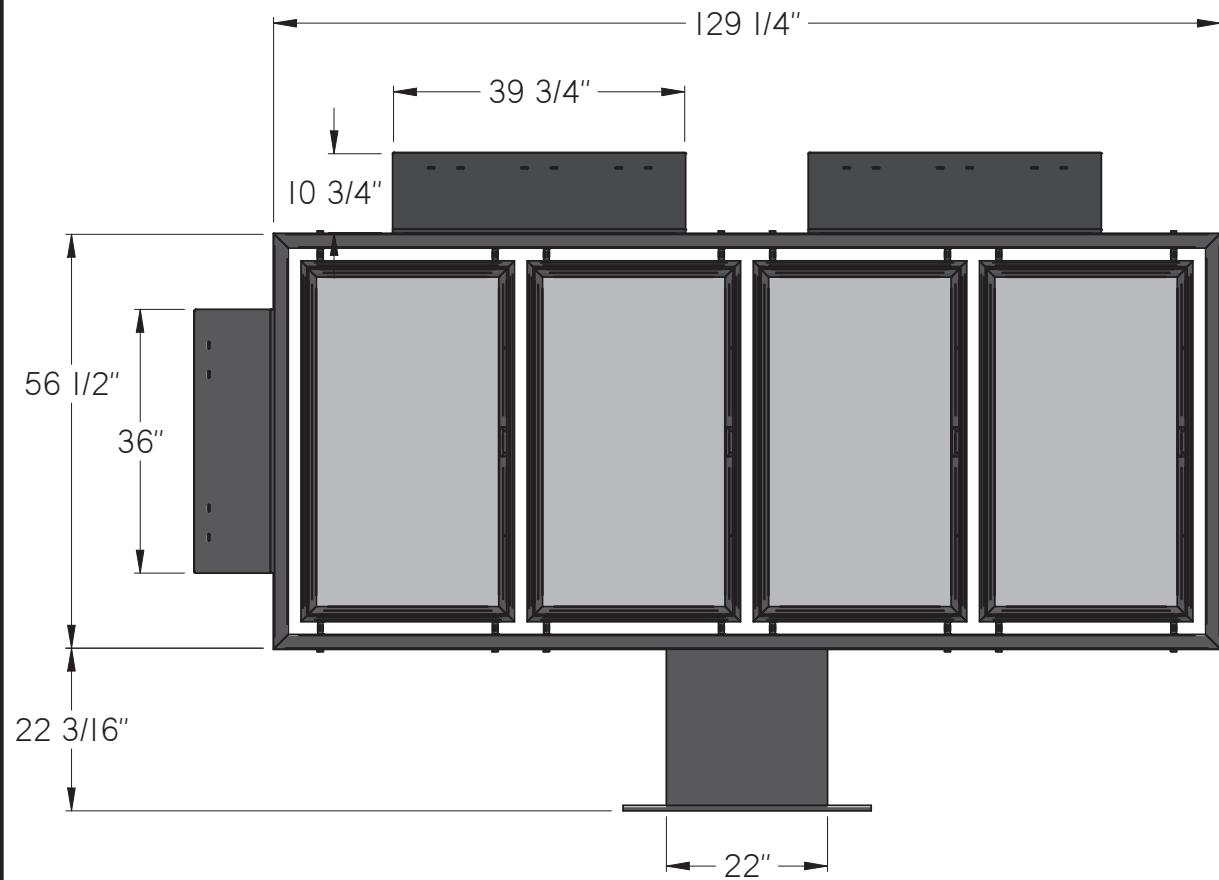


Elliott Architects Inc.
200 N.W. 6th Street
Oklahoma City, Oklahoma 73106
Fax: (405) 272-8002
Email: cre@elliottarchitects.com





BRAUM'S
 ICE CREAM AND DAIRY STORES
BRAUM'S STORE MODEL "X"
 SITE DETAILS
Elliott Architects Inc.
 800 N.W. 60th Street, Oklahoma City, Oklahoma 73106
 P: (405) 272-8000
 F: (405) 272-8002
 E: ecreate@elliottarchitects.com



FOUR PANEL MENU BOARD

DESCRIPTION: FOUR DOOR BRAUM'S
DRIVE THRU MENU BOARD,
LED BACKLIT, W/TOP AND SIDE
MOUNTED POP HOLDER

GENERAL SPECIFICATIONS:

- Materials: - Aluminum Sheetmetal
- Aluminum Extrusions
- Steel Sections
- Steel Plate
- Acrylic Sheet

Front Load Area: 54 Sq Ft
Side Load Area: 4 Sq Ft

Weight:

- Crated: 850 lbs
- Uncrated: 620 lbs

ELECTRICAL:

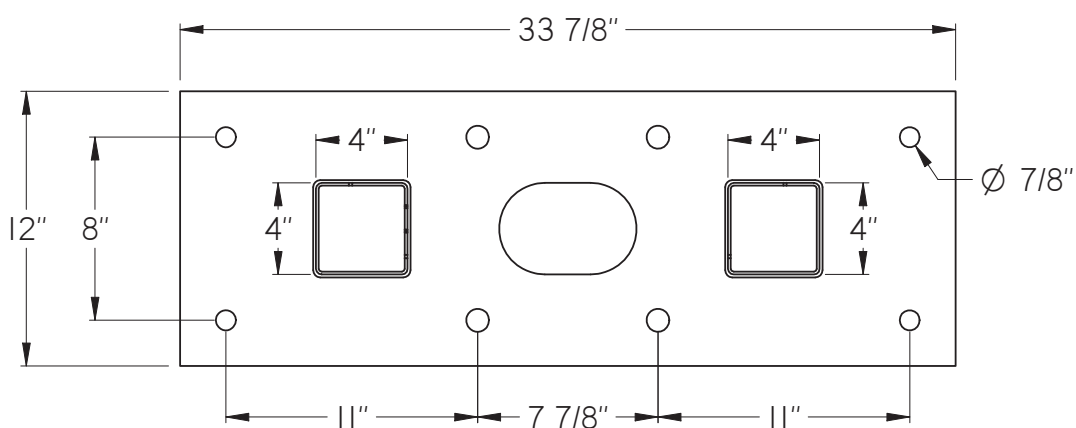
Illumination: White LEDs
Power Supply: (2) Class 2 Power
Supply

Line Load:

- 2 Amp @ 120vac-60Hz
- (1) 20 Amp Circuit

COLORS:

Braum's Blue



BASEPLATE DETAIL

3/4" THICK
USE MINIMUM OF FOUR Ø3/4" ANCHOR BOLTS



ORDERMATIC
CORPORATION

340 South Eckroat Street
Oklahoma City, OK 73129

Phone: 844-231-6837 Fax: 405-672-5349
www.OrderMatic.com

Tolerances:
Units Are In Inches
Unless Otherwise
Specified:

Welding	±1/8"
Assembly	±1/8"
Sheet Metal	±0.015"
Bending	±0.015"
Shear/Punch	±0.005"

Revisions

#	By	Description	Date

- Conceptual Artwork
- Conceptual Design
- Manufacturing Design
- As-Built Design

Approvals for Production

RESEARCH AND DEVELOPMENT	SIGN	Date
MANUFACTURING	SIGN	Date
PROJECT MANAGER	SIGN	Date
SALES	SIGN	Date
CUSTOMER	PRINT	Date
CUSTOMER	SIGN	

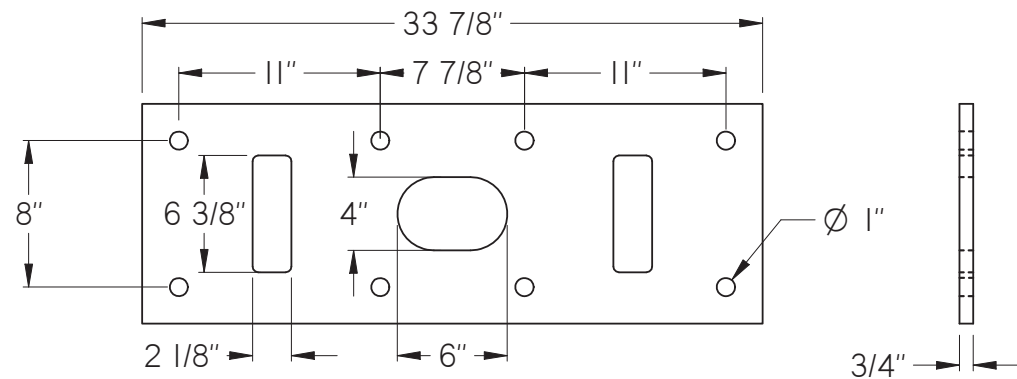
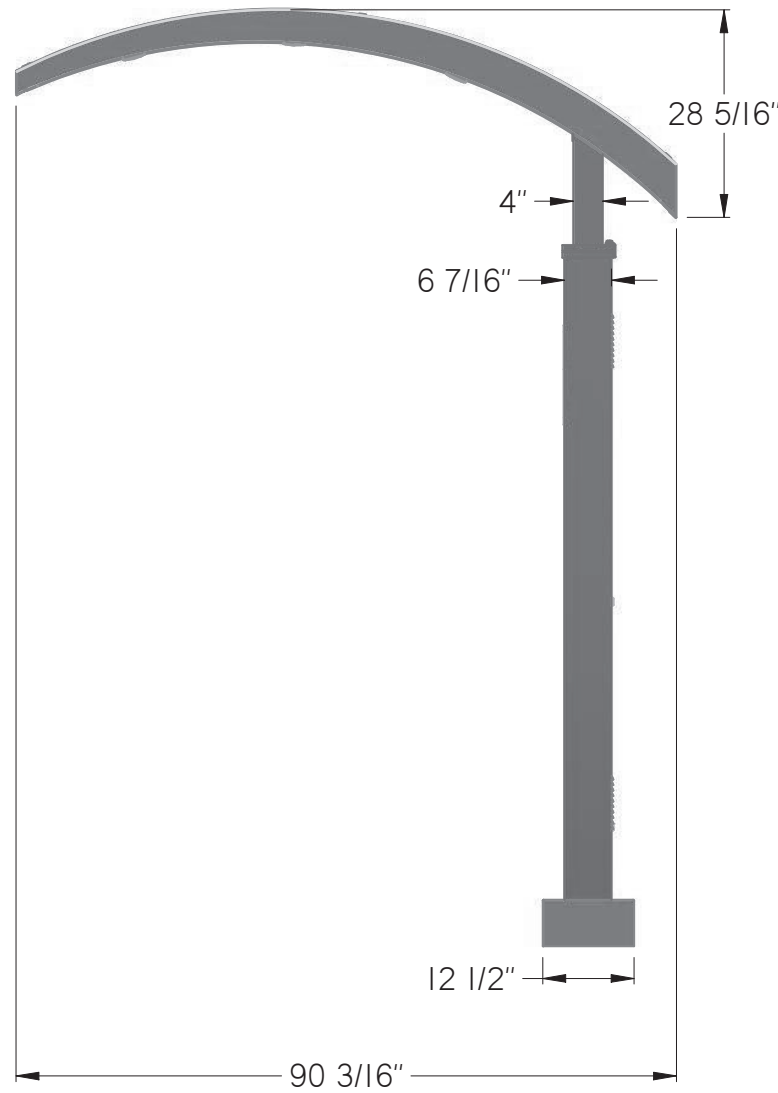
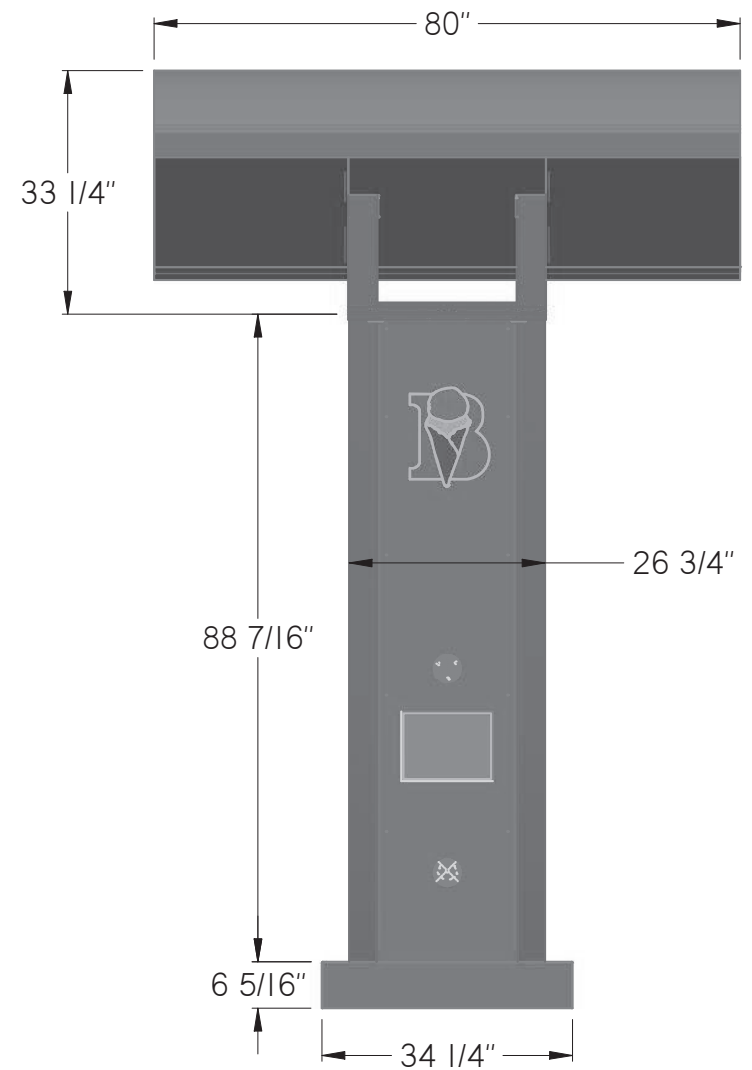


CUSTOMER Braum's Menu Boards

PROJECT Specifications

DRAWING SET Four Panel Menu Board

SHEET NAME PAGE



BASEPLATE DETAIL

3/4" THICK

CURVED CANOPY W/COMMUNICATIONS AND ORDER CONFIRMATION

DESCRIPTION:
DRIVE-THRU ORDER SCREEN
INTERCOM SYSTEM
CANOPY TO PROTECT CUSTOMER FROM
ELEMENTS
PROVIDE ILLUMINATION IN ORDER AREA

GENERAL SPECIFICATIONS:
Materials: - Aluminum Sheetmetal
- Aluminum Extrusions
- Steel Sections
- Steel Plate
- Acrylic Sheet
Front Load Area: 33 Sq Ft
Side Load Area: 12 Sq Ft
Weight:
• Crated: 1220 lbs
• Uncrated: 990 lbs

ELECTRICAL:
Illumination: (6) LEDs

Line Load:
• 2 Amp @ 120vac-60Hz
• (1) 20 Amp Circuit

COLORS:
Braum's Blue
Braum's Pink



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CORPORATION

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Oklahoma City, OK 73129

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www.OrderMatic.com

Tolerances:
Units Are In Inches
Unless Otherwise
Specified:
Welding.....±1/8"
Assembly.....±1/8"
Sheet Metal.....±0.015"
Bending.....±0.015"
Shear/Punch.....±0.005"

Revisions			
#	By	Description	Date

- Conceptual Artwork
- Conceptual Design
- Manufacturing Design
- As-Built Design

Approvals for Production

RESEARCH AND DEVELOPMENT	
SIGN	Date
MANUFACTURING	
SIGN	Date
PROJECT MANAGER	
SIGN	Date
SALES	
SIGN	Date
CUSTOMER	
PRINT	Date
SIGN	

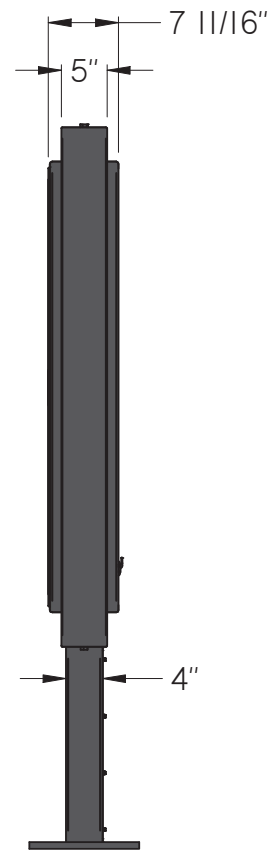
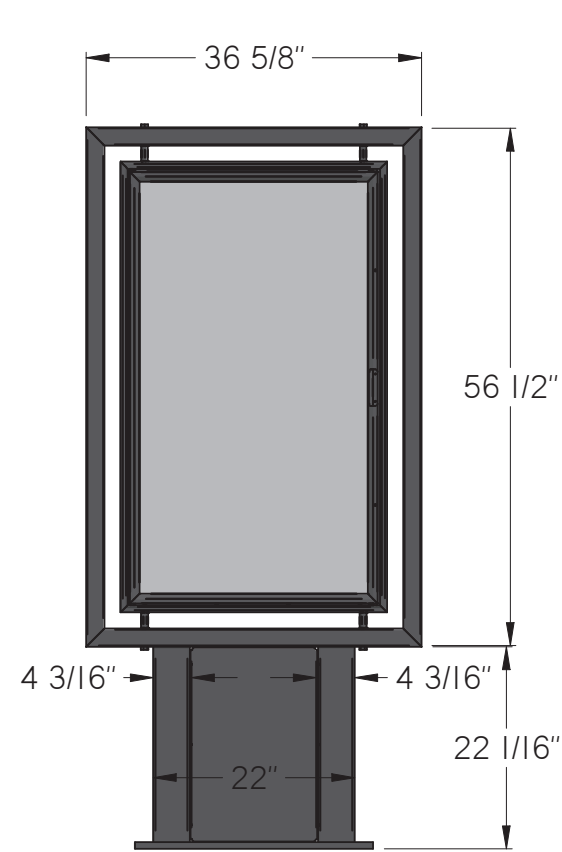


CUSTOMER
Braum's Menu Boards

PROJECT
Specifications

DRAWING SET
Curved Canopy

SHEET NAME PAGE



PRE-ORDER MENU BOARD

DESCRIPTION: SINGLE DOOR BRAUM'S
PRE-ORDER MENU BOARD,
LED BACKLIT

GENERAL SPECIFICATIONS:

- Materials: - Aluminum Sheetmetal
- Aluminum Extrusions
- Steel Sections
- Steel Plate
- Acrylic Sheet

Front Load Area: 16 Sq Ft

Side Load Area: 4 Sq Ft

Weight:

- Crated: 420 lbs
- Uncrated: 269 lbs

ELECTRICAL:

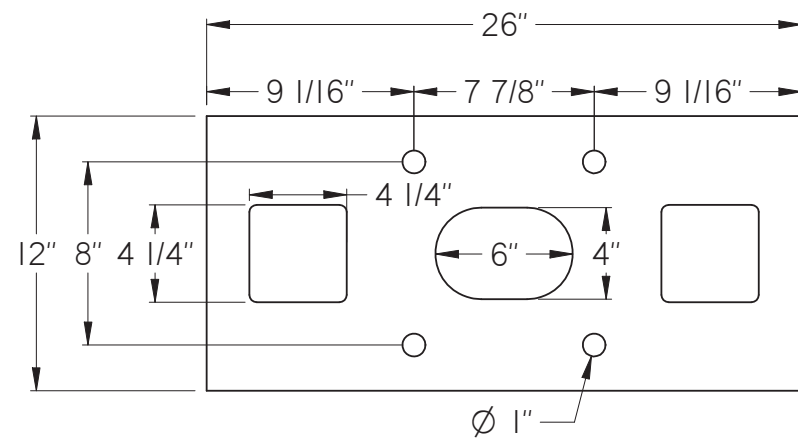
Illumination: White LEDs

Line Load:

- 2 Amp @ 120vac-60Hz
- (1) 20 Amp Circuit

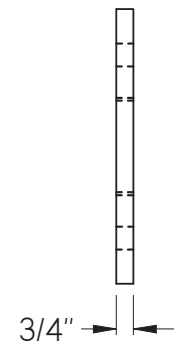
COLORS:

Braum's Blue



BASEPLATE DETAIL

3/4" THICK



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Oklahoma City, OK 73129

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Tolerances:
Units Are In Inches
Unless Otherwise
Specified:

Welding.....±1/8"
Assembly.....±1/8"
Sheet Metal.....±0.015"
Bending.....±0.015"
Shear/Punch.....±0.005"

Revisions			
#	By	Description	Date

- Conceptual Artwork
- Conceptual Design
- Manufacturing Design
- As-Built Design

Approvals for Production

RESEARCH AND DEVELOPMENT	
SIGN	Date
MANUFACTURING	
SIGN	Date
PROJECT MANAGER	
SIGN	Date
SALES	
SIGN	Date
CUSTOMER	
PRINT	Date
SIGN	



CUSTOMER Braum's Menu Boards

PROJECT Specifications

DRAWING SET Pre-Order Board

SHEET NAME PAGE

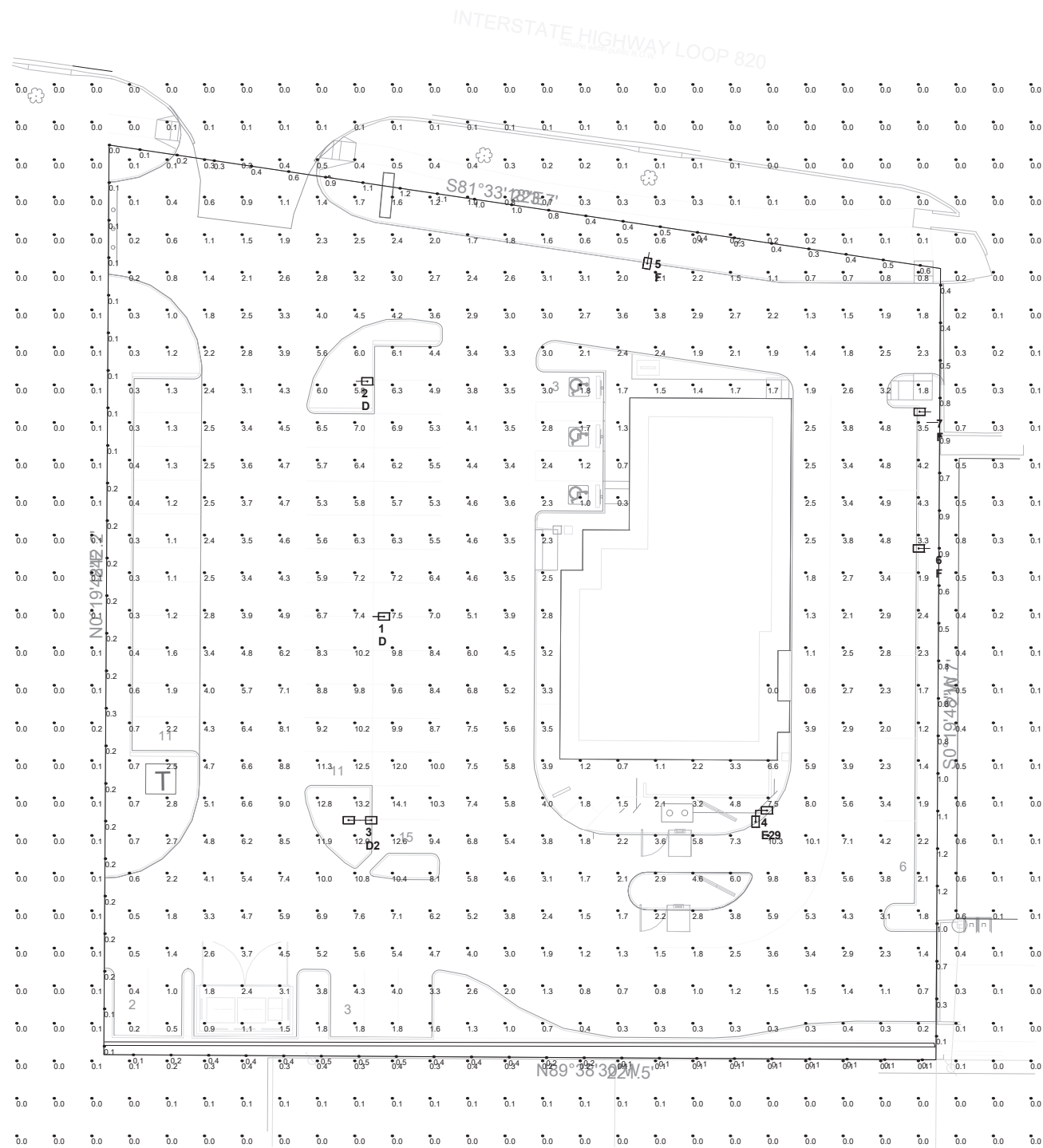
TECHLIGHT
 2707 SATSUMA
 DALLAS, TX
 75229

Project:
BRAUMS
ICE CREAM
NORTH
RICHLAND HILLS,
TX

Notes:

FILE:
 brm-nrh5.agi

Date:
 8-26-19



Symbol	Qty	Label	Lumens/Lamp	Arrangement	LLF	Description
[Symbol]	2	D	N.A.	SINGLE	0.900	LSMT-2-C-X-T5W-F-TWO BRICK TYPE 5 1400MA LED
[Symbol]	1	D2	N.A.	D180	0.900	LSMT-2-C-X-T5W-F-TWO BRICK TYPE 5 1400MA LED
[Symbol]	1	E29	N.A.	2 @ 90 DEGREES	0.900	LSMT-1-C-X-T3-F-ONE BRICK TYPE 3 1400MA LED
[Symbol]	3	F	N.A.	SINGLE	0.900	LSMT-1-C-M-T4-D-S213-ONE BRICK TYPE 4 1050MA LED W/BACK SHLD

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE	Illuminance	Fc	2.12	14.1	0.0	N.A.	N.A.
PROP LINE	Illuminance	Fc	0.42	1.2	0.0	N.A.	N.A.
PARKING AND DRIVE	Illuminance	Fc	3.98	14.1	0.1	39.80	141.00

LumNo	Label	Z-luminaire height	Tilt
1	D	18	0
2	D	18	0
3	D2	18	0
4	E29	18	0
5	F	18	0
6	F	18	0
7	F	18	0

Notes:
 1. Calculation at grade.
 2. Based on 15' poles plus 3' AFG bases.



- DUE TO CHANGING LIGHTING ORDINANCES IT IS THE CONTRACTORS RESPONSIBILITY TO SUBMIT THE SITE PHOTOMETRICS AND LUMINAIRE SPECS TO THE LOCAL INSPECTOR BEFORE ORDERING TO ENSURE THIS PLAN COMPLIES WITH LOCAL LIGHTING ORDINANCES.
 - THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY OTHERS. CHANGES IN ELECTRICAL SUPPLY, AREA GEOMETRY AND OBJECTS WITHIN THE LIGHTED AREA MAY PRODUCE ILLUMINATION VALUES DIFFERENT FROM THE PREDICTED RESULTS SHOWN ON THIS LAYOUT.
 - THIS LAYOUT IS BASED ON .IES FILES THAT WERE LAB TESTED OR COMPUTER GENERATED. ACTUAL RESULTS MAY VARY.