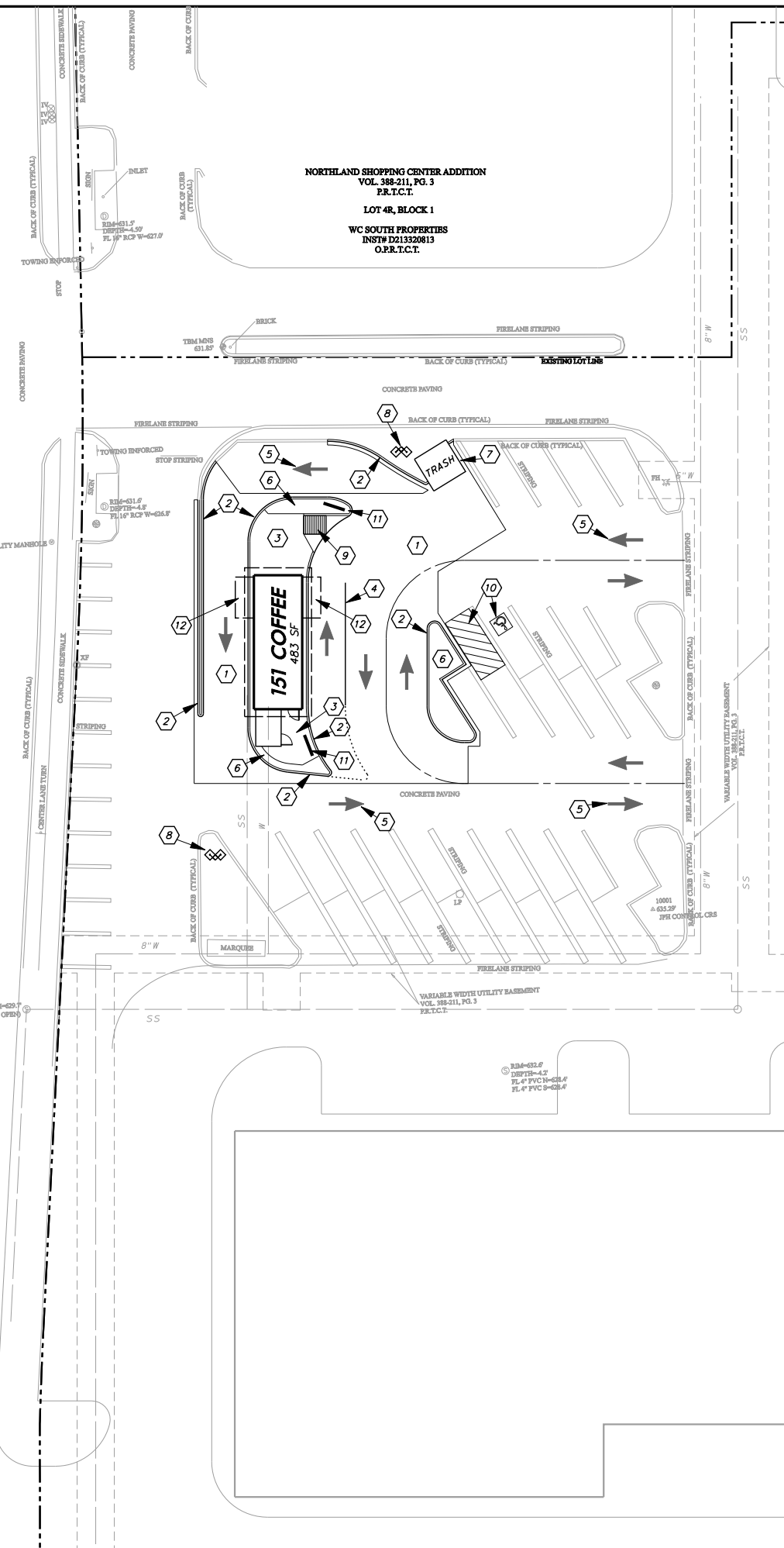
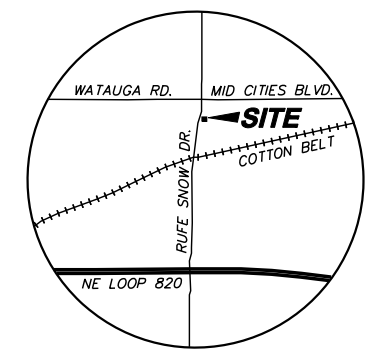
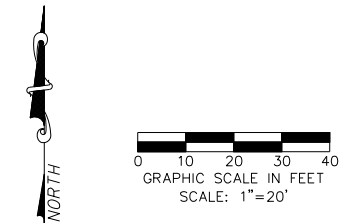


RUFE SNOW DRIVE
 VARIABLE WIDTH R.O.W.
 (NO RECORDING INFORMATION FOUND)



NORTHLAND SHOPPING CENTER ADDITION
 VOL. 388-211, PG. 3
 P.R.T.C.T.
LOT 4R, BLOCK 1
WC SOUTH PROPERTIES
 INST# D213320813
 O.P.R.T.C.T.

NORTHLAND SHOPPING CENTER ADDITION
 VOL. 388-211, PG. 3
 P.R.T.C.T.
LOT SR, BLOCK 1
WC SOUTH PROPERTIES
 INST# D213320813
 O.P.R.T.C.T.



LOCATION MAP
 NOT TO SCALE

KEYNOTES

- 1 INSTALL PORTLAND CEMENT CONCRETE PAVING PER GEOTECHNICAL SPECIFICATIONS
- 2 CONSTRUCT MONOLITHIC CONCRETE CURB
- 3 CONSTRUCT P.C.C. SIDEWALK
- 4 PAINT 4" WIDE SOLID STRIPE - WHITE
- 5 PAINT TRAFFIC ARROWS - WHITE
- 6 LANDSCAPE AREA
- 7 CONSTRUCT TRASH ENCLOSURE
- 8 SITE LIGHTS
- 9 ADA RAMP
- 10 ADA MARKINGS
- 11 MENU BOARD
- 12 DRIVE-UP WINDOW

DEVELOPER:
 151 COFFEE
 2840 W. SOUTHLAKE BLVD., SUITE 110
 SOUTHLAKE, TEXAS 76092
 PH: (817) 552-6210

OWNER:
 WC SOUTH PROPERTIES BUSINESS CORP.
 3113 SOUTH UNIVERSITY DR., SUITE 600
 FORT WORTH, TEXAS 76109
 PH: (817) 927-0050

NO.	REVISION	BY	DATE

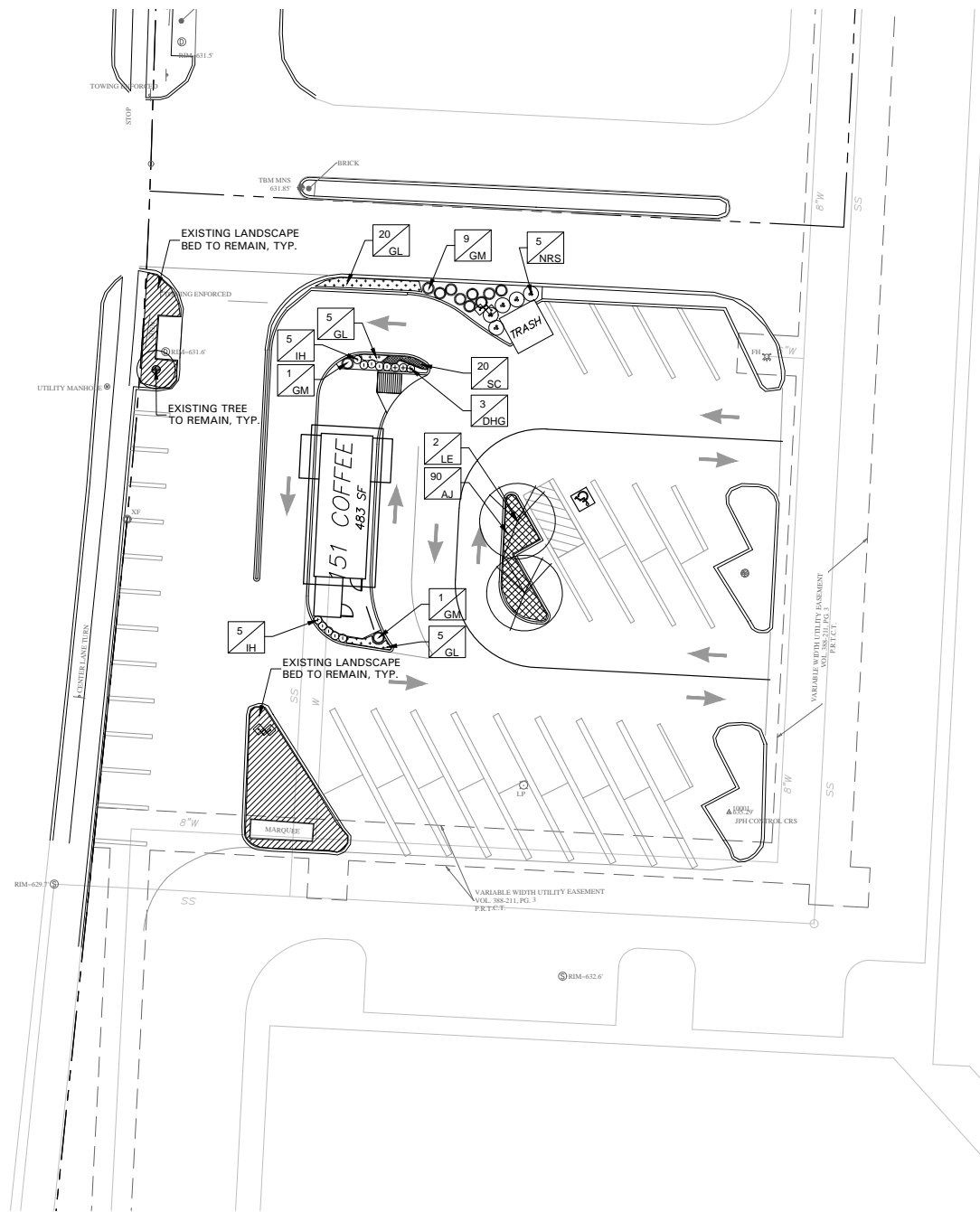
icon Consulting Engineers, Inc. 2840 W. Southlake Blvd., Suite 110
 Civil Engineers - Designers - Planners Southlake, Tx 76092 (817) 552-6210
 Engineering Firm Registration Number F-9007

151 COFFEE
NORTH RICHLAND HILLS SHOPPING CENTER
NORTH RICHLAND HILLS, TX

SITE PLAN

DESIGN	DRAWN	DATE	SCALE	NOTES	Sheet No.
ICE	ICE	NOV. 14 2016	1"=20'		C2.1

151 COFFEE, NORTH RICHLAND HILLS, TX - PROJECT NO. 5137-01



GENERAL LAWN NOTES

EROSION CONTROL AND SOIL PREPARATION:
THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TOP SOIL AT THE CORRECT GRADES. CONTRACTOR TO FINE GRADE AREAS TO REACH FINAL CONTOURS AS SPECIFIED PER CIVIL PLANS. ALL CONTOURS SHOULD ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND STRUCTURES. WATER SHOULD NOT BE ABLE TO POOL IN ANY AREAS UNLESS SPECIFIED OTHERWISE. EROSION FABRIC SUCH AS LITE MATTING OR OPEN WEAVE TO BE USED WHERE NECESSARY TO PREVENT SOIL EROSION.

ANY LOSS OF TOPSOIL OR GRASS DUE TO EROSION IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL IT IS 100% ESTABLISHED.

CONTRACTOR TO REMOVE ANY ROCKS 3/4" AND LARGER, STICKS AND DEBRIS PRIOR TO INSTALLATION OF TOPSOIL AND SOD.

FOUR (4") OF TOPSOIL SHALL BE APPLIED TO AREAS DISTURBED BY CONSTRUCTION RECEIVING SOD. IF TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL AS APPROVED BY THE OWNER OR OWNERS REPRESENTATIVE.

TOPSOIL SHALL BE FRIABLE, NATURAL LOAM, FREE OF ROCKS, WEEDS, BRUSH, CLAY LUMPS, ROOTS, TWIGS, LITTER AND ENVIRONMENTAL CONTAMINANTS.

CONTRACTOR SHALL BE RESPONSIBLE FOR SOD UNTIL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION. SOD SHALL BE REPLACED IF NECESSARY.

SOLID SOD:
SOLID SOD SHALL BE PLACED ALONG ALL IMPERVIOUS EDGES, AT A MINIMUM. THIS SHALL INCLUDE CURBS, WALKS, INLETS, MANHOLES AND PLANTING BED AREAS. SOD SHALL COVER OTHER AREAS COMPLETELY AS INDICATED BY PLAN.

SOD SHALL BE STRONGLY ROOTED DROUGHT RESISTANT SOD, NOT LESS THAN 2 YEARS OLD, FREE OF WEEDS AND UNDESIRABLE NATIVE GRASS AND MACHINE CUT TO PAD THICKNESS OF 3/4" (+/- 1/4"), EXCLUDING TOP GROWTH AND THATCH. PROVIDE ONLY SOD CAPABLE OF VIGOROUS GROWTH AND DEVELOPMENT WHEN PLANTED.

DO NOT INSTALL SOD IF IT IS DORMANT OR GROUND IS FROZEN. LAY SOD WITH TIGHTLY FITTING JOINTS, NO OVERLAPS WITH STAGGERED STRIPS TO OFFSET JOINTS.

SOD SHALL BE ROLLED TO CREATE A SMOOTH EVEN SURFACE. SOD SHOULD BE WATERED THOROUGHLY DURING INSTALLATION PROCESS.

SHOULD INSTALLATION OCCUR BETWEEN OCTOBER 1ST AND MARCH 1ST, SOD SHALL INCLUDE AN OVER-SEED OF ANNUAL RYE OR WINTER RYEGRASS AT A RATE OF FOUR POUNDS PER ONE THOUSAND SQUARE FEET FOR A GROWN-IN APPEARANCE. CONTRACTOR SHALL ENSURE COMPLIANCE TO §115.D OF TITLE 7, PART XXX, HORTICULTURE COMMISSION CHAPTER 1.

HYDROMULCH:

SCARIFY SURFACE TO A MINIMUM OF 2" DEPTH PRIOR TO THE IMPORT TOPSOIL APPLICATION. TOP SOIL SHALL BE PLACED 2" IN DEPTH IN ALL AREAS TO BE SEED. CONTRACTOR TO SUPPLY HIGH QUALITY IMPORTED TOPSOIL HIGH IN HUMUS AND ORGANIC CONTENT FROM A LOCAL SUPPLY. IMPORTED TOPSOIL SHALL BE REASONABLY FREE OF CLAY LUMPS, COARSE SANDS, STONES, ROOTS AND OTHER FOREIGN DEBRIS.

IF INADEQUATE MOISTURE IS PRESENT IN SOIL, APPLY WATER AS NECESSARY FOR OPTIMUM MOISTURE FOR SEED APPLICATION.

ALL SEED SHALL BE HIGH QUALITY, TREATED LAWN TYPE SEED AND IS FREE OF NOXIOUS GRASS SEEDS. THE SEED APPLICATION SHALL BE UNIFORMLY DISTRIBUTED ON THE AREAS INDICATED ON PLANS. HYDROMULCH WITH BERMUDA GRASS SEED AT A RATE OF TWO POUNDS PER ONE THOUSAND SQUARE FEET.

IF INSTALLATION OCCURS BETWEEN OCTOBER 1ST AND APRIL 1ST, ALL HYDROMULCH AREAS SHALL BE OVER-SEED WITH ANNUAL RYE GRASS AT A RATE OF FOUR POUNDS PER ONE THOUSAND SQUARE FEET. CONTRACTOR TO REHYDROMULCH WITH BERMUDA GRASS AT THE END OF THE ANNUAL RYE GROWING SEASON.

AFTER APPLICATION, NO EQUIPMENT SHALL OPERATE OVER APPLIED AREAS. WATER SEEDED AREAS IMMEDIATELY AFTER INSTALLATION TO SATURATION.

ALL LAWN AREAS TO BE HYDROMULCHED SHALL ACHIEVE 100% COVERAGE PRIOR TO FINAL ACCEPTANCE.

LANDSCAPE NOTES

REFERENCE SITEWORK AND SPECIFICATIONS FOR INFORMATION NEEDED FOR LANDSCAPE WORK.

CONTRACTOR TO VERIFY AND LOCATE ALL PROPOSED AND EXISTING STRUCTURES, NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE FOR ANY LAYOUT DISCREPANCIES OR ANY CONDITION THAT WOULD PROHIBIT THE INSTALLATION AS SHOWN.

CONTRACTOR SHALL CALL 811 TO VERIFY AND LOCATE ANY AND ALL UTILITIES ON SITE PRIOR TO COMMENCING WORK. LANDSCAPE ARCHITECT SHOULD BE NOTIFIED OF ANY CONFLICTS.

A MINIMUM OF 2% SLOPE SHALL BE PROVIDED AWAY FROM ALL STRUCTURES. LANDSCAPE ISLANDS SHALL BE CROWNED, AND UNIFORM THROUGHOUT THE SITE.

ALL PLANTING AREAS SHALL BE GRADED SMOOTH TO ACHIEVE FINAL CONTOURS AS INDICATED ON PLAN WITH 3" OF TOPSOIL AND 1" OF COMPOST AND CONSISTENTLY BLENDED TO A DEPTH OF 6". ALL BEDS SHALL BE CROWNED TO ANTICIPATE SETTLEMENT AND ENSURE PROPER DRAINAGE.

PLANTING AREAS AND SOD TO BE SEPARATED BY STEEL EDGING, EDGING TO BE GREEN IN COLOR AND A MINIMUM OF 3/16" THICK. EDGING SHALL BE CROWNED TO ANTICIPATE SETTLEMENT AND ENSURE PROPER DRAINAGE.

MULCH SHALL BE INSTALLED AT 1/2" BELOW THE TOPS OF SIDEWALKS AND CURBING.

QUANTITIES ON THESE PLANS ARE FOR REFERENCE ONLY. THE SPACING OF PLANTS SHOULD BE AS INDICATED ON PLANS OR OTHERWISE NOTED. ALL TREES AND SHRUBS SHALL BE PLANTED PER DETAILS.

CONTAINER GROWN PLANT MATERIAL IS PREFERRED HOWEVER BALL AND BURLAP PLANT MATERIAL CAN BE SUBSTITUTED IF NEEDED AND IS APPROPRIATE TO THE SIZE AND QUALITY INDICATED ON THE PLANT MATERIAL LIST.

TREES SHALL BE PLANTED AT A MINIMUM OF 5' FROM ANY UTILITY LINE, SIDEWALK OR CURB. TREES SHALL ALSO BE 10' CLEAR FROM FIRE HYDRANTS.

4" OF SHREDDED HARDWOOD MULCH (2" SETTLED THICKNESS) SHALL BE PLACED OVER 4:1 OZ WOVEN WEED BARRIER FABRIC OR APPROVED EQUAL WEED BARRIER FABRIC SHALL BE USED IN PLANT BEDS AND AROUND ALL TREES AND SHALL BE DE WITT WEED BARRIER OR APPROVED EQUAL. MULCH SHALL BE SHREDDED BARK OR RUBBER LANDSCAPE MULCH, PINE STRAW MULCH IS PROHIBITED.

CONTRACTOR TO PROVIDE UNIT PRICING OF LANDSCAPE MATERIALS AND BE RESPONSIBLE FOR OBTAINING ALL LANDSCAPE AND IRRIGATION PERMITS.

IRRIGATION:
IN THE ABSENCE OF AN IRRIGATION SYSTEM OR AREAS BEYOND THE COVERAGE LIMITS OF A PERMANENT IRRIGATION SYSTEM, CONTRACTOR SHALL WATER SOD TEMPORARILY, BY ANY MEANS AVAILABLE, TO DEVELOP ADEQUATE GROWTH. TURF SHALL BE IN 100% ESTABLISHMENT AT THE TIME OF ACCEPTANCE.

ALL PLANTING BEDS SHALL HAVE AN AUTOMATIC IRRIGATION SYSTEM WITH A FREEZE-RAIN SENSOR. SYSTEM SHALL ALSO HAVE AN ET WEATHER BASED CONTROLLER AND BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATOR.

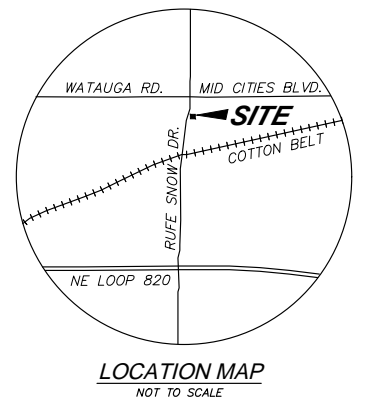
MAINTENANCE REQUIREMENTS:
VEGETATION SHOULD BE INSPECTED REGULARLY TO ENSURE THAT PLANT MATERIAL IS ESTABLISHING PROPERLY AND REMAINS IN A HEALTHY GROWING CONDITION APPROPRIATE FOR THE SEASON. IF DAMAGED OR REMOVED, PLANTS MUST BE REPLACED BY A SIMILAR VARIETY AND SIZE.

MOWING, TRIMMING, EDGING AND SUPERVISION OF WATER APPLICATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE OWNER OR OWNER'S REPRESENTATIVE ACCEPTS AND ASSUMES REGULAR MAINTENANCE.

ALL LANDSCAPE AREAS SHOULD BE CLEANED AND KEPT FREE OF TRASH, DEBRIS, WEEDS AND OTHER MATERIAL.

MISCELLANEOUS MATERIALS:

STEEL EDGING SHALL BE 3/16" X 4 X 16' DARK GREEN DURAEDGE STEEL LANDSCAPE EDGING.



PLANT SCHEDULE

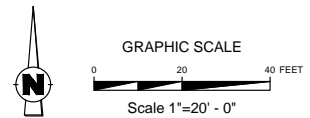
QTY	LABEL	COMMON NAME	SCIENTIFIC NAME	SIZE	NOTES
SHADE TREES					
2	LE	Lacebark Elm	<i>Ulmus parvifolia 'Sempervirens'</i>	3" cal.	12' ht., 4' spread
SHRUBS					
3	DHG	Dwarf Hameln Grass	<i>Pennisetum alopecuroides 'Hameln'</i>	5 gal.	full, 18" sprd, 20" ht., 24" o.c.
11	GM	Gulf Muhly	<i>Muhlenbergia capillaris</i>	3 gal.	full, 30" o.c.
10	IH	Indian Hawthorn 'Ballerina'	<i>Raphiolepis indica 'Ballerina'</i>	5 gal.	full, 18" sprd, 24" o.c.
5	NRS	Nellie R Stevens Holly	<i>Ilex x 'Nellie R. Stevens'</i>	7 gal.	full, 40" o.c.
GROUND COVER/VINES/GRASS					
90	AJ	Asian Jasmine	<i>Trachelosperum asiaticum</i>	4" pots	full, 18" o.c.
30	GL	Giant Liriope	<i>Liriope gigantea</i>	1 gal.	full, 18" o.c.
20	SC	Seasonal Color		4" pots	full, 12" o.c.

Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. Trees shall have a strong central leader and be of matching specimens. All plant material shall meet or exceed remarks as indicated.

NORTH RICHLAND HILLS LANDSCAPING AND BUFFERING STANDARDS		
TOTAL SITE AREA: 12,450 S.F. (ARTIFICIAL LOT BOUNDARY)	REQUIRED	PROVIDED
TOTAL SITE LANDSCAPE AREA		
A) AT LEAST 15% OF SITE MUST BE MAINTAINED IN LANDSCAPE AREA	1,867 S.F. (15%)	1,193 S.F. (9.6%)
PARKING LOT REQUIREMENTS		
A) PARKING SPACES MUST BE SCREENED FROM VIEW	NA	NA
B) ALL PARKING LOTS MUST CONTAIN AT LEAST 5% LANDSCAPE AREA	38 S.F.	789 S.F.
C) 1 LARGE CANOPY TREE PER 20 PARKING SPACES	1 TREE	2 TREES
D) ALL PARKING SPACES MUST BE LOCATED 100' FROM CANOPY TREE	REQUIRED	PROVIDED

ADDITIONAL NOTES:
RAIN AND FREEZE SENSORS ARE REQUIRED ON IRRIGATION SYSTEM.
ALL LARGE AND ORNAMENTAL TREES MUST BE ON A BUBBLER/D RIP IRRIGATION ON SEPARATE ZONES FROM TURF GRASS.

SUP 2016-05

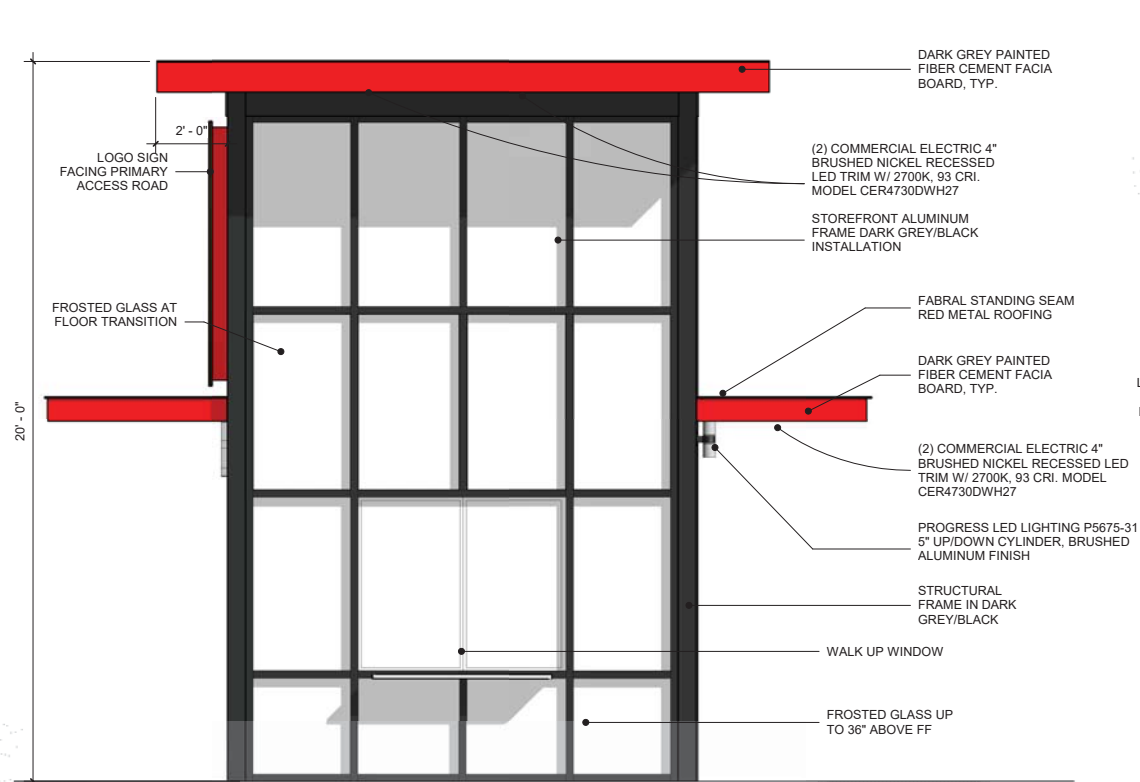


NO.	REVISION	BY	DATE

icon Consulting Engineers, Inc. 2840 W. Southlake Blvd., Suite 110
Civil Engineers - Designers - Planners Southlake, TX 76092 (817) 552-6210
Engineering Firm Registration Number F-9007

151 COFFEE					
NORTH RICHLAND HILLS SHOPPING CENTER					
NORTH RICHLAND HILLS, TX					
LANDSCAPE PLAN					
DESIGN	DRAWN	DATE	SCALE	NOTES	Sheet No.
AWR	AWR	NOV, 08 2016	1"=20'		L1.2

THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF ZCS ENGINEERING, INC.



① NORTH ELEVATION
3/8" = 1'-0"

SPECIAL NOTE: FINAL DRIVE THROUGH OVERHANG HEIGHT TO BE DETERMINED BY MECHANICAL/HVAC COMPONENTS IN CEILING FRAMING CAVITY.



② EAST ELEVATION
3/8" = 1'-0"

SIGNAGE NOTE:
ENTIRE LOGO AREA: 94 SF
TOTAL: 94 SF < 103 SF (15% OF WALL SURFACE AREA)

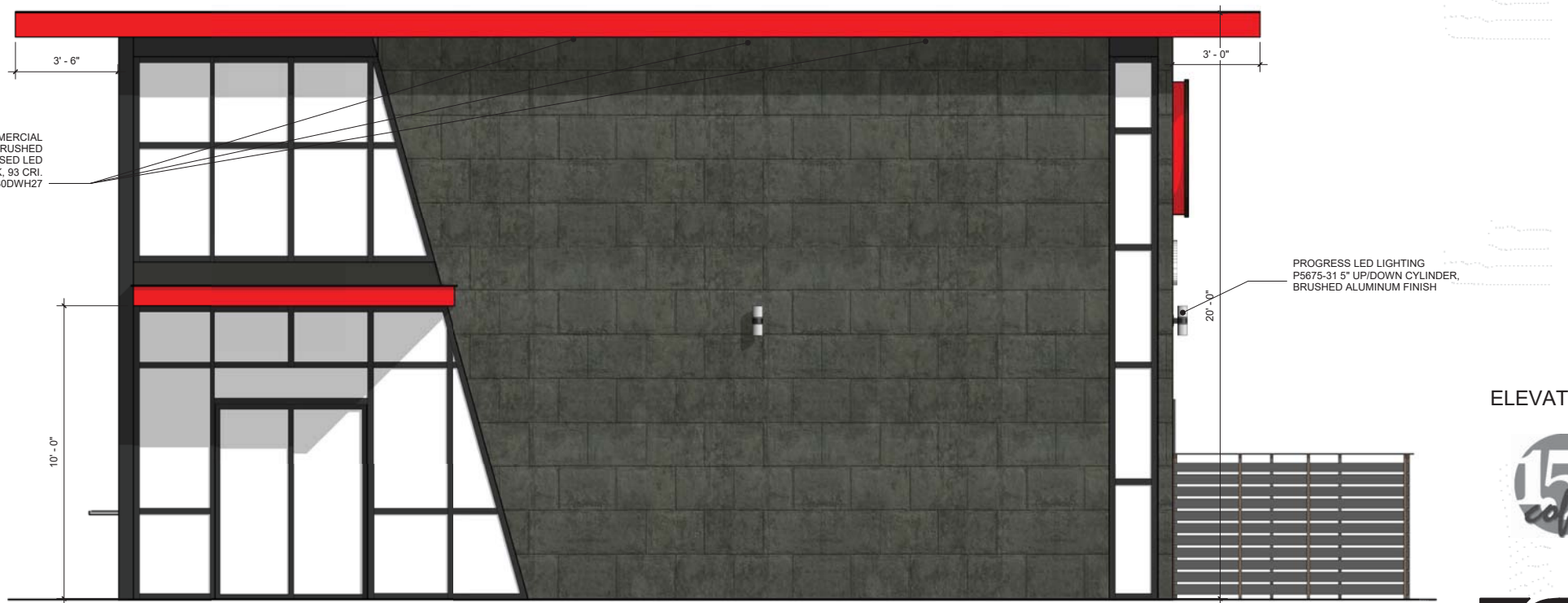
SPECIAL NOTE:
TOTAL WALL AREA FOR ALL 4 ELEVATIONS: 1880 SF
TOTAL GLAZING MATERIAL (STOREFRONT INSTALLATION): 658 SF
TOTAL STONE VENEER: 1222 SF

PERCENTAGE OF GLAZING: 35% (APPROX.)
PERCENTAGE OF STONE: 65% (APPROX.)



④ SOUTH ELEVATION
3/8" = 1'-0"

SIGNAGE NOTE:
LARGE LOGO AREA: 22 SF
COFFEE LETTERING AREA: 14 SF
TOTAL: 36 SF < 37.5 SF (15% OF WALL SURFACE AREA)



③ WEST ELEVATION
3/8" = 1'-0"

ELEVATIONS



A2

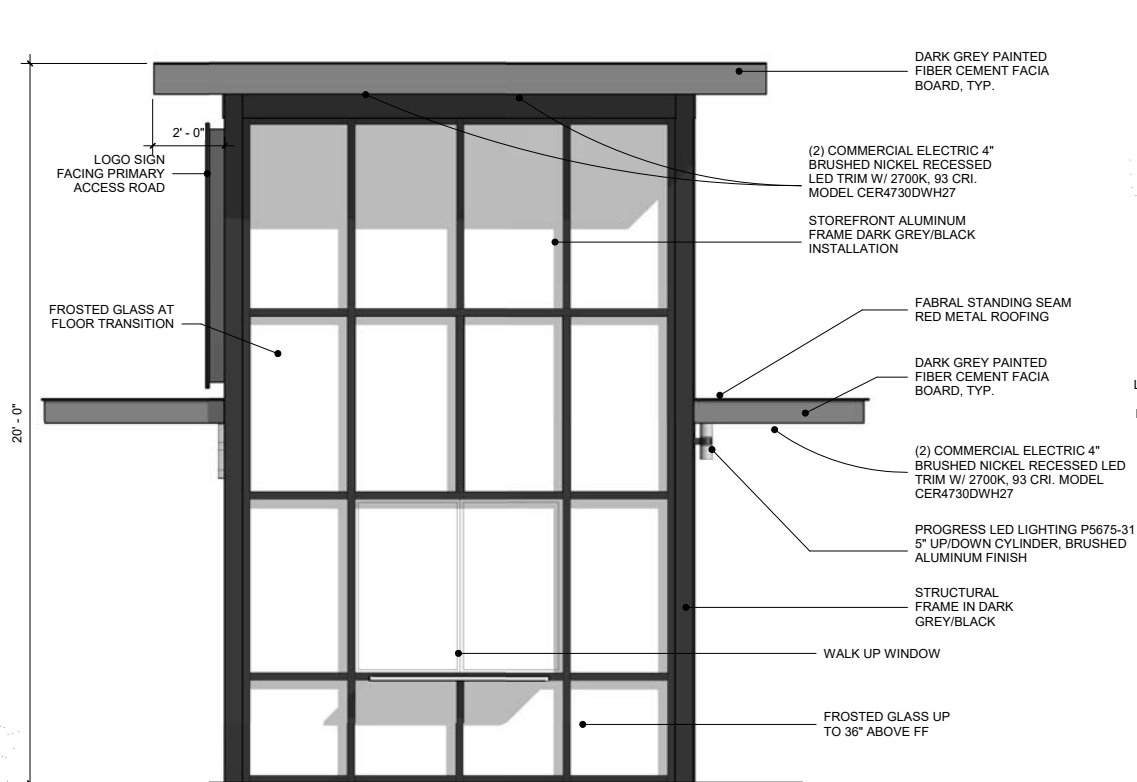


CASE SUP 2016-05

524 Main Street - Suite 02, Oregon City, OR 97145
(503) 638-0200

CONFIDENTIAL

THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF ZCS ENGINEERING, INC.



① NORTH ELEVATION
3/8" = 1'-0"

SPECIAL NOTE: FINAL DRIVE THROUGH OVERHANG HEIGHT TO BE DETERMINED BY MECHANICAL/HVAC COMPONENTS IN CEILING FRAMING CAVITY.

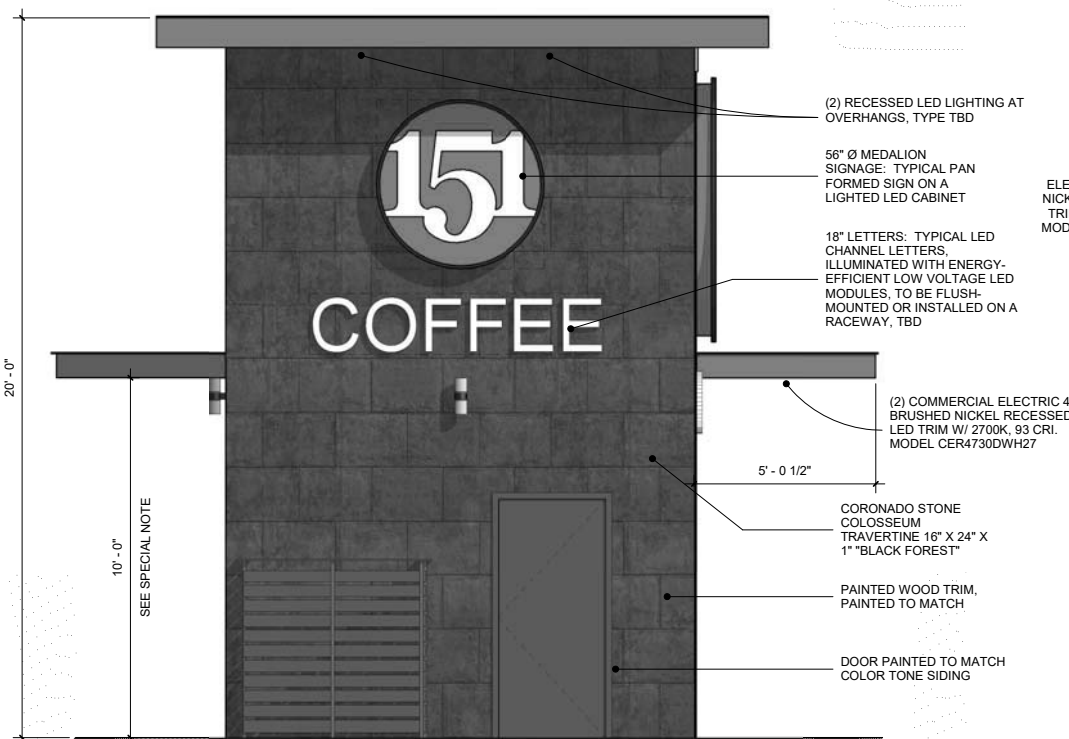


② EAST ELEVATION
3/8" = 1'-0"

SIGNAGE NOTE:
ENTIRE LOGO AREA: 94 SF
TOTAL: 94 SF < 103 SF (15% OF WALL SURFACE AREA)

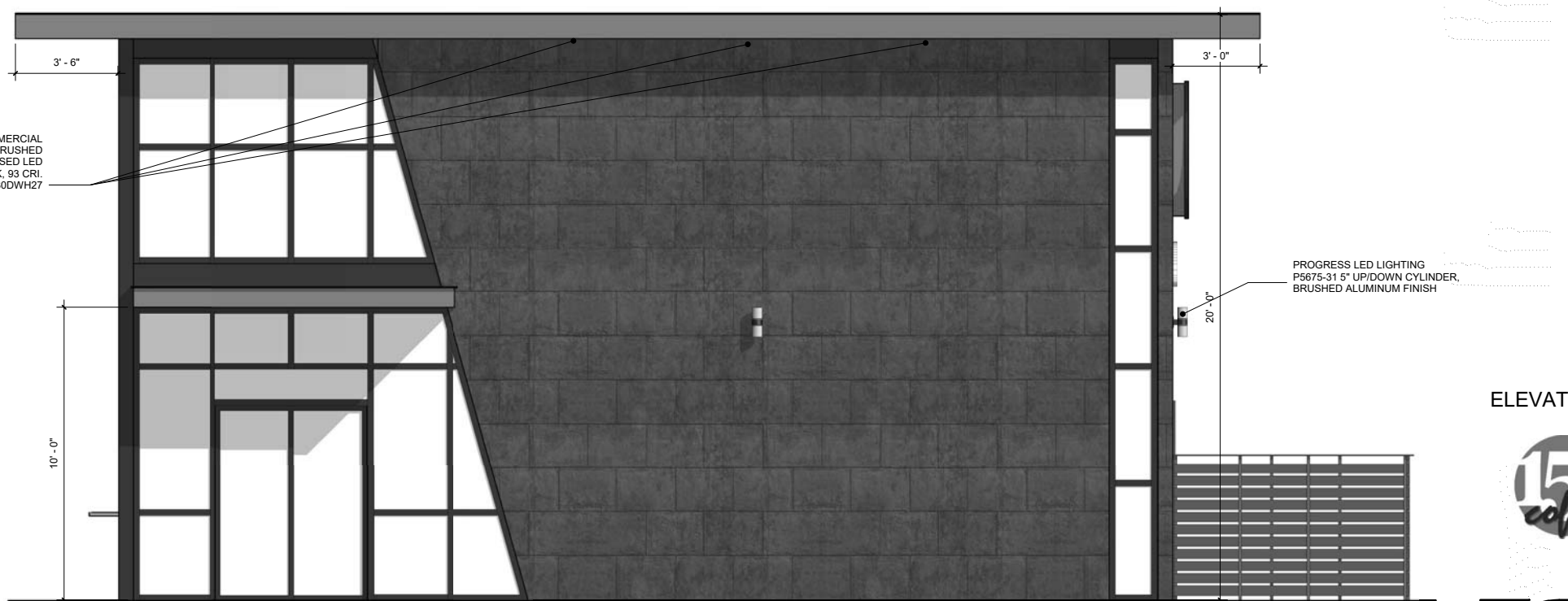
SPECIAL NOTE:
TOTAL WALL AREA FOR ALL 4 ELEVATIONS: 1880 SF
TOTAL GLAZING MATERIAL (STOREFRONT INSTALLATION): 658 SF
TOTAL STONE VENEER: 1222 SF

PERCENTAGE OF GLAZING: 35% (APPROX.)
PERCENTAGE OF STONE: 65% (APPROX.)



④ SOUTH ELEVATION
3/8" = 1'-0"

SIGNAGE NOTE:
LARGE LOGO AREA: 22 SF
COFFEE LETTERING AREA: 14 SF
TOTAL: 36 SF < 37.5 SF (15% OF WALL SURFACE AREA)



③ WEST ELEVATION
3/8" = 1'-0"

ELEVATIONS

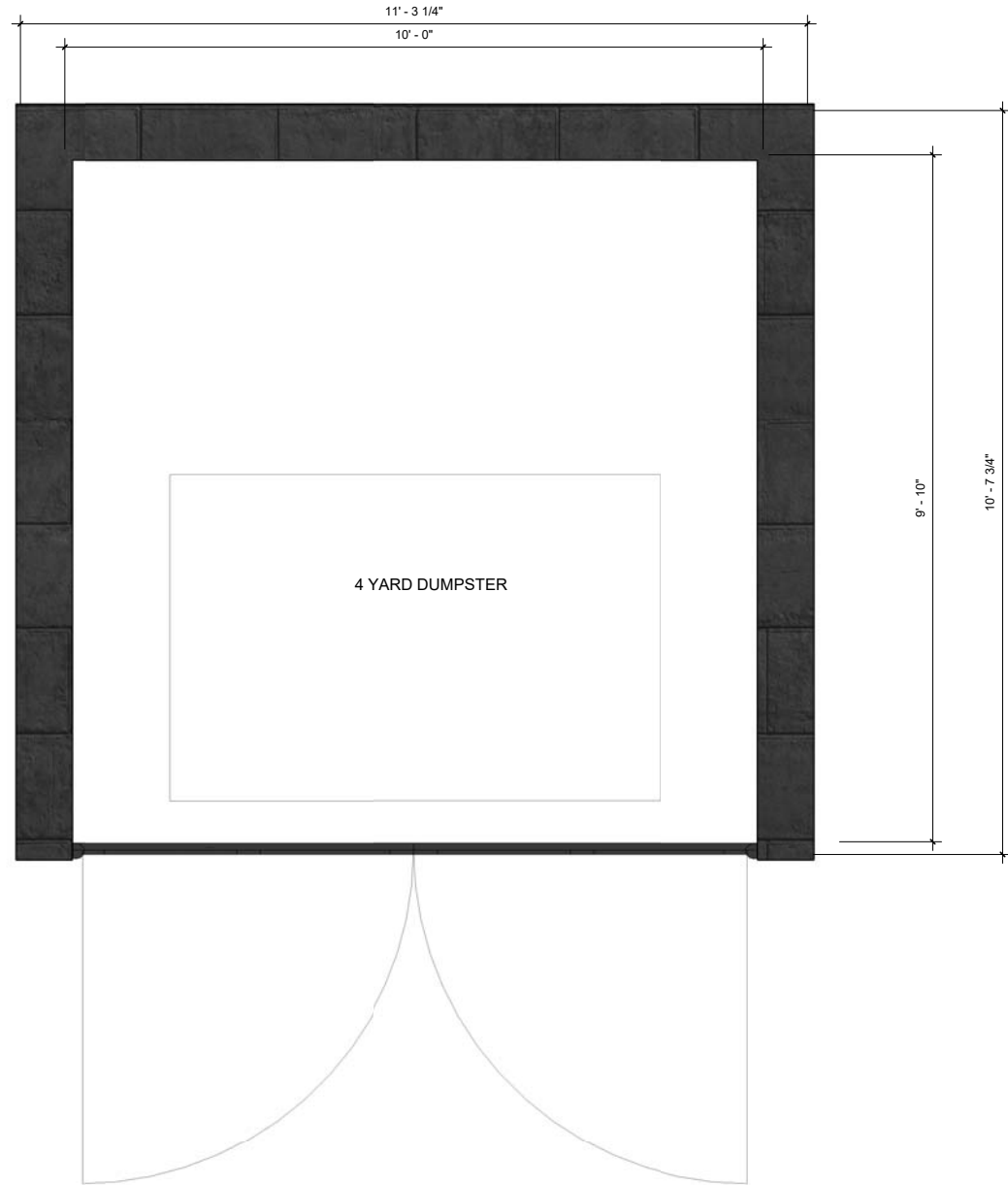


A2

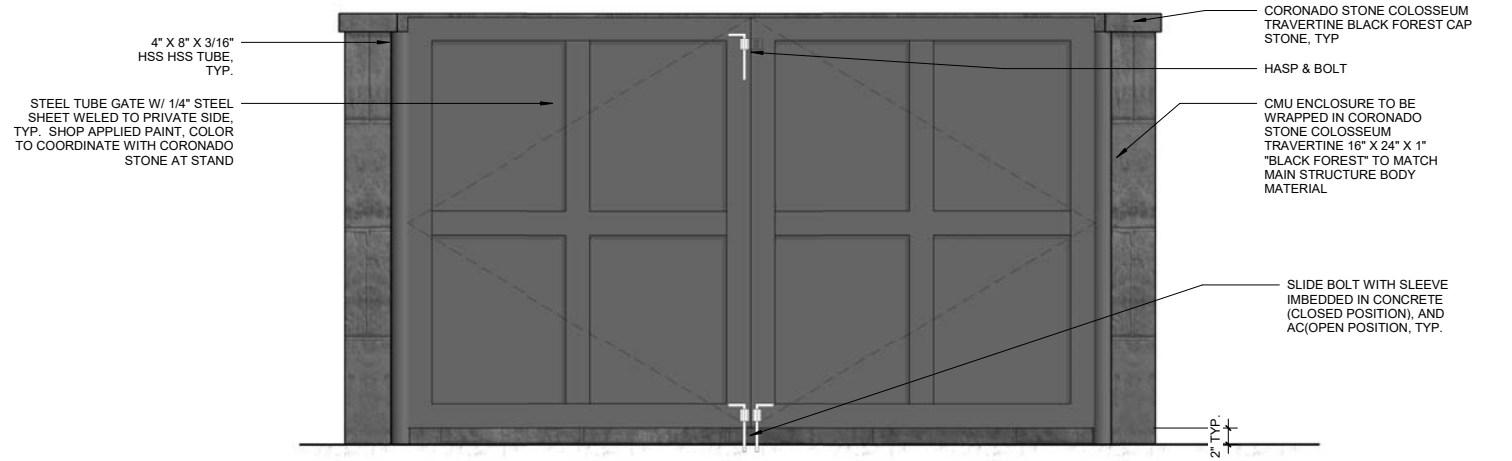
ZCS
ENGINEERING
524 Main Street - Suite 02, Oregon City, OR 97145
(503) 638-2288

CASE SUP 2016-05

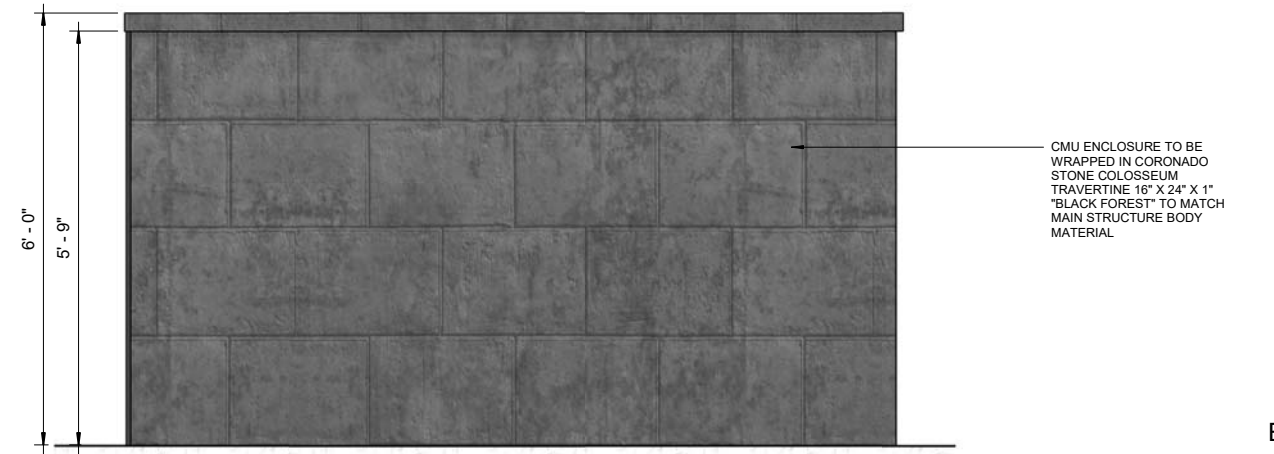
CONFIDENTIAL



① TRASH ENCLOSURE
3/4" = 1'-0"



② TRASH ENCLOSURE - FRONT VIEW
3/4" = 1'-0"



③ TRASH ENCLOSURE - SIDE VIEW
3/4" = 1'-0"

TRASH ENCLOSURE

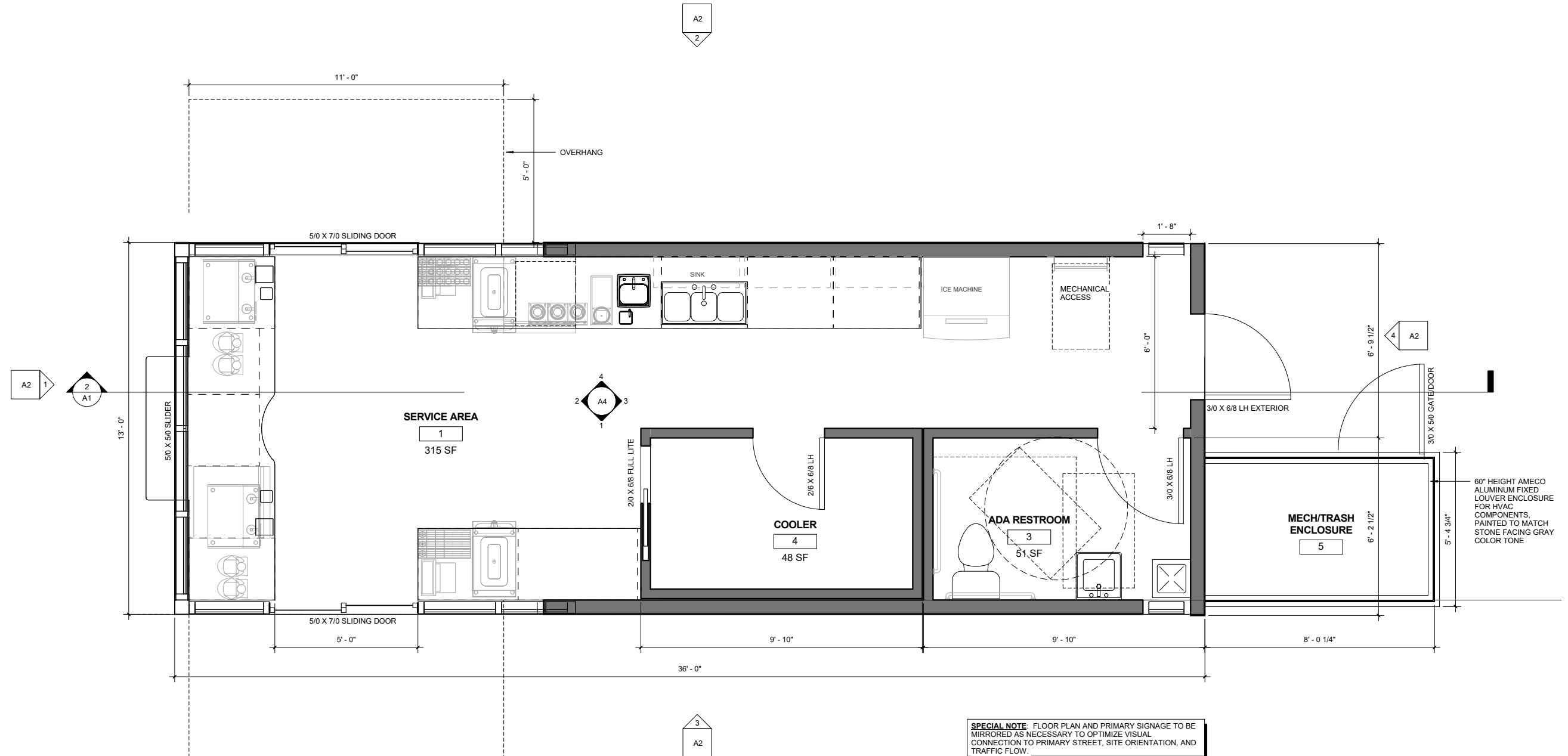


A3



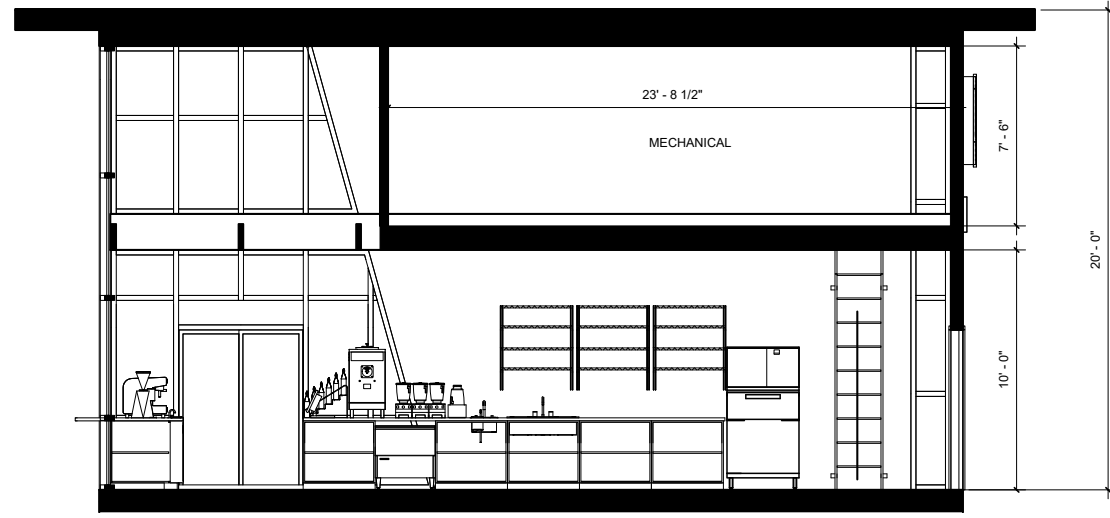
524 Main Street - Suite 02, Oregon City, OR 97145
(503) 636-2267

THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF ZCS ENGINEERING, INC.



SPECIAL NOTE: FLOOR PLAN AND PRIMARY SIGNAGE TO BE MIRRORED AS NECESSARY TO OPTIMIZE VISUAL CONNECTION TO PRIMARY STREET, SITE ORIENTATION, AND TRAFFIC FLOW.

1 FLOOR PLAN
1/2" = 1'-0"



2 Section 1
1/4" = 1'-0"

**13/0 X 36/0
STAND**

FLOOR PLAN



A1



CASE SUP 2016-05

524 Main Street - Suite 02, Oregon City, OR 97145
(503) 638-2287
www.zcs-engineering.com

CONFIDENTIAL