



2 VICINITY MAP
SCALE: N.T.S.

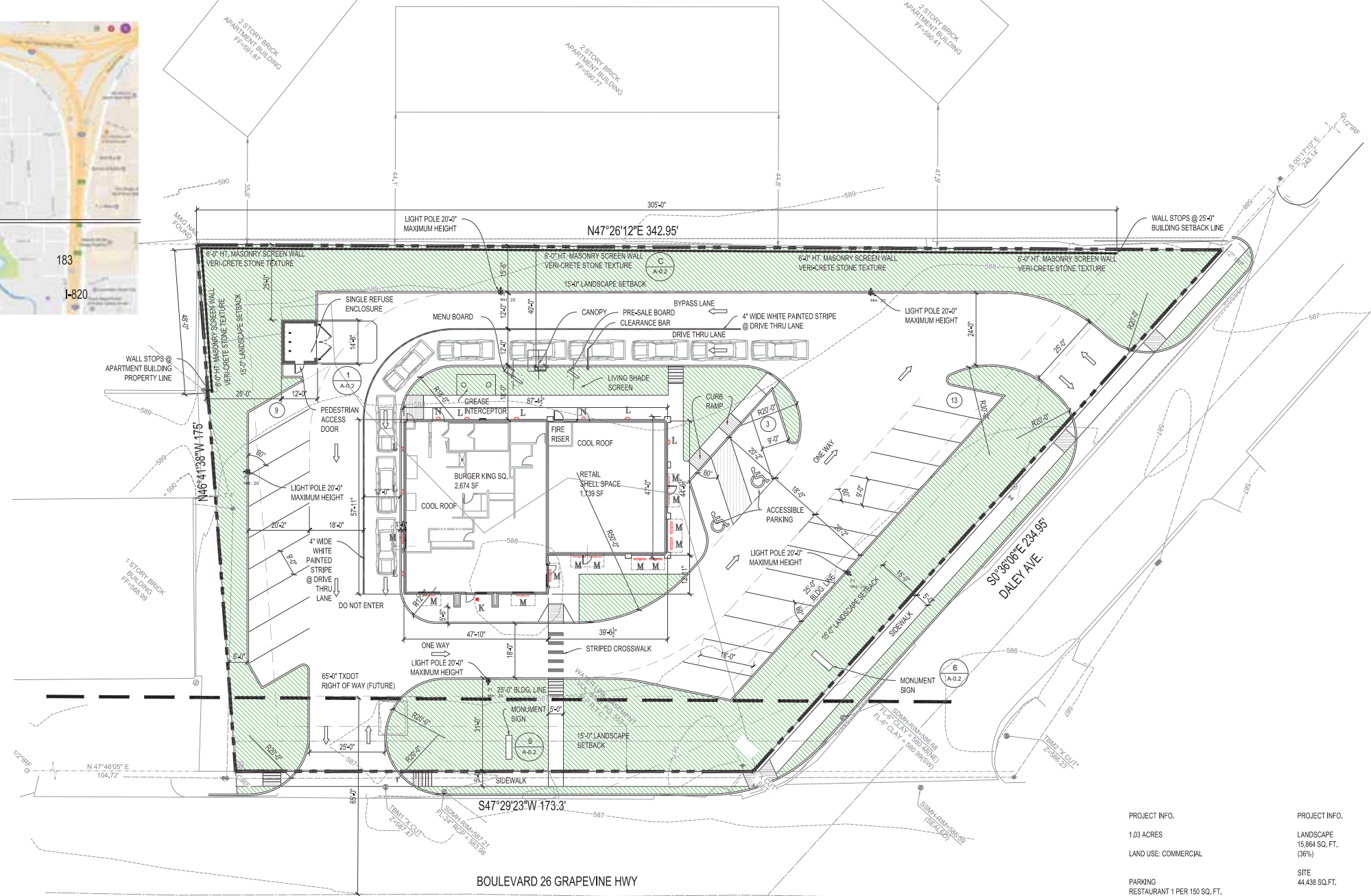
COOL ROOF: A BUILDING WHOSE ROOFING HAS EITHER: (1) A SOLAR REFLECTIVE INDEX (SRI) OF AT LEAST 75 FOR LOW-SLOPED ROOFS WITH A PITCH EQUAL TO OR LESS THAN 2:12 FOR AT LEAST 75 PERCENT OF THE ROOF SURFACE; (2) AN SRI OF AT LEAST 25 FOR STEEP-SLOPED ROOFS WITH A PITCH GREATER THAN 2:12 FOR AT LEAST 75 PERCENT OF THE ROOF SURFACE; (3) A BUILDING THAT HAS INSTALLED A VEGETATED ROOF APPROVED BY THE DEVELOPMENT REVIEW COMMITTEE FOR AT LEAST 50 PERCENT OF THE ROOF SURFACE; OR (4) A COMBINATION THEREOF.

Conservation standards. The following options are primarily intended to encourage energy conservation through such passive solar design methods as shading, daylighting, and building orientation, whereby adding to the articulation and ornamentation of the building as well. All buildings shall utilize a minimum of three of the following options per building. The Development Review Committee may review these options based on meeting the intent of passive solar design.

- (1) Cool roof.
- (2) Solar orientation.
- (3) Living shade screen.
- (4) Awnings, overhangs, arcades, canopies or porches with colonnades.
- (5) Window area that covers at least 30 percent of one facade, or 50 percent of two facades.
- (6) Clerestories and window shelves/transoms.
- (7) Architecturally-integrated rainwater harvesting systems.
- (8) Other as approved by the Development Review Committee as in keeping with the intent of this section.

Ornamentation standards. The following options are available to embellish primary facade walls. All primary facade walls shall utilize a minimum of three of the below options, at least one of which shall occur vertically at a separation no less than three times the walls height. No ornamentation is required on secondary facade walls, however corner elements are required to wrap from the primary facade wall to the secondary facade wall. The term "decorative" is inferred in all options.

- (1) Enhanced exterior lighting such as wall sconces or light covers with concealed light source.
- (2) Changes in material selection, module size, color, texture and/or pattern.
- (3) Public art such as murals, paintings, sculpture, statue, etc. on or within ten feet of a facade wall. Such public art shall not display or connote a commercial message; shall be appropriately sealed for the size of the facade and shall be approved by the Development Review Committee.
- (4) Non-ferrous accents such as castels, medallions, niches, wrought iron and other metal, balconettes, dormers, faux windows or others as approved by the Development Review Committee.
- (5) Cornices.
- (6) Quoined corners.
- (7) String courses and stone banding.
- (8) Arched or pedimented windows.
- (9) Masonry treatment at window and/or door headers and sills.



PROJECT INFO.
1.03 ACRES
LAND USE: COMMERCIAL
PARKING RESTAURANT 1 PER 150 SQ. FT.
SHOPPING CENTERS, RETAIL 1 PER 250 SQ. FT.
PER SECTION 118-470
2,674 SF
18 PARKING SPACES REQUIRED
RETAIL
1,739 SF
7 PARKING SPACES REQUIRED
25 TOTAL PARKING SPACES REQUIRED
2 OF THE PARKING SPACES ARE WHEEL CHAIR ACCESSIBLE
SEC. 118-834
60 DEGREE PARKING
9.0' STALL WIDTH
20.1' STALL DEPTH
18' ONE WAY AISLE WIDTH
90 DEGREE PARKING
9.0' STALL WIDTH
18' STALL DEPTH
25' TWO WAY AISLE WIDTH

EXTERIOR LIGHT FIXTURE SCHEDULE						
LED OPTIONS						
	TYPE	MANUFACTURER	CATALOG NO.	WATTAGE	COLOR TEMP.	REMARKS
ALL REMODELS & NEW CONSTRUCTION EXTERIOR	K	NEWSTAR	AGV14-OP-UN-42	40		RECESSED SOFFIT LIGHT
	L	LITHONIA	WST LED P3 50K VW MVOLT	50		
	M	LITHONIA	ZL1N L48 5000LM FST MVOLT 50K 80 CRI	41.75		TO BE USED AT AWNINGS ONLY
	N	LITHONIA	KAXW LED P2 50K R4 MVOLT	49		WALL MOUNTED SECURITY LIGHT
	P1	LITHONIA	KAD LED 40C 700 40K R2 MVOLT HS	91		



NO.	DATE	REVISION



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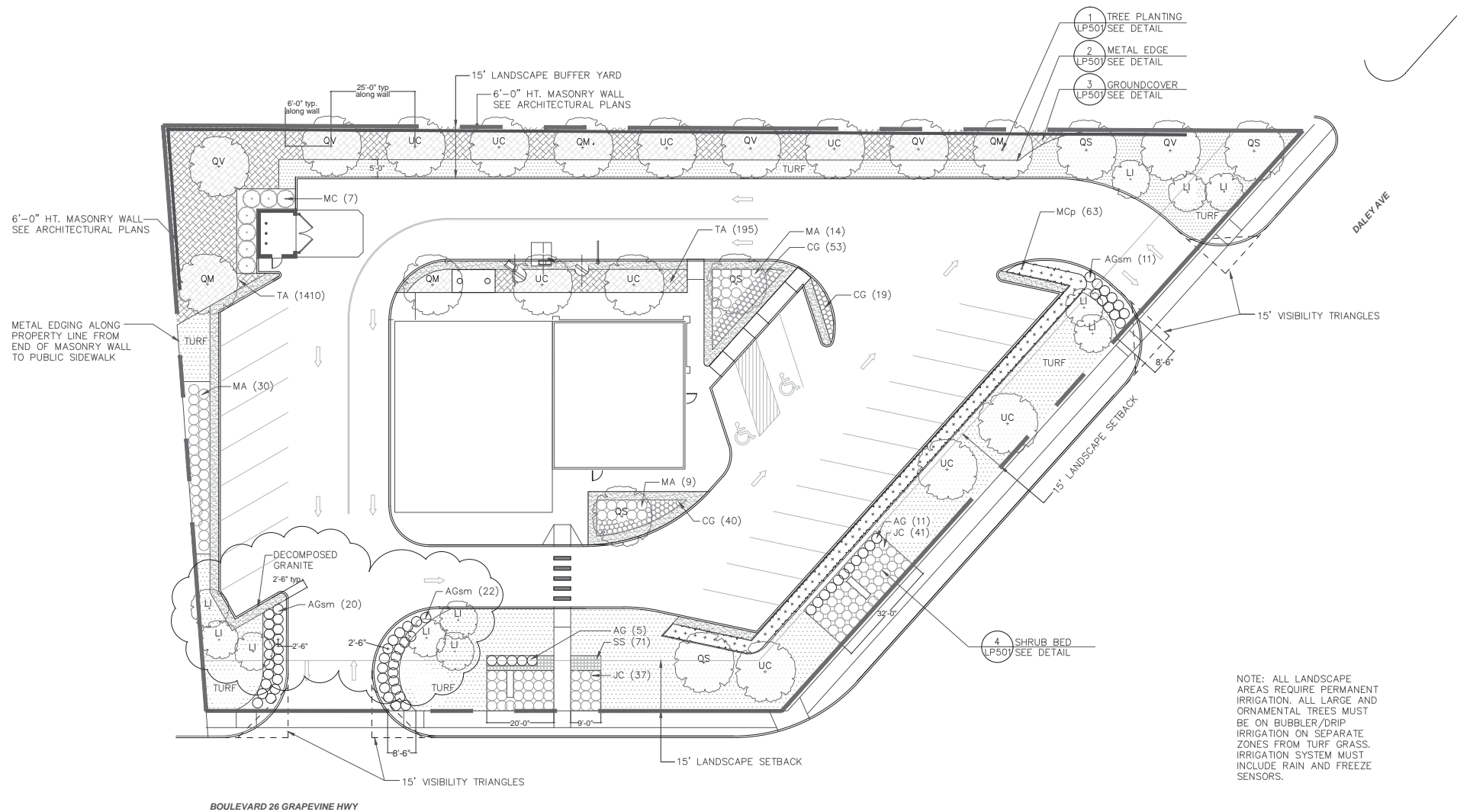
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PROJECT # 16006
RCC-80-20/20 WAIVER - APRIL 2015 DESIGN RELEASE
Feb 20, 2017 - 6:10pm
HWY 26 & DALEY AVE
BURGER KING RESTAURANT
7047 HWY 26
NORTH RICHLAND HILLS, TX 76180
SITE PLAN

CASE# SP2016-06

A-0.1



GENERAL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND STRUCTURES WHETHER OR NOT SHOWN ON THE PLANS, AND SHALL BE RESPONSIBLE FOR DAMAGE TO SAID UTILITIES OR STRUCTURE CAUSED BY HIS/HER CREW AND SUBCONTRACTORS.
2. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH CITY CODES. CONTRACTOR WILL SECURE ALL REQUIRED PERMITS AND PAY ASSOCIATED FEES UNLESS OTHER ARRANGEMENTS ARE MADE WITH THE OWNER.
3. NO PLANT SUBSTITUTIONS TO BE MADE UNLESS AUTHORIZED IN WRITING BY OWNER OR LANDSCAPE ARCHITECT.

No.	Revision/Issue	Date
2	Tree Placement Adjusted	3/17/2017
1	Site Plan Revisions	1/9/2017

Project Owner
Burger King Franchise
Firebrand Properties, LP
 3318 Forest Ln.
 Dallas, TX 75234
 Contact: Armando Palacios
 lhale@sunholdings.net
 Office: 972-249-6179

Project Name and Address
Hwy 26 + Daley Ave
Burger King Restaurant
 7047 Hwy 26
 North Richland Hills, TX 76180

R+D landscape architects, pllc
 6931 Cornelia Lane
 Dallas, Texas 75214
 646.245.6757
 cortez@rland.com

Plant Tag	Botanical Name	Common Name	Size	Quantity	Spacing	Notes
Large Trees						
QM	Quercus muhlenbergii	Chinquapin Oak	3" caliper	4	as shown	
QS	Quercus shumardi	Shumard Oak	3" caliper	5	as shown	
QV	Quercus virginiana	Southern Live Oak	3" caliper	5	as shown	evergreen
UC	Ulmus crassifolia	Cedar Elm	3" caliper	9	as shown	
Small / Ornamental Trees						
LI	Lagerstroemia x 'Natchez' white	Natchez White Crape Myrtle	30 gallon	11	as shown	6' ht. Well-matched, multi-stemmed.
Shrubs						
AG	Abelia grandiflora var 'Silver Anniversary'	'Silver Anniversary' Glossy Abelia	5g	16	3' o.c.	
AGsm	Abelia grandiflora var 'Silver Anniversary'	'Silver Anniversary' Glossy Abelia	3g	53	3' o.c.	
JC	Juniperus chinensis var procumbens 'Nana'	Japanese Garden Juniper	3g	78	3' o.c.	
MC	Myrica cerifera	Wax Myrtle	5g	7	5' o.c.	
MCp	Myrica cerifera var. pumila (Myrica pusilla)	Dwarf Wax Myrtle	3.5g see note	63	3' o.c.	Max 30" ht.
Perennials						
MA	Malvastrum arborescens v. drummondii	Turk's Cap	3g	53	3' o.c.	
CG	Coreopsis grandiflora 'Baby Sun'	'Baby Sun' Coreopsis	1g	112	18" o.c.	Plant in a triangular pattern.
Grasses						
SS	Schizachyrium scoparium	Little Bluestem	1g	71	12" o.c.	
TURF	Stenotaphrum secundatum 'Palmetto'	Palmetto St. Augustine	sod	verify S.F.	as shown	Sod must be uniformly thick. Stagger seams.
Groundcover						
TA	Trachelosperum asiaticum	Asiatic Jasmine	4" pot	1632	18" o.c.	Plant in a triangular pattern.
Other landscape materials						
	Decomposed Granite		to 4" depth	verify S.F.		Brown. Install per Mtg. Specs.
	Metal edging		3/16" x 4" deep	verify L.F.		Bronze, Permaloc Clearline Commercial Grade or similar. See Details.
	Mulch		3" depth	verify S.F.		Coarsely shredded hardwood mulch as noted, see Details & Specs
	Compost			verify S.F.		Refer to Specs.

NOTE: ALL LANDSCAPE AREAS REQUIRE PERMANENT IRRIGATION. ALL LARGE AND ORNAMENTAL TREES MUST BE ON BUBBLER/DRIP IRRIGATION ON SEPARATE ZONES FROM TURF GRASS. IRRIGATION SYSTEM MUST INCLUDE RAIN AND FREEZE SENSORS.

NORTH RICHLAND HILLS LANDSCAPING + BUFFERING STANDARDS		
	Req'd	Provided
Total Site Area: 44,436 sf		
Total Site Landscaped Area		
at least 15% of the site must be maintained in landscape	6,666 sf	16,191 sf
Landscape Setback		
setback shall be 15' adjacent to all public street r.o.w.	yes	yes
1 large tree (or 2 ornamental) / 50 LF required in landscape setback	9	9 equivalent (5 lg + 8 orn)
10 shrubs / 50 LF required in landscape setback	90	123 (plus 71 orn grasses)
landscape islands planted with small shrubs 3' o.c.	yes	yes
Parking Lot Requirements		
Parking Lot Area: 19,490sf (all paved areas for maneuvering and parking of cars)		
must contain at least 5% landscaped area	975 sf	11,023 sf
parking spaces adjacent to public r.o.w. screened by edit screening	yes	yes
1 large canopy tree per 20 parking spaces (25 spaces proposed)	2	3
all parking spaces located within 100' of large canopy tree	yes	yes
Buffer Yard		
15' landscape buffer provided between non-residential and residential	yes	yes
1 tree / 90 LF of buffer (343 LF)	12	12
40% must be evergreen	5	5
6-8' tall screening wall where non-residential abuts residential	yes	yes

Case SP 2016-06

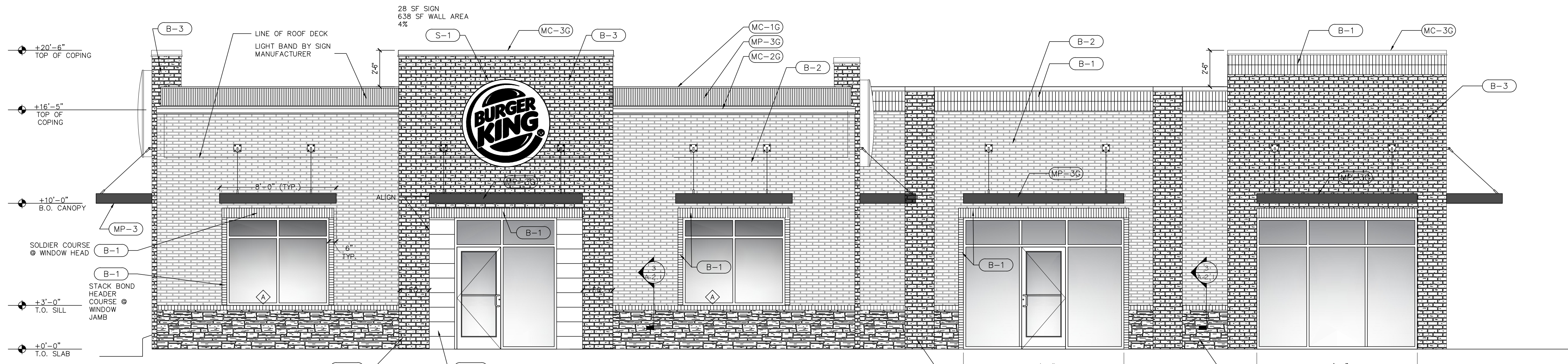


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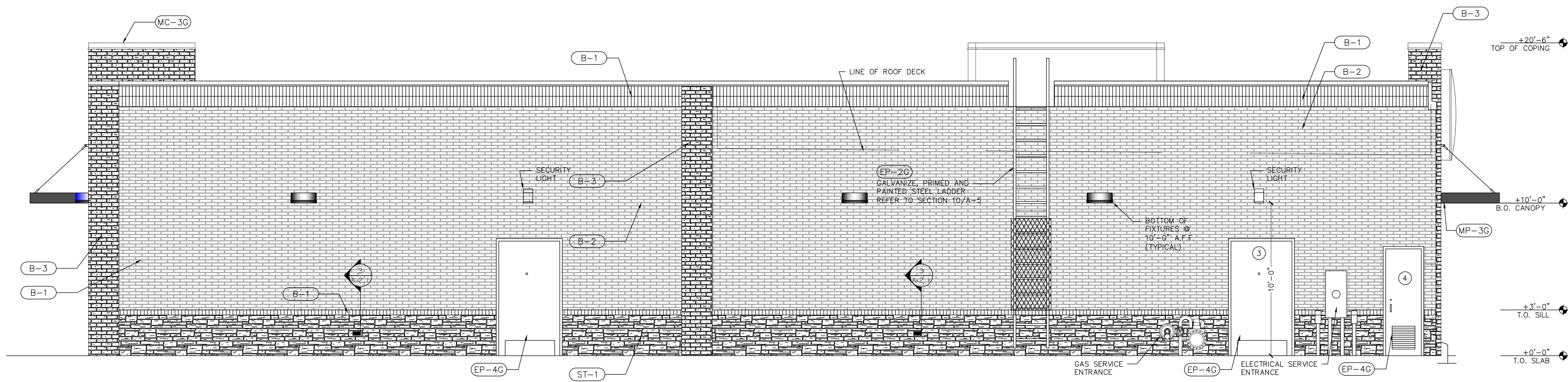


Sheet Title
PLANTING PLAN

Sheet No.
LP.1-01



1 FRONT ELEVATION (HWY 26)
SCALE: 1/4" = 1'-0"



2 REAR ELEVATION
SCALE: 1/4" = 1'-0"

- NOTES:
1. ALL SIGNAGE SUBJECT TO BUILDING INSPECTION DEPARTMENT APPROVAL;
2. MECHANICAL UNITS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE; AND
3. UTILITY BOXES AND CONDUIT SHALL BE PAINTED TO MATCH BUILDING COLOR.

EXTERIOR FINISH SCHEDULE					
MARK	MATERIAL	MANUFACTURER	PRODUCT	COLOR	DIMENSION
B-1	EXTERIOR BRICK	ACME		CASTLE BROWN	MODULAR RUNNING BOND
B-2	EXTERIOR BRICK	ACME		GOLDEN SUNSET	MODULAR RUNNING BOND
B-3	EXTERIOR BRICK	ACME		ASTORIA	MODULAR RUNNING BOND
ECT-1G	EXTERIOR CERAMIC TILE	GRANITI GIANDRE / EUROWEST	SENSIBLE STONE ED5052	"RED NATURAL" STACKED BOND PATTERN	12"x24"
EP-2G	EXTERIOR PAINT	PPG	PRIMER 17-921 PAINT 6-2045XI	"TAUPE TONE" CUSTOM FORMULA	
EP-4G	EXTERIOR PAINT	GLIDDEN / PPG	PRIMER 17-921 PAINT 6-2045XI	MONTEREY CLIFFS 10YY 14/080	
MC-1G	METAL COPPING	WP HICKMAN	PERMA SNAP PLUS	A-30 SILVER SMITH	
MC-2G	METAL COPPING	WP HICKMAN	PERMA SNAP PLUS	"TAUPE TONE" PPG	
MC-3G	METAL COPPING	WP HICKMAN	PERMA SNAP PLUS	PPG CEDAR	
MP-1G	PARAPET LIGHT BAND	LEKTRON	LED LIGHT BAND		
MP-3G	METAL PANEL CANOPY	UNI-STRUCTURES OR EQUAL		CLEAR ANODIZED	
S-1	SIGN	-		BK LOGO	
S-3	SIGN	-		CLEAR ANODIZED	
ST-1	STONE	LEUDER'S		LIMESTONE MIX ASHLAR PATTERN	

LEGEND	
	ST-1
	B-1
	B-2
	B-3



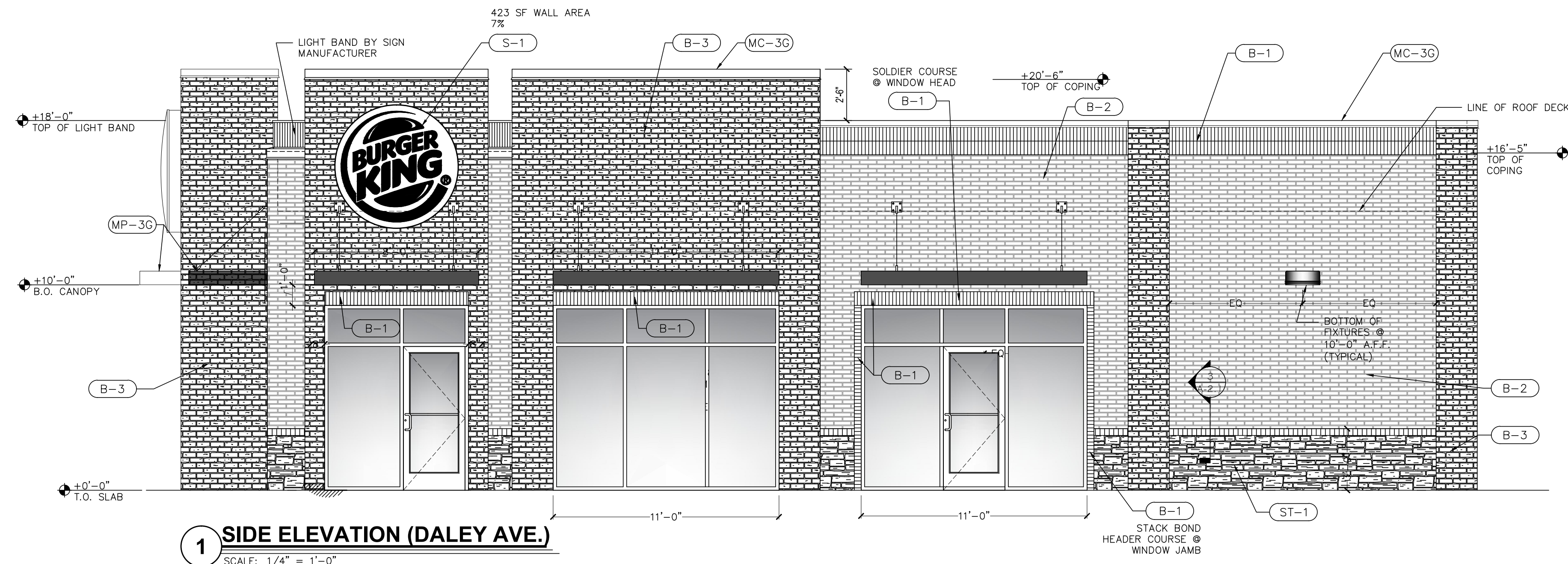
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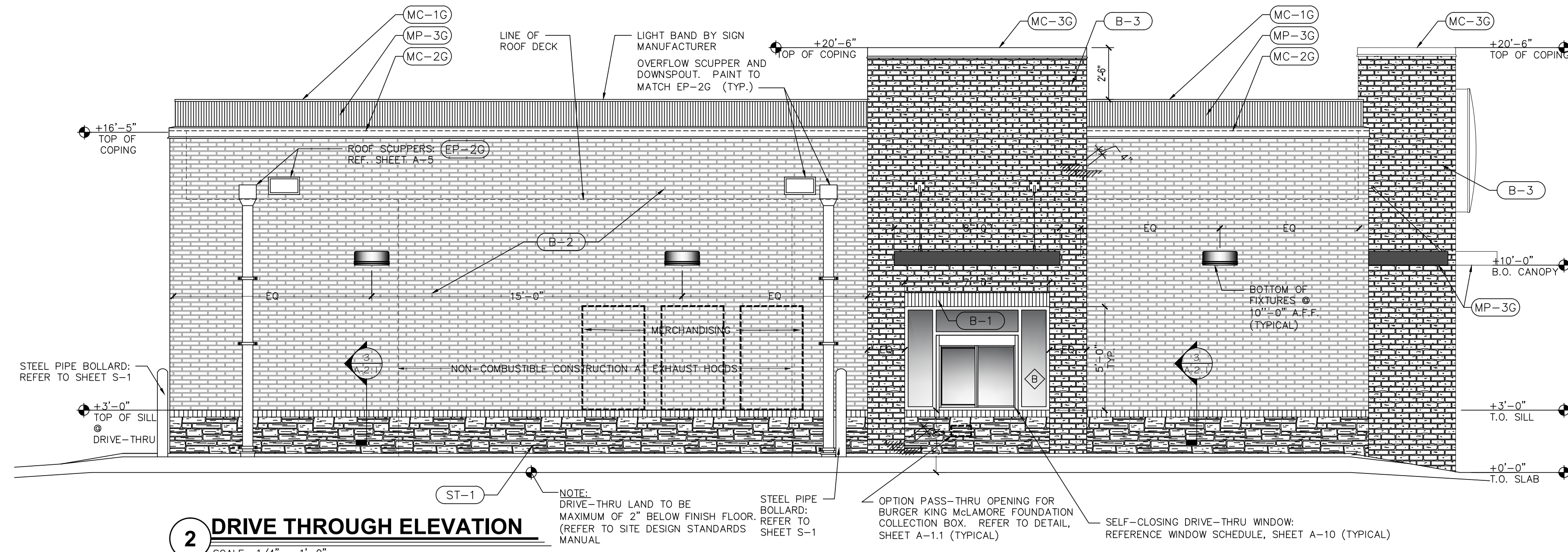
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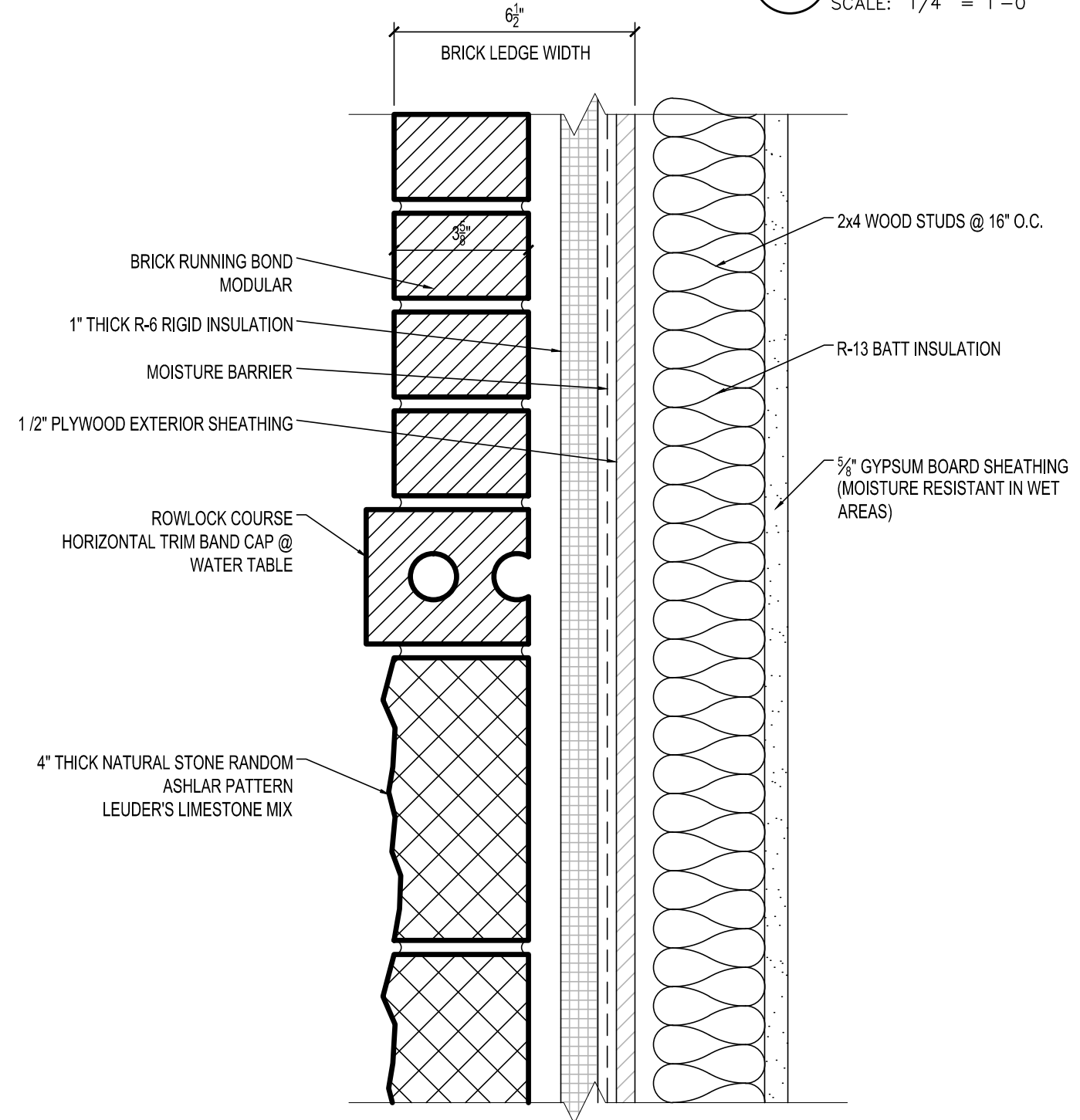
PROJECT #: 16006
RCC-60 20/20 IMAGE, APRIL, 2015 DESIGN RELEASE
Mar 22, 2017 - 2:56pm
HWY 26 & DALEY AVE
BURGER KING RESTAURANT
7047 HWY 26
NORTH RICHLAND HILLS, TX 76180
FRONT & REAR ELEVATIONS



1 SIDE ELEVATION (DALEY AVE.)
SCALE: 1/4" = 1'-0"



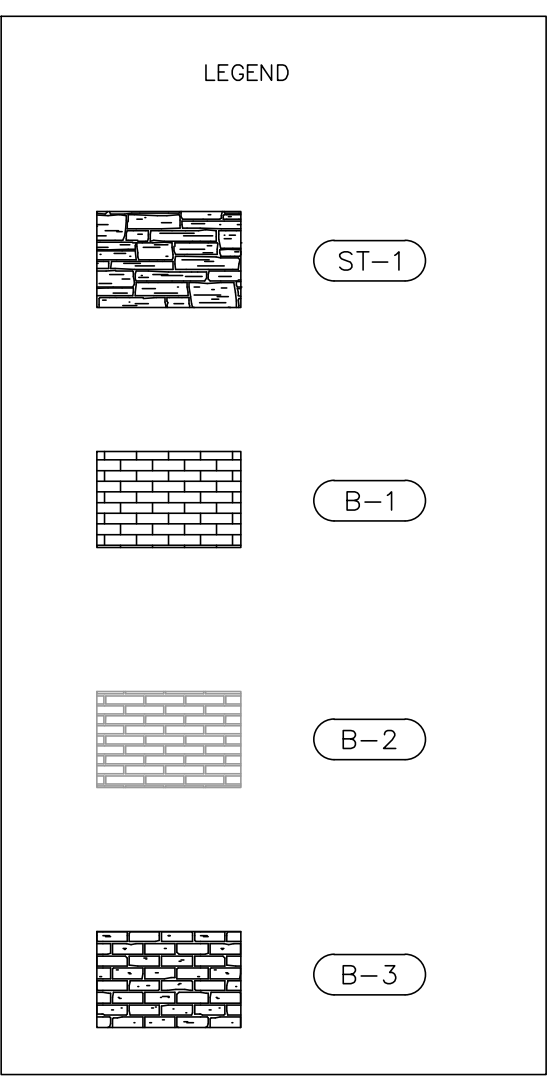
2 DRIVE THROUGH ELEVATION
SCALE: 1/4" = 1'-0"



3 WALL DETAIL
SCALE: 3" = 1'-0"

UBJECT TO BUILDING INSPECTION APPROVAL: VITS SHALL BE SCREENED IN WITH THE ZONING ORDINANCE; AND AND CONDUIT SHALL BE PAINTED TO G COLOR.

EXTERIOR FINISH SCHEDULE					
MARK	MATERIAL	MANUFACTURER	PRODUCT	COLOR	DIMENSION
B-1	EXTERIOR BRICK	ACME		CASTLE BROWN	MODULAR RUNNING BOND
B-2	EXTERIOR BRICK	ACME		GOLDEN SUNSET	MODULAR RUNNING BOND
B-3	EXTERIOR BRICK	ACME		ASTORIA	MODULAR RUNNING BOND
ECT-1G	EXTERIOR CERAMIC TILE	GRANITI CIANDRE / EUROWEST	SENSIBLE STONE ED5052	"RED NATURAL" STACKED BOND PATTERN	12"x24"
EP-2G	EXTERIOR PAINT	PPG	PRIMER 17-921 PAINT 6-2045XI	"TAUPE TONE" CUSTOM FORMULA	
EP-4G	EXTERIOR PAINT	GLIDDEN / PPG	PRIMER 17-921 PAINT 6-2045XI	MONTEREY CLIFFS 10YY 14/080	
MC-1G	METAL COPPING	WP HICKMAN	PERMA SNAP PLUS	A-30 SILVER SMITH	
MC-2G	METAL COPPING	WP HICKMAN	PERMA SNAP PLUS	"TAUPE TONE" PPG	
MC-3G	METAL COPPING	WP HICKMAN	PERMA SNAP PLUS	PPG CEDAR	
MP-1G	PARAPET LIGHT BAND	LEKTRON	LED LIGHT BAND		
MP-3G	METAL PANEL CANOPY	UNI-STRUCTURES OR EQUAL		CLEAR ANODIZED	
S-1	SIGN	-		BK LOGO	
S-3	SIGN	-		CLEAR ANODIZED	
ST-1	STONE	LEUDER'S		LIMESTONE MIX ASHLAR PATTERN	



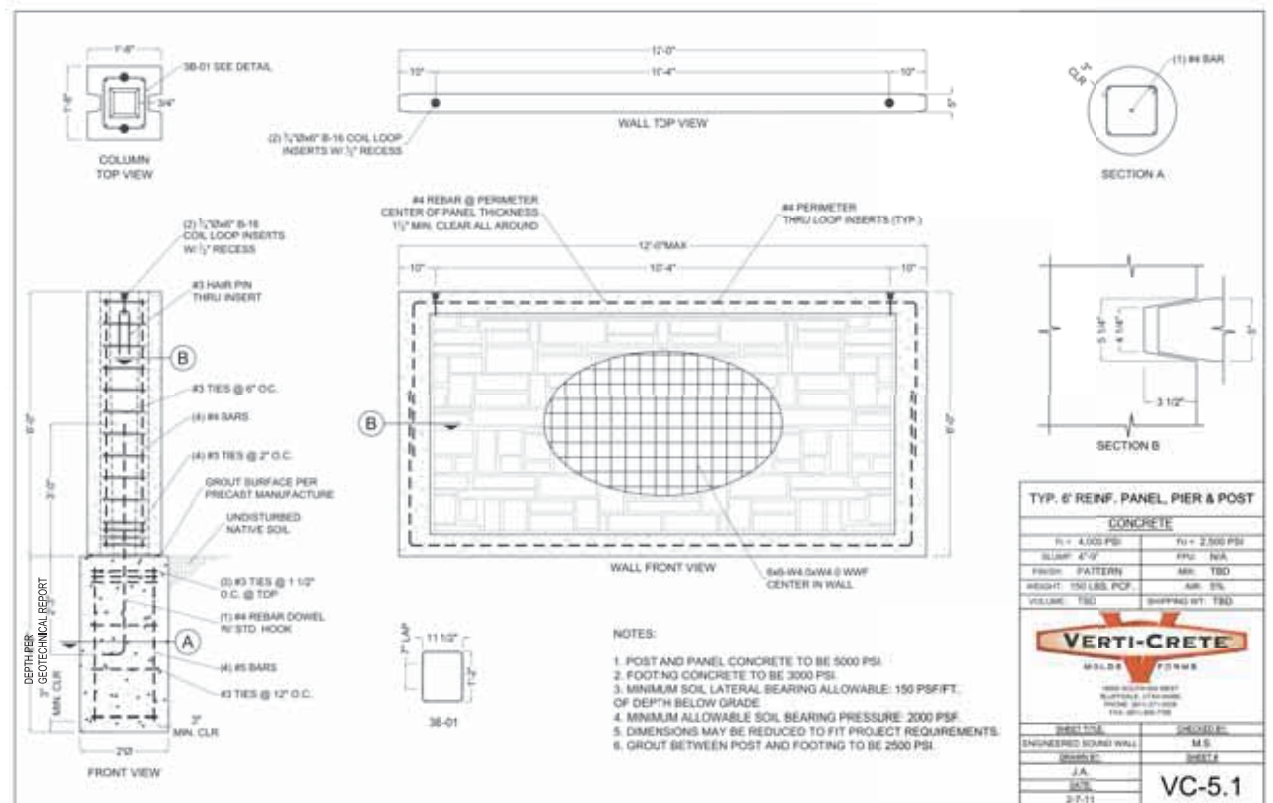
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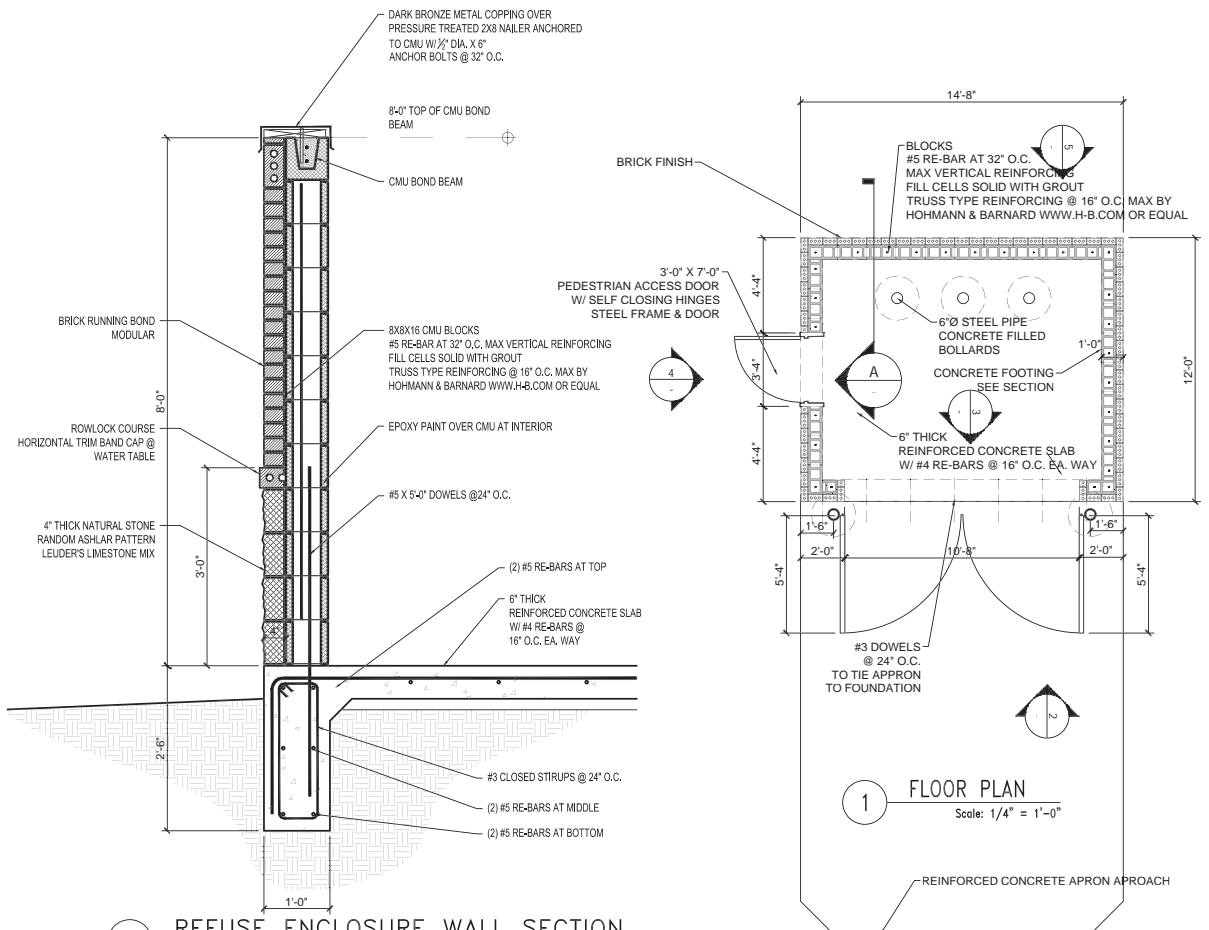
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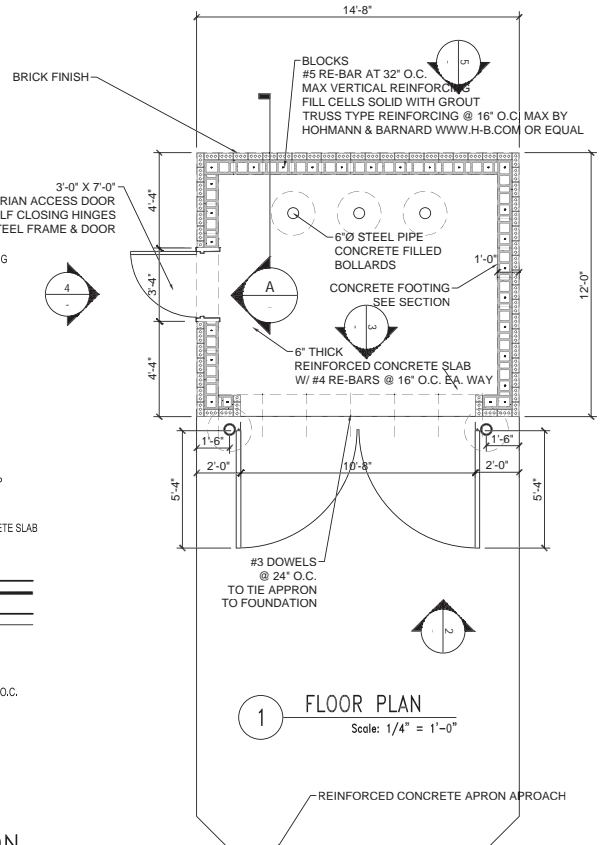
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Mar 22, 2017 - 2:58pm
HWY 26 & DALEY AVE
BURGER KING RESTAURANT
7047 HWY 26
NORTH RICHLAND HILLS, TX 76180
SIDE ELEVATIONS



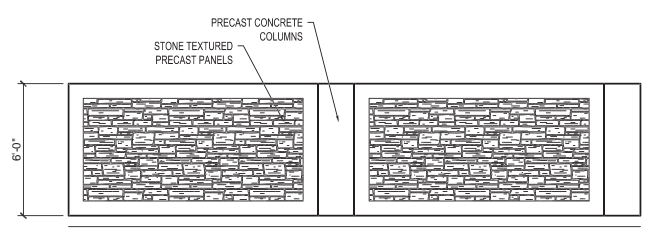
C SCREEN WALL PLAN & SECTION
SCALE: 1/2" = 1'-0"



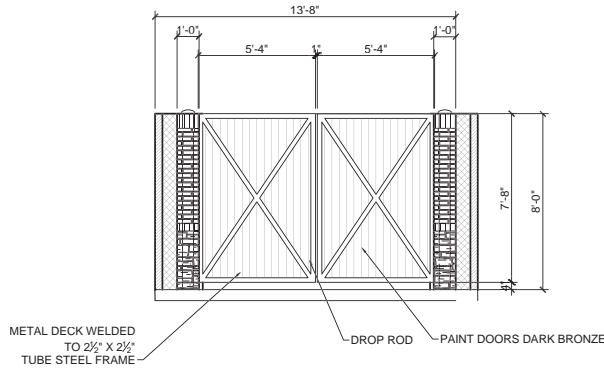
A REFUSE ENCLOSURE WALL SECTION
SCALE: 3/4" = 1'-0"



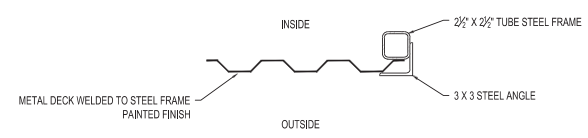
1 FLOOR PLAN
Scale: 1/4" = 1'-0"



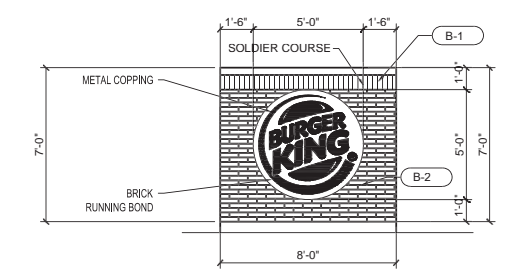
5 GARDEN SCREEN WALL ELEVATION
Scale: 1/4" = 1'-0"



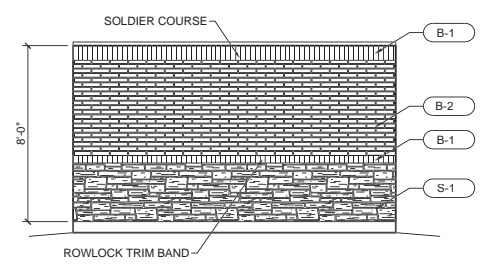
3 INSIDE GATE ELEVATION
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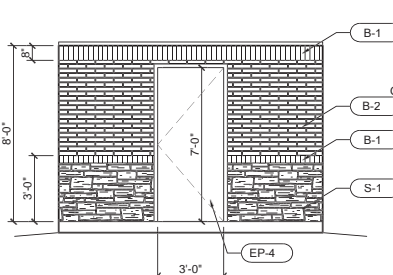
B GATE PLAN DETAIL
Scale: 1 1/2" = 1'-0"



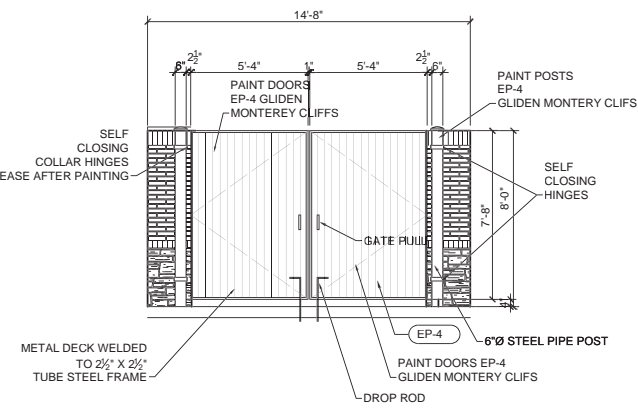
6 MONUMENT SIGN ELEVATION
Scale: 1/4" = 1'-0"



5 REAR EXTERIOR ELEVATION
Scale: 1/4" = 1'-0"



4 SIDE EXTERIOR ELEVATION
Scale: 1/4" = 1'-0"



2 FRONT EXTERIOR ELEVATION
Scale: 1/4" = 1'-0"

CASE# SP2016-06

NO.	DATE	REVISION



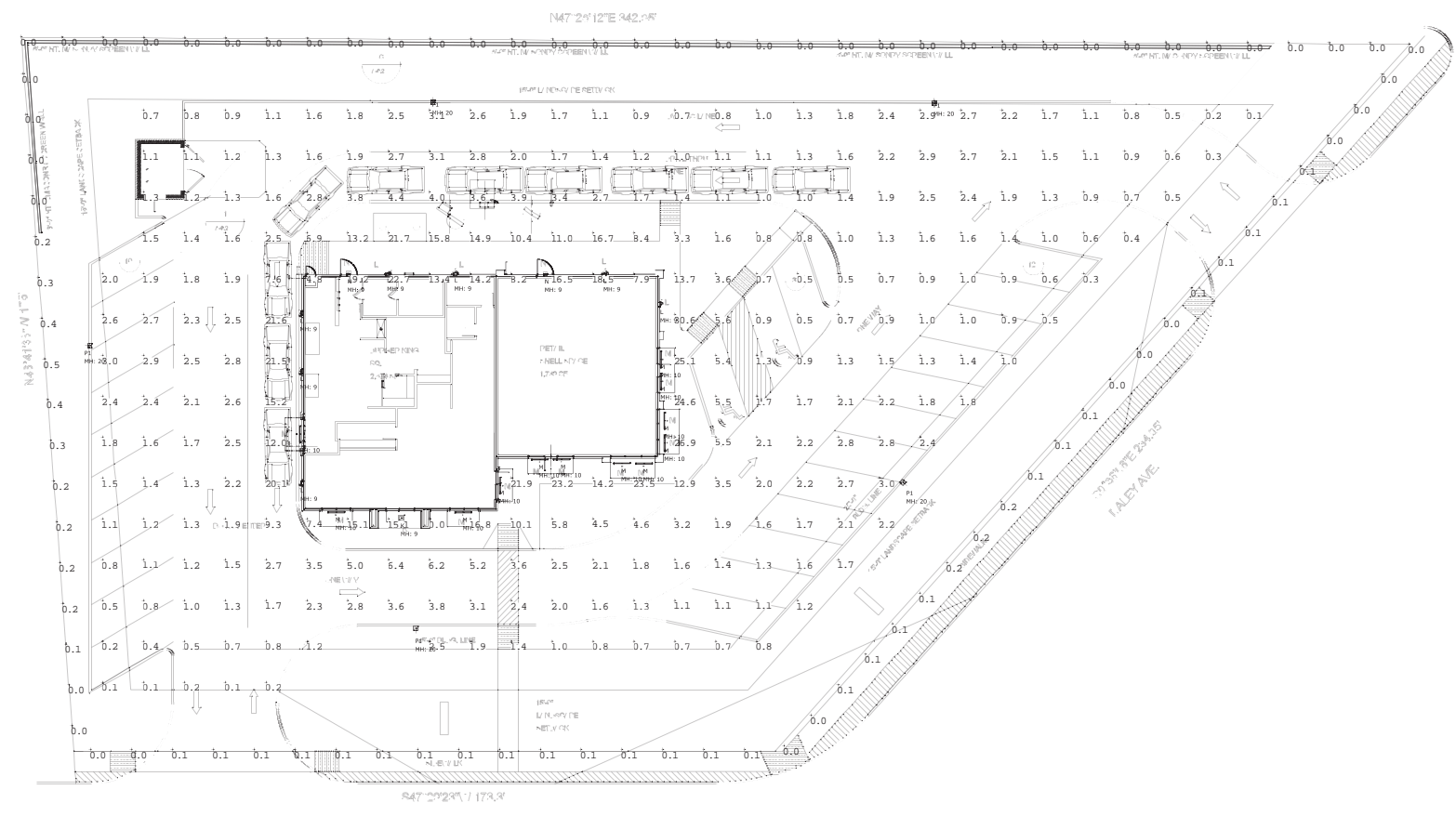
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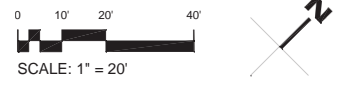
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PROJECT # 16006
RCC-80 20/20 MAKE: APRIL 2015 DESIGN RELEASE
Jan 18, 2017 - 1:04pm
SEAL
HWY 26 & DALEY AVE
BURGER KING RESTAURANT
7047 HWY 26
NORTH RICHLAND HILLS, TX 76180
SITE DETAILS



1 PHOTOMETRIC PLAN
SCALE: 1" = 20'-0"



Calculation Summary						
Calculation Grid Location	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min
PROPERTY LINE	N.A.	Fc	0.07	0.5	0.0	N.A.
SITE	0	Fc	3.83	30.6	0.0	N.A.

Luminaire Schedule								
Symbol	Type	Qty	Manufacturer / Catalog Number	Total Lumen Output	Total Input Watts	Ballast Factor	Light Lost Factor	User Defined Factor
[Symbol]	L	7	LITHONIA WST LED P3 50K VW MVOLT	6691	50	1.000	0.808	1.000
[Symbol]	K	1	NEWSTAR AGV14-OP-UN-42	3801	40	1.000	0.808	1.000
[Symbol]	N	2	LITHONIA KAXW LED P2 50K R4 MVOLT	6397	49	1.000	0.808	1.000
[Symbol]	M	12	LITHONIA ZL1N L48 5000LM FST MVOLT 50K 80 CRI	4896	41.75	1.000	0.808	1.000
[Symbol]	P1	5	LITHONIA KAD LED 40C 700 40K R2 MVOLT HS	9239	91	1.000	0.808	1.000



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Apprentice Engineer
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DATE	
REVISION	
DATE	
REVISION	
DATE	
REVISION	



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Mar 22, 2016 - 3:00pm
13.3

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PHOTOMETRIC PLAN