

PRIVATE PAVING LEGEND	
	5" THICK, 3000 PSI PORTLAND CEMENT CONCRETE SIDEWALKS W/ #3 BARS AT 18" O.C.E.W.
	6" THICK, 3000 PSI PORTLAND CEMENT CONCRETE PARKING W/ #3 BARS AT 18" O.C.E.W.
	6" THICK, 3000 PSI PORTLAND CEMENT CONCRETE WITH MONOLITHIC CURB AND GUTTER W/ #3 BARS AT 18" O.C.E.W.
	7" THICK, 3600 PSI PORTLAND CEMENT CONCRETE WITH MONOLITHIC CURB AND GUTTER W/ #3 BARS AT 18" O.C.E.W.

PUBLIC PAVING LEGEND	
	5" THICK, 3000 PSI PORTLAND CEMENT CONCRETE SIDEWALKS W/ #3 BARS AT 18" C-C
	7" THICK, 3500 PSI PORTLAND CEMENT CONCRETE WITH MONOLITHIC CURB AND GUTTER W/ #4 BARS AT 18" O.C.E.W.
	6" THICK, 3500 PSI PORTLAND CEMENT CONCRETE WITH MONOLITHIC CURB AND GUTTER W/ #4 BARS AT 18" O.C.E.W.

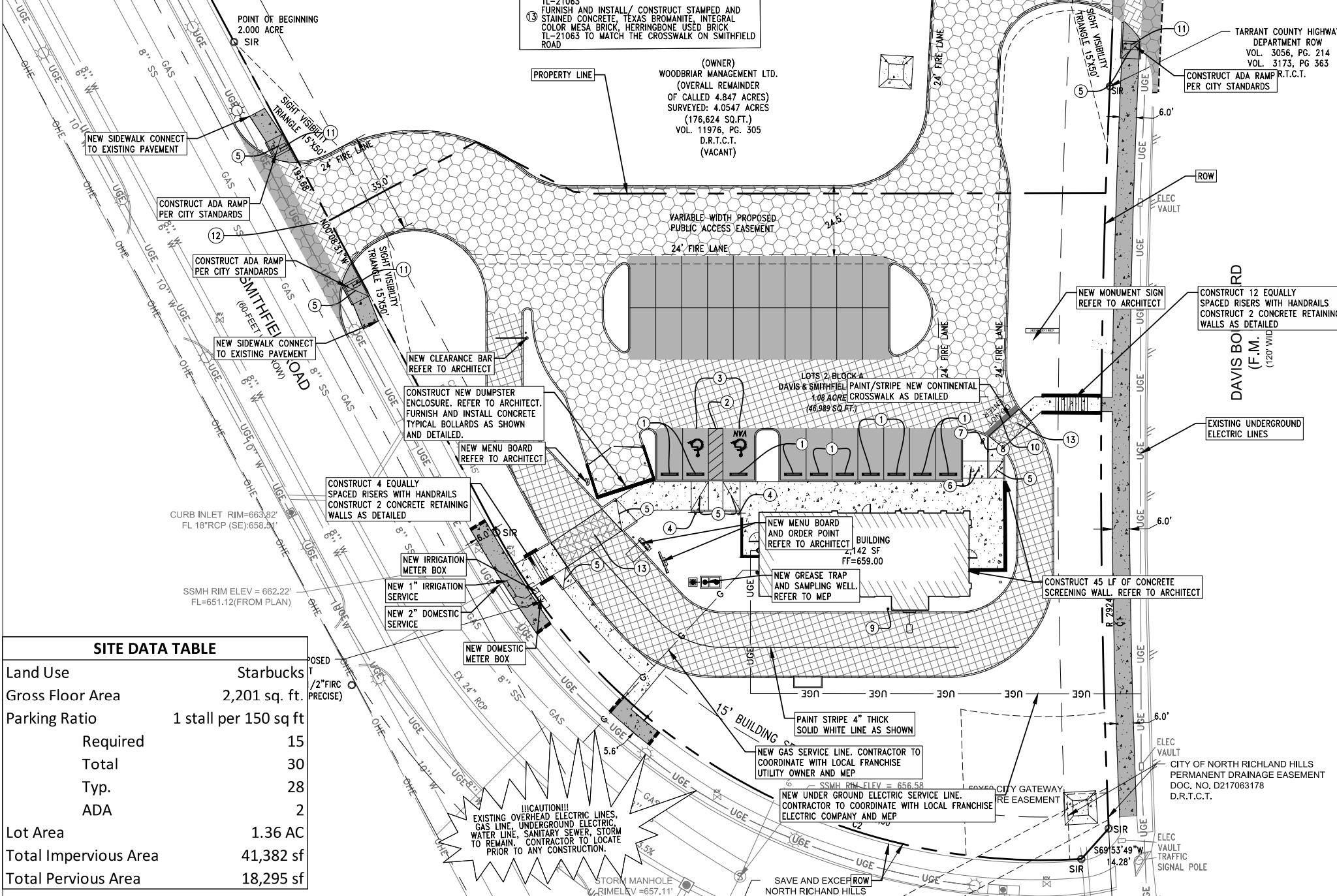
- NOTES BY SYMBOL**
- FURNISH AND INSTALL WHEEL STOP(S) AS DETAILED
 - PAINT STRIPE 4" WHITE CHEVRONS
 - CONSTRUCT NEW ADA PARKING SPACE AS DETAILED
 - FURNISH AND INSTALL NEW ADA SIGN AS DETAILED
 - CONSTRUCT NEW ADA RAMP AS DETAILED
 - FURNISH AND INSTALL 2 BIKE RACKS AS DETAILED OR PER STARBUCKS REQUEST
 - FURNISH AND INSTALL 'DO NOT ENTER' SIGN AS DETAILED
 - FURNISH AND INSTALL THANK YOU SIGN. REFER TO ARCHITECT
 - FURNISH AND INSTALL RELIANCE FOUNDARY R-7530-AL DECORATIVE BOLLARDS. REFER TO ARCHITECT AND ELECTRIC SITE PLAN.
 - PAINT STRIPE STOP BAR AS DETAILED
 - FURNISH AND INSTALL NEW DETECTABLE WARNING PLATE AS SHOWN AND AS DETAILED
 - FURNISH AND INSTALL/ CONSTRUCT STAMPED AND STAINED CONCRETE, TEXAS BROMANITE, INTEGRAL COLOR MESA BRICK, HERRINGBONE USED BRICK TL-21063
 - FURNISH AND INSTALL/ CONSTRUCT STAMPED AND STAINED CONCRETE, TEXAS BROMANITE, INTEGRAL COLOR MESA BRICK, HERRINGBONE USED BRICK TL-21063 TO MATCH THE CROSSWALK ON SMITHFIELD ROAD

PEDESTRIAN CROSSWALK

STAMPED AND STAINED CONCRETE, MANUFACTURER: TEXAS BROMANITE, INTEGRAL COLOR MESA BRICK, HERRINGBONE USED BRICK, TL-21063
 NOTE: CONTRACTOR TO PROVIDE 4X4 MOCK-UP FOR APPROVAL.

SEE PAVING DETAILS FOR TYPICAL PAVING SECTIONS

SEE PAVING DETAILS FOR TYPICAL PAVING SECTIONS



SITE DATA TABLE	
Land Use	Starbucks
Gross Floor Area	2,201 sq. ft.
Parking Ratio	1 stall per 150 sq ft
Required	15
Total	30
Typ.	28
ADA	2
Lot Area	1.36 AC
Total Impervious Area	41,382 sf
Total Pervious Area	18,295 sf

- PAVING PLAN NOTES:**
- ALL CONSTRUCTION METHODS AND MATERIAL SHALL CONFORM TO THE PROJECT SPECIFICATIONS. IN AREAS WHERE PROJECT SPECIFICATIONS DO NOT COVER, THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AS PUBLISHED BY THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (NCTCOG) LATEST EDITION SHALL APPLY.
 - ALL NEW CONCRETE INTERFACING WITH EXISTING CONCRETE SHALL BE CONSTRUCTED WITH A DOWELED EXPANSION JOINT AS DETAILED.
 - ALL SIDEWALKS, ACCESSIBLE PATHS AND PARKING SHALL CONFORM TO THE A.D.A. SPECIFICATIONS AS STATED IN THE TEXAS ACCESSIBILITY STANDARDS. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY COMPLIANCE.
 - CONTRACTOR SHALL PAINT AND STRIPE ALL PARKING AS SHOWN ON PLAN INCLUDING DRIVE LANES, FIRE LANES, TYPICAL SPACES AND A.D.A. SPACES.
 - CONTRACTOR SHALL COORDINATE SLEEVEING FOR ELECTRICAL WITH MEP PLANS.
 - WHERE REINFORCING IS NOT SPECIFICALLY DETAILED, REINFORCING FOR PAVING SHALL BE AT A MINIMUM, NO. 4 REBARS AT 12" O.C.E.W.
 - UNLESS SPECIFICALLY NOTED ON PLANS, ALL CONCRETE PAVING, SIDEWALKS, SLABS, AND MISCELLANEOUS UTILITY INFRASTRUCTURES SHALL BE AT A MINIMUM, 4,000 PSI PORTLAND CEMENT CONCRETE AT 28 DAYS.
 - PAVING IN DRIVE-ABLE AREAS THAT DO NOT HAVE CURB AND GUTTER SHALL BE CONSTRUCTED WITH THICKENED EDGE AS DETAILED.
 - CONTRACTOR SHALL COORDINATE ALL SCORING AND EXPANSION JOINTS WITH THE ARCHITECT AND ENGINEER PRIOR TO ANY CONCRETE PLACEMENT FOR FLATWORK. CONTRACTOR SHALL PROVIDE A DETAILED JOINTING PLAN OF "ALL" SITE PAVING INCLUDING SPACING AND TYPE OF JOINT TO THE ENGINEER FOR REVIEW AND ACCEPTANCE A MINIMUM OF FOUR (4) WEEKS PRIOR TO ANY CONCRETE PLACEMENT.

FIRE LANE STRIPING:

FIRE APPARATUS ACCESS ROADS, OR FIRE LANES, SHALL BE MARKED BY PAINTED LINES OF RED TRAFFIC PAINT SIX INCHES (6") IN WIDTH TO SHOW THE BOUNDARIES OF THE LANE. THE WORDS "NO PARKING FIRE LANE" SHALL APPEAR IN FOUR INCH (4") WHITE LETTERS AT 25 FEET INTERVALS ON THE RED BORDER MARKINGS ALONG BOTH SIDES OF THE FIRE LANES. WHERE A CURB IS AVAILABLE, THE STRIPING SHALL BE ON THE VERTICAL FACE OF THE CURB.

GUARDRAIL NOTE/ORNAMENTAL FENCE:

CONTRACTOR SHALL CONSTRUCT 4' HIGH GUARDRAIL. THE DESIGN BASIS IS "AMERISTAR MONTAGE THREE RAIL MAJESTIC." FINISH SHALL BE SELECTED BY OWNERS AUTHORIZED REPRESENTATIVE. FENCE SHALL BE CONSTRUCTED PER AMERISTAR MANUFACTURER'S SPECIFICATIONS

FENCING NOTE:

ALL FENCING SHALL BE CONSTRUCTED WITH A MOW STRIP AS DETAILED

CONTRACTOR SHALL CONSTRUCT 4' HIGH ORNAMENTAL FENCE. THE DESIGN BASIS IS "AMERISTAR MONTAGE THREE RAIL MAJESTIC." FINISH SHALL BE SELECTED BY OWNERS AUTHORIZED REPRESENTATIVE. FENCE SHALL BE CONSTRUCTED PER AMERISTAR MANUFACTURER'S SPECIFICATIONS

RETAINING WALL NOTES:

- RETAINING WALL SHALL BE PAVESTONE ANCHOR VERTICA PRO WITH BEVELED UNITS OR APPROVED EQUAL AND COLOR SHALL BE SELECTED BY OWNERS AUTHORIZED REPRESENTATIVE.
- CONTRACTOR SHALL FURNISH AND INSTALL 2" WIDE, 6" THICK CONCRETE MONOSTRIP FOR CHAINLINK FENCE BEHIND WALL AS DETAILED WHEN NOT ADJACENT TO PAVEMENT.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF THE MODULAR CONCRETE BLOCK RETAINING WALL (SIGNED AND SEALED BY A LICENSED PROFESSIONAL ENGINEER WITHIN THE STATE OF TEXAS) FOR REVIEW AND ACCEPTANCE PRIOR TO ANY CONSTRUCTION OF THE WALL. REFER TO GEOTECH REPORT FOR SPECIAL RESTRICTIONS AND REQUIREMENTS.

CONCRETE MATERIALS NOTES:

- ALL CONCRETE SHALL BE PORTLAND CEMENT CONFORMING TO ASTM C 150, TYPE 1, DOMESTIC MANUFACTURE ONLY. CONTRACTOR SHALL USE ONLY ONE BRAND OF CEMENT THROUGHOUT THE PROJECT.
- CONTRACTOR SHALL USE AN AIR-ENTRAINING ADMIXTURE PER MANUFACTURER'S RECOMMENDATIONS RESULTING IN CONCRETE AT THE POINT OF PLACEMENT HAVING AN AIR CONTENT OF 5% (±2%). AIR-ENTRAPMENT IS NOT ACCEPTABLE.
- ALL CONCRETE SHALL HAVE A MAXIMUM WATER TO CEMENT RATIO OF 0.50.
- CONCRETE SLUMP AT THE POINT OF PLACEMENT SHALL NOT BE LESS THAN 3" AND NOT MORE THAN 5" AS DESCRIBED BY ASTM C 143.
- FLY ASH AND CALCIUM CHLORIDE OR ADMIXTURE CONTAINING MORE THAN 0.1% CHLORIDE IONS ARE NOT PERMITTED.
- NO SAND SHALL BE USED UNDER ANY PAVEMENT - NO EXCEPTION.
- EXPANSION JOINTS SHALL BE CONSTRUCTED ON MAXIMUM OF 90' CENTERS AND LOCATED AT ALL STRUCTURES, INTERSECTION POINTS, POINTS OF CURVATURE, POINTS OF TANGENCY, AND AT ALL REDUCTIONS OF PAVEMENT WIDTHS.

MISCELLANEOUS CONCRETE ITEMS:

CONTRACTOR SHALL FILL-IN ALL HOLES, OPENINGS AND TRENCH REPAIR LEFT IN CONCRETE STRUCTURES OR PAVEMENT FOR PASSAGE OF WORK BY OTHER TRADES NOT SPECIFIED ON THE PLANS. AFTER WORK OF OTHER TRADES IS COMPLETED, MIX, PLACE, AND CURE CONCRETE AS HEREIN SPECIFIED, TO BLEND WITH IN-PLACE CONSTRUCTION. PROVIDE OTHER MISCELLANEOUS CONCRETE FILLING SHOWN OR REQUIRED AS INTERPRETED BY THE ENGINEER OR ARCHITECT TO COMPLETE THE WORK. COMPLETED WORK SHALL RESULT IN A FULLY FUNCTIONAL PROJECT WITH NO HOLES, OPENINGS OR GAPS IN PAVING/STRUCTURES.

NOTE:

ANY MOISTURE CONDITIONING FOR BUILDINGS NOTED ON THE PLANS SHALL OCCUR ON ALL BUILDINGS UNLESS OTHERWISE NOTED

REFER TO GENERAL NOTES SHEET FOR EXISTING UTILITY CAUTIONARY NOTES AND CONTRACTOR ADVISORY

REFER TO DEMOLITION PLAN SHEET FOR SITE DISTURBANCE NOTES.

MJ THOMAS ENGINEERING, LLC

REGISTERED PROFESSIONAL ENGINEER
 LICENSE NO. 93640
 STATE OF TEXAS

PROJECT: SMITHFIELD ROAD STARBUCKS
 DATE: 12-16-2022
 DESIGNED: DJM
 DRAWN: DJM
 CHECKED: MAT

SMITHFIELD ROAD STARBUCKS

LOTS 1 AND 2 BLOCK A
 DAVIS AND SMITHFIELD ADDITION
 6201 DAVIS BLVD, FORT WORTH, TEXAS 76180

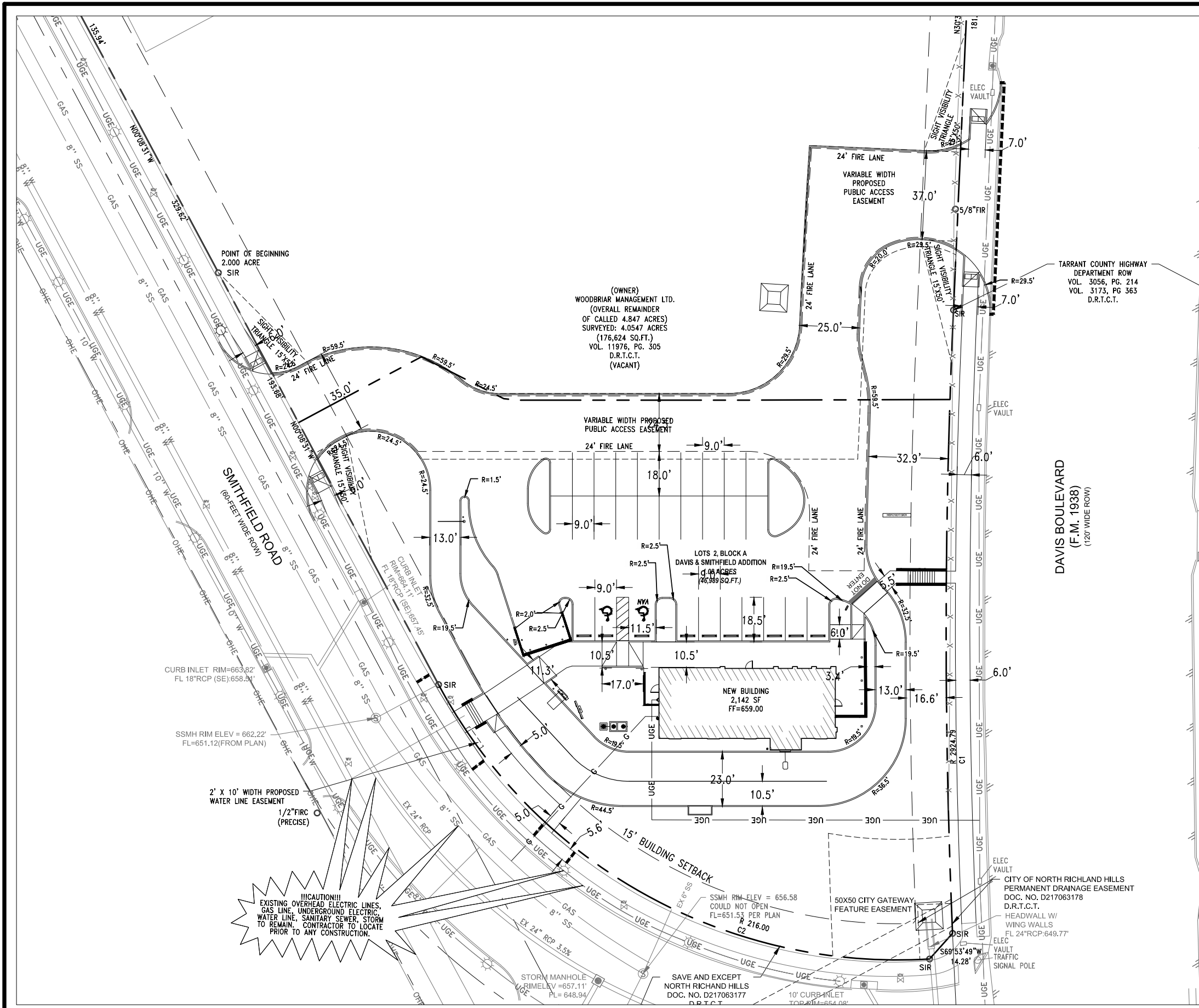
SITE PLAN

NO.	REVISION	DATE	BY	COMMENTS
1		03-17-23	AA	TDOT COMMENTS

PROJECT: SMITHFIELD ROAD STARBUCKS
 DATE: 12-16-2022
 DESIGNED: DJM
 DRAWN: DJM
 CHECKED: MAT

SHEET **C1.03**





DIMENSION CONTROL NOTES:

1. ALL CONSTRUCTION METHODS AND MATERIAL SHALL CONFORM TO THE PROJECT SPECIFICATIONS. IN AREAS WHERE PROJECT SPECIFICATIONS DO NOT COVER, THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AS PUBLISHED BY THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (NCTCOG) LATEST EDITION SHALL APPLY.
2. ALL SIDEWALKS SHALL CONFORM TO THE A.D.A. SPECIFICATIONS AS STATED IN THE TEXAS ACCESSIBILITY STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY COMPLIANCE.
3. NO SAND SHALL BE USED UNDER ANY PAVEMENT - NO EXCEPTIONS.
4. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.

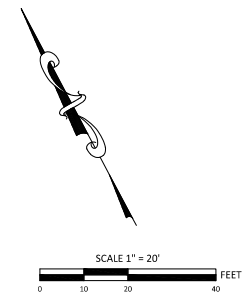
REFER TO GENERAL NOTES SHEET FOR EXISTING UTILITY CAUTIONARY NOTES AND CONTRACTOR ADVISORY.

(OWNER)
 WOODBRIAR MANAGEMENT LTD.
 (OVERALL REMAINDER
 OF CALLED 4.847 ACRES
 SURVEYED: 4.0547 ACRES
 (176,624 SQ.FT.)
 VOL. 11976, PG. 305
 D.R.T.C.T.
 (VACANT)

TARRANT COUNTY HIGHWAY
 DEPARTMENT ROW
 VOL. 3056, PG. 214
 VOL. 3173, PG 363
 D.R.T.C.T.

DAVIS BOULEVARD
 (F.M. 1938)
 (120' WIDE ROW)

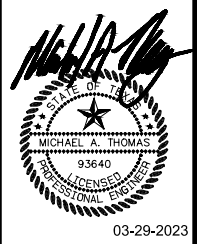
CAUTION!!!
 EXISTING OVERHEAD ELECTRIC LINES,
 GAS LINE, UNDERGROUND ELECTRIC,
 WATER LINE, SANITARY SEWER, STORM
 TO REMAIN. CONTRACTOR TO LOCATE
 PRIOR TO ANY CONSTRUCTION.



MJ THOMAS
 ENGINEERING, LLC

PHONE: (817) 758-0808
 FAX: (817) 758-9841
 M.F.T. NO.: 594-030

PROFESSIONAL TRACT, SUITE 204
 FORT WORTH, TX 76102
 REGISTRATION NO. F-443



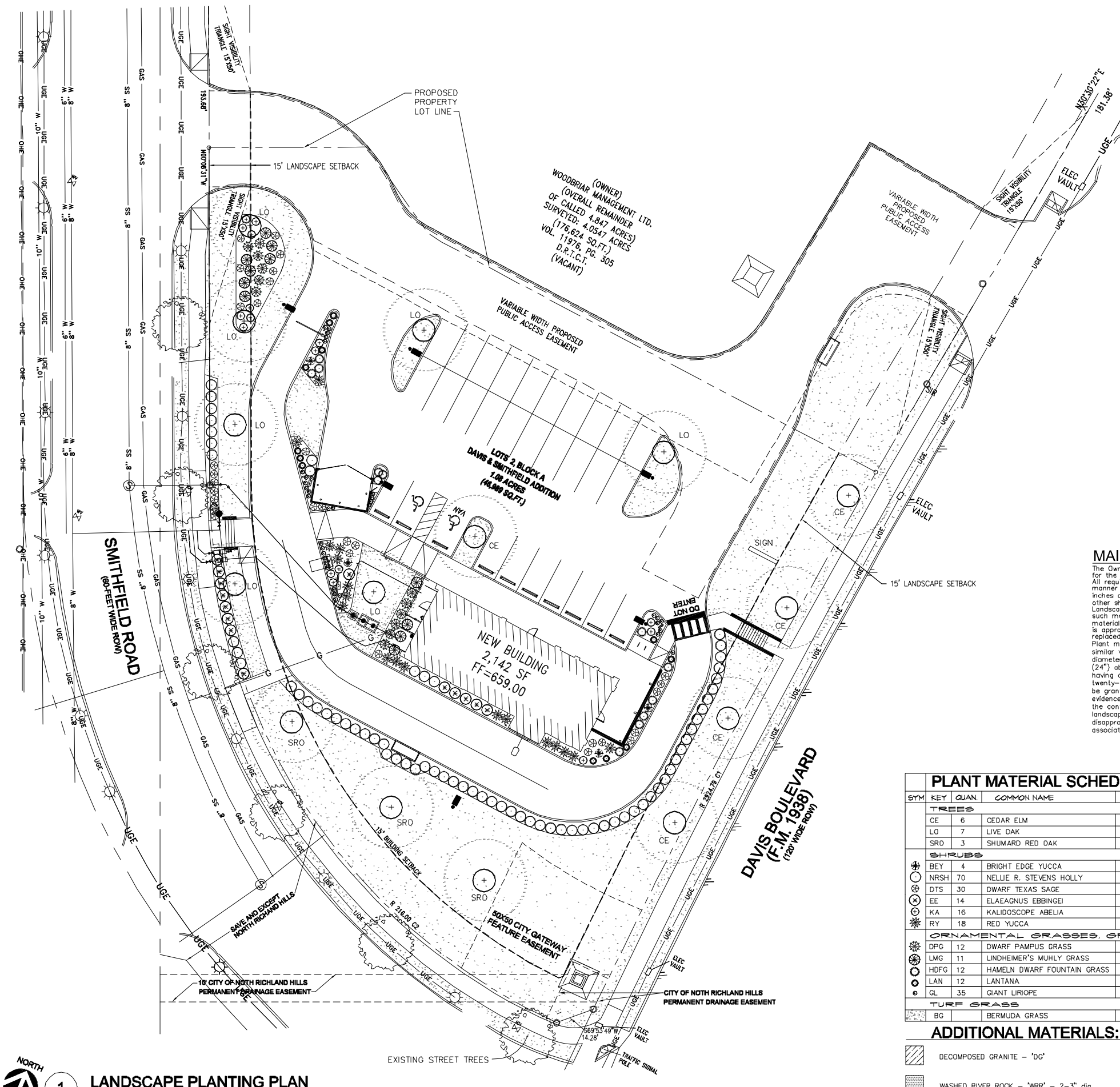
03-29-2023

SMITHFIELD ROAD STARBUCKS
 LOTS 1 AND 2 BLOCK A
 DAVIS AND SMITHFIELD ADDITION
 6201 DAVIS BLVD., FORT WORTH, TEXAS 76180

DIMENSION CONTROL PLAN

PROJECT	DATE	DESIGNED	DRAWN	CHECKED	MAT
594-030	12-16-2022	DJM	DJM		
DATE					
BY					
REVISION					
NO.					

SHEET
C1.05



GENERAL LANDSCAPE NOTES:

- ALL LANDSCAPE REQUIREMENTS AND UNDERGROUND IRRIGATION SYSTEM WILL CONFORM TO THE LOCAL CITY ORDINANCE AND DESIGN STANDARDS AND ANY REQUIREMENTS OF THE STATE, IF APPLICABLE.
- NO PLANT MATERIAL SHALL BE PLANTED UNTIL THE LANDSCAPE IRRIGATION SYSTEM HAS BEEN INSTALLED AND IS OPERATING WITH 100% COVERAGE OF PROPOSED LANDSCAPE AREAS.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, CABLES, STRUCTURES AND LINE RUNS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL QUANTITIES BASED ON THE DRAWING(S) AND ACTUAL FIELD DIMENSIONS. PLANT QUANTITIES HAVE BEEN PROVIDED AS A CONVENIENCE ONLY TO THE OWNER(S) AND SHALL NOT BE CONSIDERED ABSOLUTE. CONTRACTOR SHALL FOLLOW DESIGN INTENT.
- NOTIFY THE OWNER OF ANY DISCREPANCIES THAT ARISE DURING THE CONSTRUCTION PERIOD. FAILURE TO MAKE SUCH DISCREPANCIES KNOWN TO OWNER WILL RESULT IN THE CONTRACTOR'S LIABILITY TO REDO WORK AS NECESSARY TO ACHIEVE THE DESIGN INTENT.
- PROTECT EXISTING VEGETATION, EQUIPMENT, STRUCTURES, UTILITIES, AND OTHER IMPROVEMENTS AT THE PROJECT SITE AND ON ADJACENT PROPERTIES, EXCEPT THOSE INDICATED TO BE REMOVED OR ALTERED. ALL AREAS DISTURBED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SHALL BE REPAIRED AND RESTORED TO THEIR PRE-CONSTRUCTION CONDITION INCLUDING: PAVEMENTS, LANDSCAPE AREAS, IRRIGATION AND LIGHTING.
- PROVIDE MEASURES AS REQUIRED TO PREVENT EROSION AND DISCHARGE OF SOIL-BEARING RUNOFF AND ARBORIC DUST TO UNDISTURBED AREAS AND ADJACENT PROPERTIES, SIDEWALKS, STREETS, AND OTHER PAVED SURFACES.
- ALL PROPOSED SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- NOTIFY THE LANDSCAPE ARCHITECT IF LAYOUT OF TREES, BEDS AND/OR PLANTS REQUIRE ALTERATION FROM THE LANDSCAPE PLAN. NOTIFICATION WILL BE REQUIRED PRIOR TO ALTERING THE LAYOUT.
- TREES SHALL BE HANDLED BY ROOT BALLS ONLY. DO NOT DAMAGE BALL, TRUNK, OR LOOSEN TRUNK FROM BALL. TREE TRUNKS ARE TO BE PLANTED STRAIGHT AND MAY BE REQUIRED BY THE OWNER AND/OR THE LANDSCAPE ARCHITECT TO BE STAKED.
- ALL TREES TO BE UNIFORM BY SPECIES WITH STRAIGHT TRUNKS AND MATCHING CHARACTER AND BRANCHING STRUCTURE.
- ALL TREE LOCATIONS SHALL BE APPROVED BY THE OWNER OR OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
- STAKE NEWLY PLANTED TREES FOR A MINIMUM PERIOD OF ONE YEAR. NOTE THE SPECIFIED "ARBORLOCK SYSTEM" STAKING DETAIL, SHEET L-2, IS BIODEGRADABLE AND CAN REMAIN IN PLACE. THE STAKING METHOD SHALL SECURELY ANCHOR THE ROOT BALL, WHILE ALLOWING THE TRUNK AND CROWN TO MOVE NATURALLY. THE SYSTEM SHALL NOT USE METALS AND METHODS THAT PENETRATE OR DAMAGE THE ROOT BALL ABOVE GRADE. STAKING SYSTEMS SUCH AS "T" POSTS WITH WIRES, HOSES, STRAPS, OR GUY WIRES WRAPPED AROUND THE TREE TRUNK SHALL NOT BE ALLOWED UNLESS AUTHORIZED BY THE LANDSCAPE ARCHITECT.
- FINAL LOCATIONS OF PLANT MATERIAL IS SUBJECT FOR REVIEW AND APPROVAL BY OWNER PRIOR TO PLANTING.
- PROVIDE POSITIVE DRAINAGE THROUGHOUT THE PROJECT AREA. NO PONDING OR STANDING WATER IS ACCEPTABLE.
- CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL BUILDINGS.
- AT NO TIME WILL ANY PLANT MATERIAL BE ALLOWED TO SETTLE BEYOND THE TOP OF THE ROOT FLARE OR POTTED SOIL LINE. SHOULD PLANT MATERIAL SETTLE, THE PLANT(S) WILL BE REPLANTED AT THE PROPER HEIGHT AND/OR REPLACED IF NECESSARY AT THE CONTRACTOR'S COST.
- ALL BED AREAS SHALL BE SEPARATED FROM TURF AREAS USING 1/8" X 4" STEEL EDGING, PAINTED GREEN. ALL ENDS OF STEEL EDGING SHALL HAVE A RADIUS OR 45 DEGREE ANGLE TO ELIMINATE SHARP EDGES. HAND FILING MAY BE REQUIRED TO ACHIEVE A SMOOTH EDGE.
- TRIM STEEL EDGING AT A 45 DEGREE ANGLE WHEN EDGING INTERSECTS WITH A WALK OR CURB. DO NOT INSTALL EDGING ALONG CURBS OR WALKS.
- ALL LANDSCAPE BEDS, NOT COVERED WITH AGGREGATE, SHALL RECEIVE A FOUR INCH (4") TOP DRESS LAYER OF SHREDDED HARDWOOD MULCH. ALL TREE WELLS, NOT COVERED WITH AGGREGATE, SHALL RECEIVE A THREE INCH (3") TOP DRESS LAYER OF SHREDDED HARDWOOD MULCH. DO NOT COVER ROOT COLLAR.
- TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
- TURF AREAS SHALL BE CLEAN OF DEBRIS AND RAKED (CONTRACTOR) SMOOTH PRIOR TO HYDROMULCH OR SOD INSTALLATION. LANDSCAPE CONTRACTOR TO RECEIVE GRADE WITHIN APPROX. 1/10th OF FINAL GRADE.
- OWNER RESPONSIBLE TO PROVIDE ELECTRICAL SERVICE FOR THE IRRIGATION SYSTEM, WHICH INCLUDES A HARDWARE OF 110 VOLTS AT MINIMUM FOR THE CONTROLLER.
- ALL LANDSCAPING LOCATED WITHIN THE VISIBILITY TRIANGLES SHALL COMPLY WITH THE VISIBILITY TRIANGLE REQUIREMENTS AS PER THE CITY STANDARDS.
- ALL LIGHT POLES MAY NOT BE SHOWN ON THE PROJECT SITE OR ADJACENT PROPERTIES. IF A PROPOSED TREE IS IN CONFLICT WITH ANY LIGHT OR UTILITY POLE, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT, TO DETERMINE OPTIONS, PRIOR TO PLANTING.
- ALL PLANTS AND TREES ARE TO CONFORM TO AMERICAN ASSOCIATION OF NURSERYMEN AND TEXAS ASSOCIATION OF NURSERYMEN STANDARDS.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE ANY LANDSCAPE MATERIAL ON SITE.

MAINTENANCE NOTE:
 The Owner, tenant and/or their agent, thereof, shall be responsible for the maintenance of all landscaping.
 All required landscaping shall be maintained in a neat and orderly manner at all times. This shall include mowing (of grass six (6") inches or higher), edging, pruning, fertilizing, watering, weeding and other such activities common to the maintenance of landscaping. Landscaped areas shall be kept free of trash, litter, weeds and other such material or plants not a part of the landscaping. All plant material shall be maintained in a healthy and growing condition as is appropriate for the season of the year. All irrigation heads shall be replaced / repaired immediately to prevent the waste of water. Plant materials which die shall be replaced with plant material of similar variety and size, within ninety (90) days. Trees with a trunk diameter in excess of six (6") inches measured twenty-four inches (24") above the ground may be replaced with ones of similar variety having a trunk diameter of no less than three inches (3") measured twenty-four inches (24") above the ground. A time extension may be granted by the Director of Community Development if substantial evidence is presented to indicate abnormal circumstances beyond the control of the owner or his agent. Failure to maintain any landscape area in compliance with this section shall result in the disapproval and revocation of any issued certificate of occupancy associated with the occupancy of said areas.

LANDSCAPE REQUIREMENTS

REQUIRED SITE LANDSCAPING	15% OF TOTAL SITE TO BE LANDSCAPE AREA
NEW STARBUCKS LOT: 46,988.46	REQUIRED: 7,048 PROVIDED: 18,665 SF = 39.7%
REQUIRED LANDSCAPE SETBACK	MINIMUM 15 FT LANDSCAPE SETBACK REQUIRED: 15 FT PROVIDED: 15 FT
REQUIRED STREET FRONTAGE TREES	1 TREE REQ'D PER EVERY 50 FT OF FRONTAGE REQUIRED: 221'/50' = 5 TREES PROVIDED: 4 TREES DAVIS SMITHFIELD: 369'/50' = 8 TREES PROVIDED: 7 TREES
REQUIRED STREET FRONTAGE SHRUBS	1 SHRUB REQ'D PER EVERY 5 FT OF FRONTAGE REQUIRED: 221'/5' = 43 SHRUBS PROVIDED: 27 SHRUBS DAVIS SMITHFIELD: 369'/5' = 74 SHRUBS PROVIDED: 68 SHRUBS
REQUIRED PARKING LOT LANDSCAPING	5% LANDSCAPE AREA REQUIRED REQUIRED: 10,973 SF x 5% = 549 SF PROVIDED: 1,451 SF
BUFFER YARD REGULATION	15 FT OF LANDSCAPE BETWEEN DISTRICTS REQUIRED: NA PROVIDED: NA
BUFFER YARD TREES	1 TREE PER 30 LF, 40% EVERGREEN REQUIRED: NA PROVIDED: NA

PLANT MATERIAL SCHEDULE

SYM	KEY	QUAN	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS
TREES					
	CE	6	CEDAR ELM	<i>Ulmus crassifolia</i>	3" caliper, 8' tall, b&b
	LO	7	LIVE OAK	<i>Quercus virginiana</i>	3" caliper, 8' tall, b&b
	SRO	3	SHUMARD RED OAK	<i>Quercus shumardi</i>	3" caliper, 8' tall, b&b
SHRUBS					
	BEY	4	BRIGHT EDGE YUCCA	<i>Yucca filamentosa 'Bright Edge'</i>	5 gallon, 36" on center.
	NRSH	70	NELLIE R. STEVENS HOLLY	<i>Ilex spp. 'Nellie R. Stevens'</i>	7 gallon, 48" on center.
	DTS	30	DWARF TEXAS SAGE	<i>Leucophyllum frutescens 'Silverado'</i>	5 gallon, 36" on center.
	EE	14	ELAEAGNUS EBBINGEI	<i>Elaeagnus x ebbingei</i>	5 gallon, 48" on center.
	KA	16	KALIDOSCOPE ABELIA	<i>Abelia spp. 'Kalidoscope'</i>	5 gallon, 36" on center.
	RY	18	RED YUCCA	<i>Hesperaloe parvifolia</i>	5 gallon, 48" on center.
ORNAMENTAL GRASSES, GROUNDCOVER AND PERENNIALS					
	DPC	12	DWARF PAMPUS GRASS	<i>Cortaderia pumila</i>	5 gallon, 42" on center.
	LMG	11	LINDHEIMER'S MUHLY GRASS	<i>Muhlenbergia lindheimeri</i>	3 gallon, 36" on center.
	HDFG	12	HAMELN DWARF FOUNTAIN GRASS	<i>Pennisetum alpecauroides</i>	1 gallon, 24" on center.
	LAN	12	LANTANA	<i>Lantana spp.</i>	2 gallon, 30" on center.
	GL	35	GIANT LIRIOPE	<i>Liriope gigantea</i>	1 gallon, 18" on center.
TURF GRASS					
	BG		BERMUDA GRASS	<i>Cynodon dactylon</i>	solid sod

ADDITIONAL MATERIALS:

- DECOMPOSED GRANITE - 'DG' 4" thick over weed barrier fabric.
- WASHED RIVER ROCK - 'WRR' - 2-3" dia 4" thick over weed barrier fabric.



DON C. WHEELER, LANDSCAPE ARCHITECT
 LANDSCAPE ARCHITECTURE PLANNING IRRIGATION DESIGN
 FORT WORTH, TX 76147
 don@dwcia.com
 P.O. BOX 470865
 (817) 335-1405
 DESIGNED: DCW
 DRAWN: DCW
 CHECKED: DCW
 DATE: 12-29-22

CITY COMMENTS	NO.	REVISIONS/SUBMISSIONS	DATE
	A		3-29-23

STARBUCKS NORTH RICHLAND HILLS
 6251 DAVIS BLVD.
 NORTH RICHLAND HILLS, TX
LANDSCAPE PLAN

PROJECT NO: 2K22-46
 SHEET TITLE: LANDSCAPE PLAN SCHEDULES, NOTES
 SHEET NO: L-1
 OF X L SHEETS

C:\Users\missy\OneDrive - MSpire Design\Projects\CJ Real Estate\22-0022 SBUX Davis & Smithfield\Drawings\Davis Smithfield SBUX Shell 3-27-23.rvt 3/27/2023 2:58:00 PM



THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF REVIEW UNDER THE AUTHORITY OF MSPIRE DESIGN, LLC. IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.

3-13-23

**Thomas A Pirtle III
AIA NCARB**

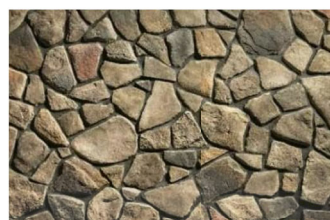
Architect
1308 Meadowview Drive
Kennedale Texas 76060

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK. DO NOT SCALE DRAWINGS.

CJ REAL ESTATE, LLC
3825 Camp Bowie Blvd
Fort Worth, TX 76107
817.665.2343 (o)



ACME THIN BRICK
OLD TAVERN
HERITAGE TEXTURE
W/SLIGHTLY EXTRUDED
AND OVERGROUT
MORTAR



PROVIA STONE
FIELDSTONE
OLD DOMINION
W/OVERGROUT
OF BROWN MORTAR



METAL ACCENTS,
FIXTURES, ETC.
FINISHED WITH
STARBUCKS
HOUSE GREEN

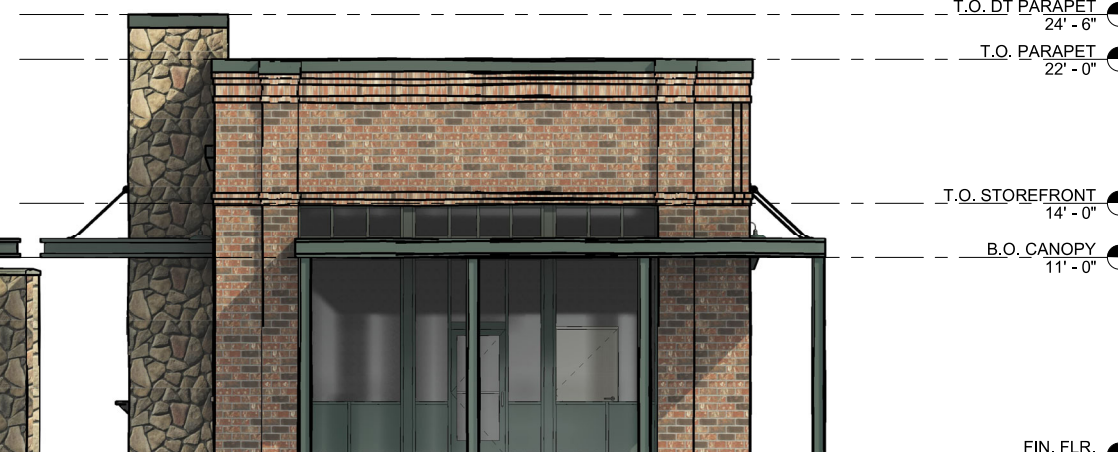
REVISION SCHEDULE			
REV	DATE	BY	DESCRIPTIONS



NORTH ELEVATION PRELIM

MASONRY : 91%
FIBER CEMENT PANELS: 9%

ART PANELS THIS
ELEVATION TBD
BY STARBUCKS



EAST ELEVATION PRELIM

MASONRY : 9% (BRICK AND STONE)
FIBER CEMENT PANELS: 10%

T.O. DT PARAPET
24' - 6"

T.O. PARAPET
22' - 0"

T.O. STOREFRONT
14' - 0"

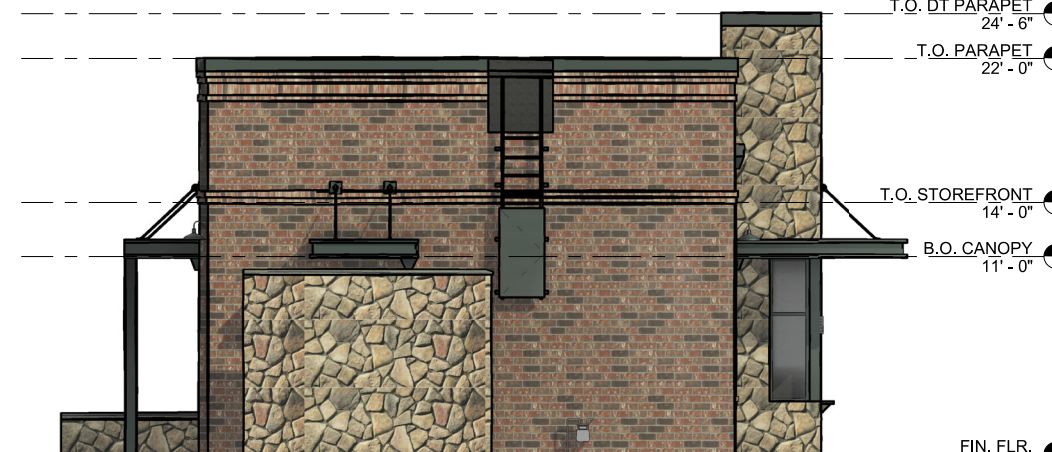
B.O. CANOPY
11' - 0"

FIN. FLR.
0' - 0"



SOUTH ELEVATION PRELIM

MASONRY : 100% (BRICK AND STONE)



WEST ELEVATION PRELIM

MASONRY : 100% (BRICK AND STONE)

T.O. DT PARAPET
24' - 6"

T.O. PARAPET
22' - 0"

T.O. STOREFRONT
14' - 0"

B.O. CANOPY
11' - 0"

FIN. FLR.
0' - 0"

PROJECT NAME:
STARBUCKS SHELL BUILDING

PROJECT ADDRESS:
**DAVIS & SMITHFIELD
NORTH RICHLAND HILLS, TX**

PROJECT #: 22-0022
ORIGINAL ISSUE DATE: 3-13-23
PRODUCTION DATE: MH
DESIGNER: TP
CHECKED BY:

SHEET TITLE:
**PRELIM 3D
ELEVATIONS**

SCALE: 3/16" = 1'-0"

SHEET NUMBER:

PR-101 CASE SP 2018-05

C:\Users\missy\OneDrive - MSpire Design\Projects\CJ Real Estate\22-0022 SBUX Davis & Smithfield\Drawings\Davis Smithfield FINAL SBUX Shell.rvt 3/8/2023 8:50:35 PM



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3-9-23

Thomas A Pirtle III
AIA NCARB

Architect
1308 Meadowview Drive
Kennedale Texas 76060

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK. DO NOT SCALE DRAWINGS.

CJ REAL ESTATE, LLC
3825 Camp Bowie Blvd
Fort Worth, TX 76107
817.665.2343 (o)



ACME THIN BRICK
OLD TAVERN
HERITAGE TEXTURE
W/SLIGHTLY EXTRUDED
AND OVERGROUT
MORTAR



PROVIA STONE
FIELDSTONE
OLD DOMINION
W/OVERGROUT
OF BROWN MORTAR



METAL ACCENTS,
FIXTURES, ETC.
FINISHED WITH
STARBUCKS
HOUSE GREEN

REVISION SCHEDULE			
REV	DATE	BY	DESCRIPTIONS



NORTH ELEVATION PRELIM

MASONRY : 91%
FIBER CEMENT PANELS: 9%



EAST ELEVATION PRELIM

MASONRY : 9% (BRICK AND STONE)
FIBER CEMENT PANELS: 10%

T.O. DT PARAPET
24' - 6"

T.O. PARAPET
22' - 0"

T.O. STOREFRONT
14' - 0"

B.O. CANOPY
11' - 0"

FIN. FLR.
0' - 0"



SOUTH ELEVATION PRELIM

MASONRY : 100% (BRICK AND STONE)



WEST ELEVATION PRELIM

MASONRY : 100% (BRICK AND STONE)

T.O. DT PARAPET
24' - 6"

T.O. PARAPET
22' - 0"

T.O. STOREFRONT
14' - 0"

B.O. CANOPY
11' - 0"

FIN. FLR.
0' - 0"

PROJECT NAME:
STARBUCKS SHELL BUILDING

PROJECT ADDRESS:
**DAVIS & SMITHFIELD
NORTH RICHLAND HILLS, TX**

PROJECT #: 22-0022
ORIGINAL ISSUE DATE: 3-9-23
DESIGNER: MH
CHECKED BY: TP

SHEET TITLE:
**PRELIM 3D
ELEVATIONS**

SCALE: 3/16" = 1'-0"

SHEET NUMBER:
PR-101

CASE SP 2018-05

**Thomas A Pirtle III
AIA NCARB**

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1308 Meadowview Drive
Kennedale Texas 76060

CJ REAL ESTATE, LLC
3825 Camp Bowie Blvd
Fort Worth, TX 76107
817.665.2343 (o)

REVISION SCHEDULE			
REV	DATE	BY	DESCRIPTIONS
1	3/27/2023	JP	CITY COMMENTS

PROJECT NAME:
STARBUCKS SHELL BUILDING

PROJECT ADDRESS:
**DAVIS & SMITHFIELD
NORTH RICHLAND HILLS, TX**

PROJECT #: 22-0022
ORIGINAL ISSUE DATE: 12-19-22
PRODUCTION DESIGNER: JP
CHECKED BY: AH

SHEET TITLE:
**SITE
PHOTOMETRIC
PLAN**

SHEET NUMBER:
ES1.1
CASE SP 2018-05



WAC LIGHTING: DS-CD0517
TYPE D1



KICHLER LIGHTING: 59029BKLTLED
TYPE S1



LITHONIA LIGHTING: DSX6
TYPE SB-A, SD-A, SD3-A

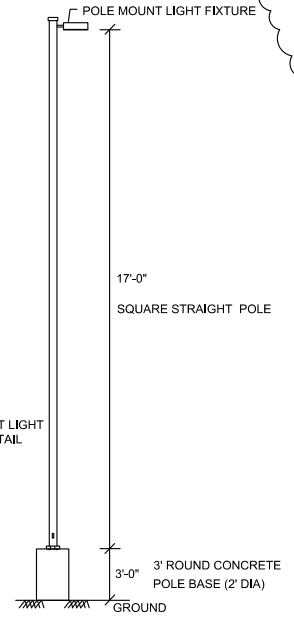


LITHONIA LIGHTING: WST
TYPE W1

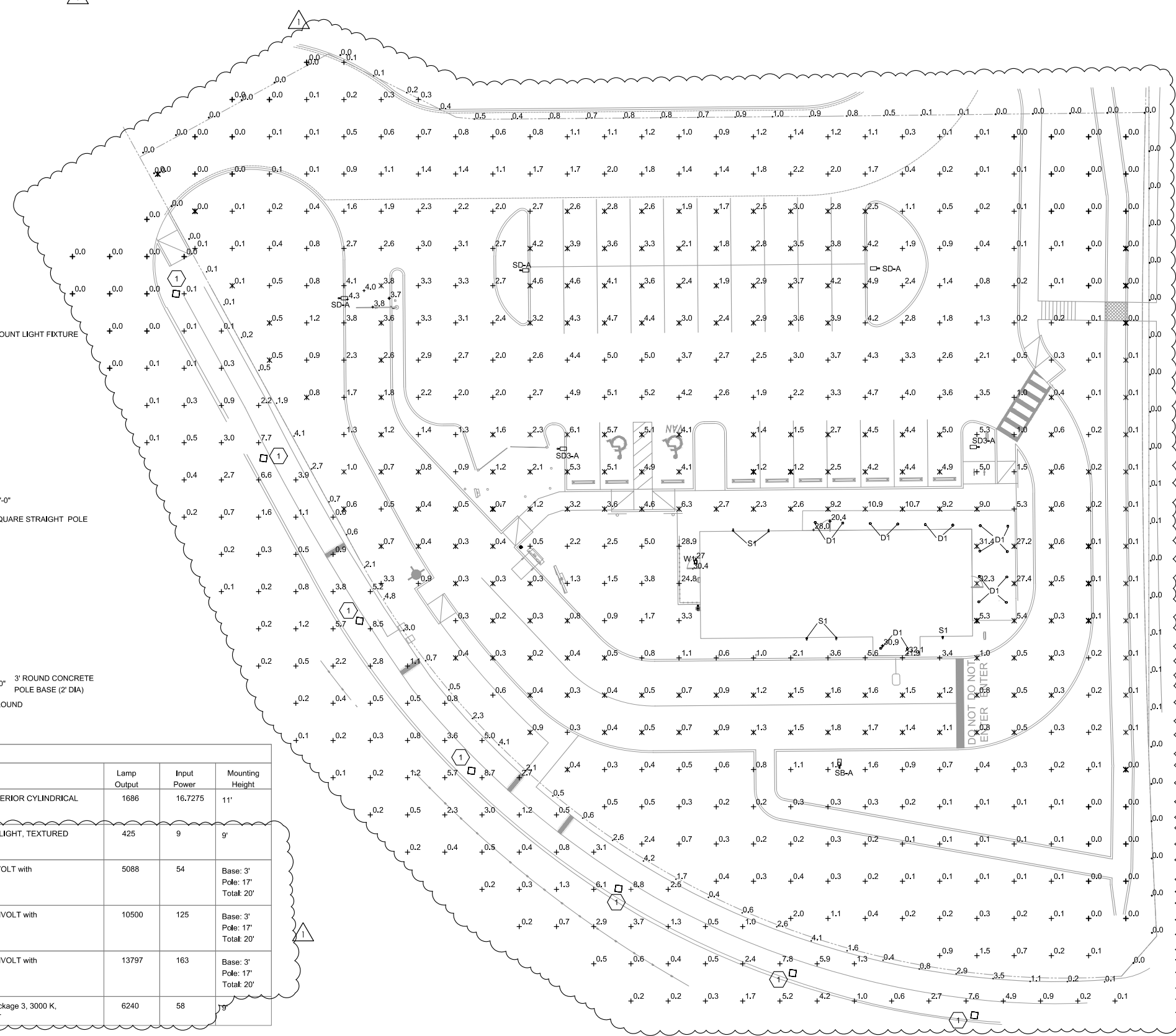
- ### SITE PHOTOMETRIC GENERAL NOTES
1. THE LIGHT SOURCE (BULB OR LAMP) OF A LUMINARIES SHALL BE COMPLETELY SHIELDED FROM DIRECT VIEW OF AT A POINT SIX FEET ABOVE GRADE ON THE RIGHT-OF-WAY-LINE.
 2. ALL LUMINARIES SHALL BE DESIGNED OR POSITIONED SO THAT THE MAXIMUM ILLUMINATION AT THE PROPERTY LINE ADJACENT TO A STREET RIGHT-OF-WAY SHALL NOT EXCEED ONE-HALF-FOOT-CANDLE.
 3. IN ALL OTHER CIRCUMSTANCES, LUMINARIES SHALL BE DESIGNED OR POSITIONED SO THAT THE MAXIMUM ILLUMINATION AT THE PROPERTY LINE SHALL NOT EXCEED ONE FOOT-CANDLE.

- ### SITE PHOTOMETRIC KEYED NOTES
- 1 EXISTING STREET LIGHT TO REMAIN.

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Drive Thru Entry	+	4.0 fc	4.3 fc	3.7 fc	1.2:1	1.1:1
Drive Thru Lanes	X	0.8 fc	3.8 fc	0.1 fc	38.0:1	8.0:1
Drive Thru Window	+	31.5 fc	32.1 fc	30.9 fc	1.0:1	1.0:1
Dumpster	X	1.6 fc	2.3 fc	0.7 fc	3.3:1	2.3:1
Overall Site	+	2.0 fc	32.3 fc	0.0 fc	N/A	N/A
Parking Lot	X	3.5 fc	6.1 fc	1.2 fc	5.1:1	2.9:1
Patio	X	21.5 fc	32.3 fc	5.3 fc	6.1:1	4.1:1
Property Line	+	0.9 fc	4.8 fc	0.0 fc	N/A	N/A
ROW - Davis BLD	X	0.1 fc	0.1 fc	0.0 fc	N/A	N/A
ROW - Smithfield	X	0.7 fc	1.8 fc	0.1 fc	18.0:1	7.0:1
Service Door	+	28.9 fc	30.4 fc	27.5 fc	1.1:1	1.1:1
Sidewalk	X	5.1 fc	10.9 fc	0.3 fc	36.3:1	17.0:1
Smithfield Rd	+	1.8 fc	9.9 fc	0.0 fc	N/A	N/A
Building Entry	+	24.2 fc	28.0 fc	20.4 fc	1.4:1	1.2:1



Symbol	Label	QTY	Manufacturer	Catalog	Description	Lamp Output	Input Power	Mounting Height
D1	D1	16	WAC LIGHTING	DS-CD0517-F30-WT	SURFACE MOUNTED EXTERIOR CYLINDRICAL ACCENT LED LUMINAIRE	1686	16.7275	11'
S1	S1	5	KICHLER	59029BKLTLED	GOOSE NECK LED WALL LIGHT, TEXTURED BLACK FINISH, 3000K	425	9	9'
SB-A	SB-A	1	Lithonia Lighting	DSX1 LED P1 30K T3M MVOLT HS	DSX1 LED P1 30K T3M MVOLT with houseside shield	5088	54	Base: 3' Pole: 17' Total: 20'
SD-A	SD-A	3	Lithonia Lighting	DSX1 LED P4 30K TFTM MVOLT HS	DSX1 LED P4 30K TFTM MVOLT with houseside shield	10500	125	Base: 3' Pole: 17' Total: 20'
SD3-A	SD3-A	2	Lithonia Lighting	DSX1 LED P6 30K TFTM MVOLT G1	DSX1 LED P6 30K TFTM MVOLT with houseside shield	13797	163	Base: 3' Pole: 17' Total: 20'
W1	W1	1	Lithonia Lighting	WST LED P3 30K VW MVOLT	WST LED, Performance package 3, 3000 K, visual comfort wide, MVOLT	6240	58	19'



SITE PHOTOMETRIC PLAN
SCALE: 1/16"=1'-0"

3-13-23

**Thomas A Pirtle III
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Architect
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Kennedale Texas 76060

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CJ REAL ESTATE, LLC
3825 Camp Bowie Blvd
Fort Worth, TX 76107
817.665.2343 (o)

REVISION SCHEDULE			
REV	DATE	BY	DESCRIPTIONS

PROJECT NAME:
STARBUCKS SHELL BUILDING

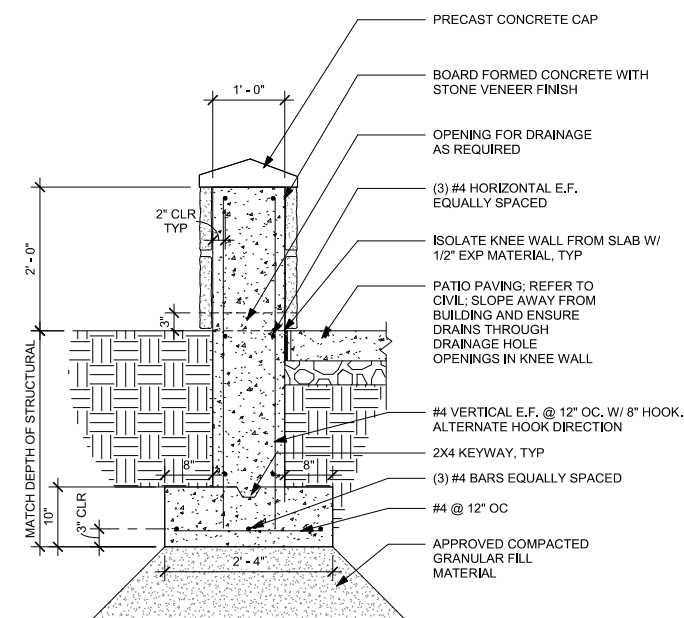
PROJECT ADDRESS:
**DAVIS & SMITHFIELD
NORTH RICHLAND HILLS, TX**

PROJECT #: 22-0022
ORIGINAL ISSUE DATE: 3-13-23
PRODUCTION DATE: MH
DESIGNER: TP
CHECKED BY:

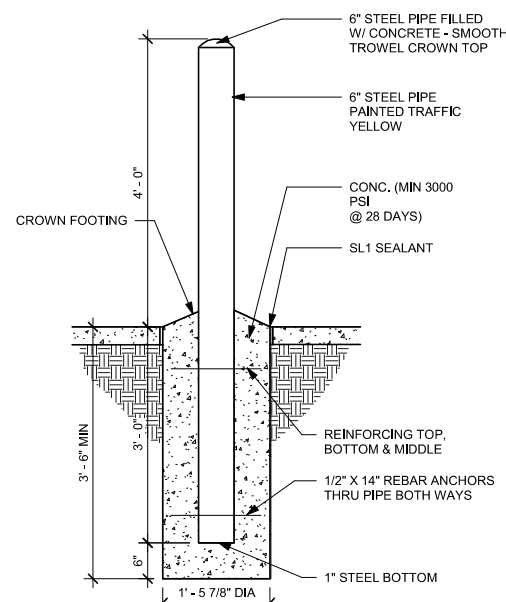
SHEET TITLE:
SITE DETAILS

SCALE: As indicated

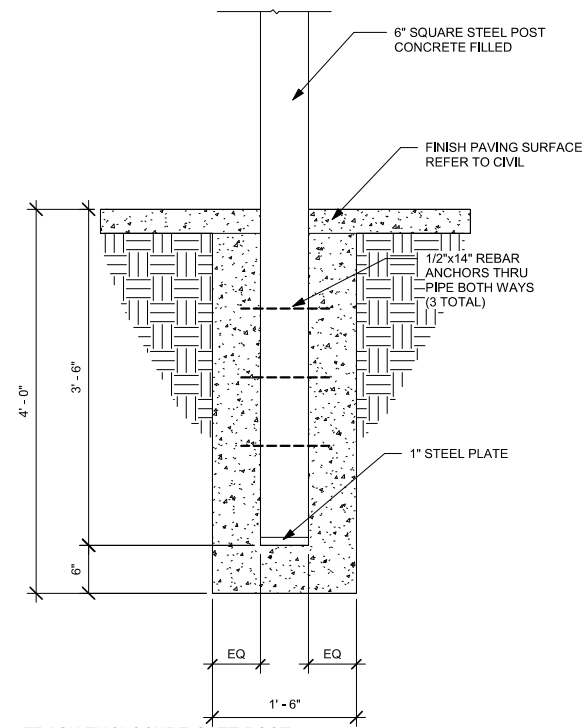
SHEET NUMBER:
A1.2



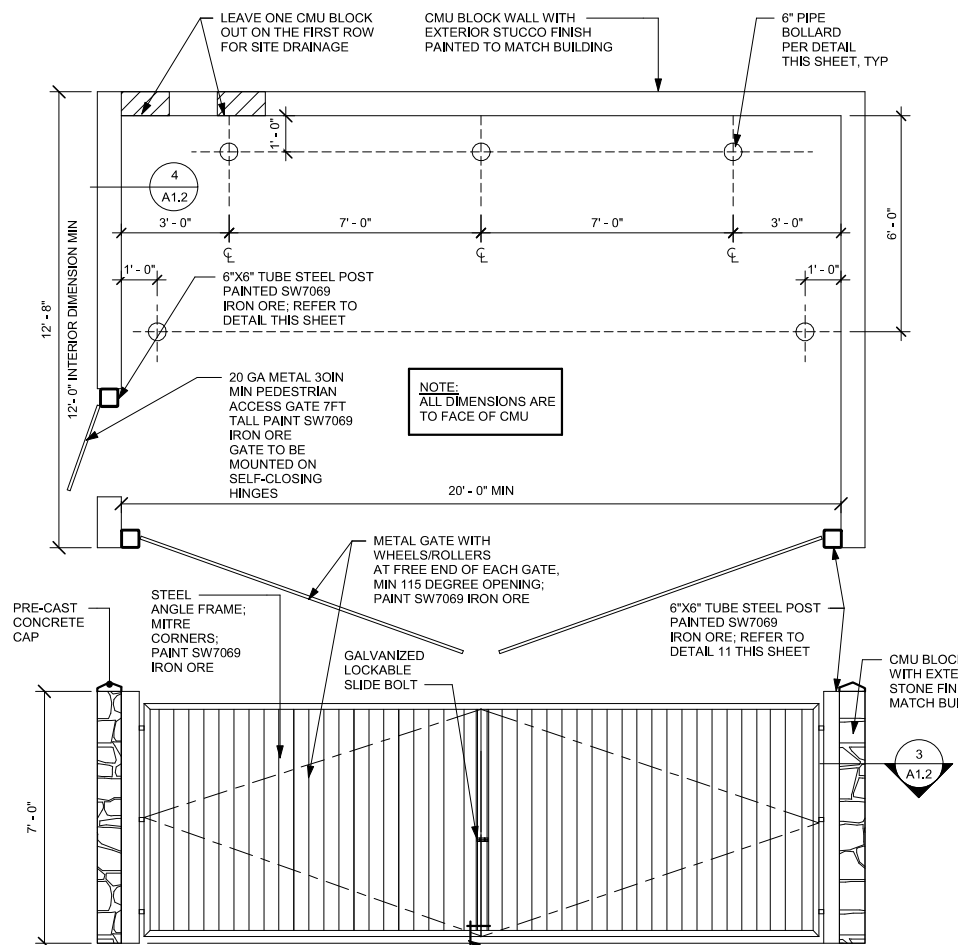
7 PATIO KNEE WALL DETAIL (BY GC)
3/4" = 1'-0"



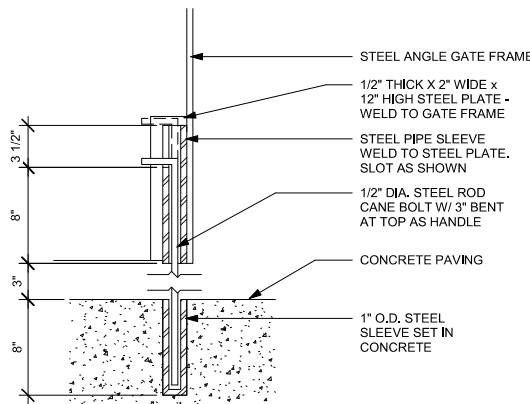
5 PIPE BOLLARD2
3/4" = 1'-0"



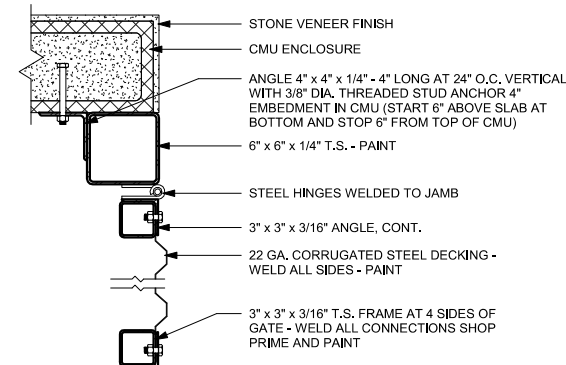
9 TRASH ENCLOSURE GATE POST DETAIL1
1" = 1'-0"



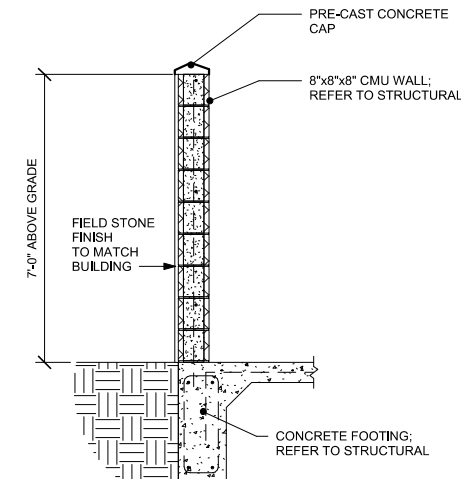
1 TRASH ENCLOSURE1
3/8" = 1'-0"



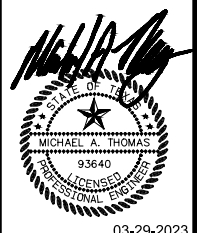
2 CANE BOLT
1 1/2" = 1'-0"



3 GATE DETAIL
1 1/2" = 1'-0"



4 TRASH ENCLOSURE WALL SECTION
1/2" = 1'-0"



03-29-2023

SMITHFIELD ROAD STARBUCKS
 LOTS 1 AND 2 BLOCK A
 DAVIS AND SMITHFIELD ADDITION
 6201 DAVIS BLVD., FORT WORTH, TEXAS 76180
SIDEWALK DETAILS

PROJECT	584-030	DESIGNED	DJM	CHECKED	MAT
DATE	12-16-2022	DRAWN	DJM		
BY					
REVISION					
NO.					

SHEET **C2.01**

Bollard R-7530-AL

General Description:
 This R-7530-AL bollard is made from lightweight aluminum, making it ideal for emergency applications. It features a die-cast aluminum body, a stainless steel cap, and a stainless steel base. The bollard is designed for use in high-traffic areas and is resistant to vandalism.

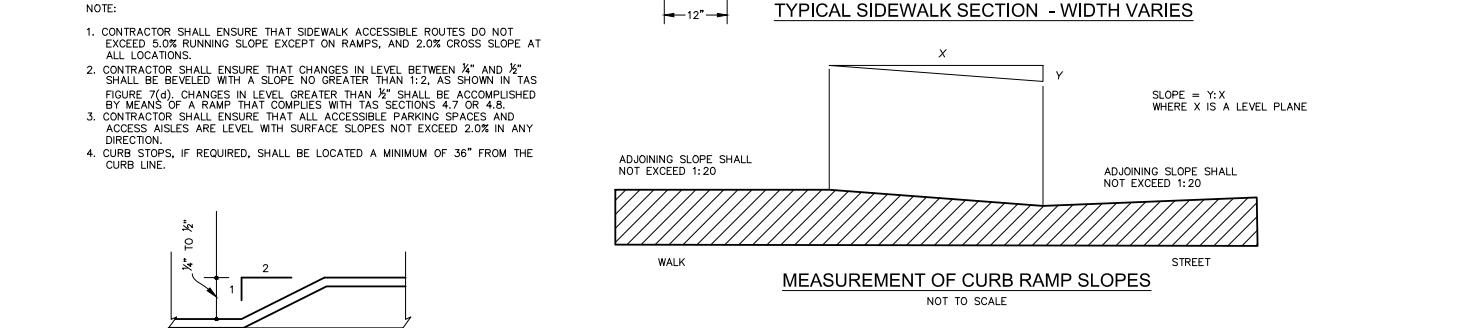
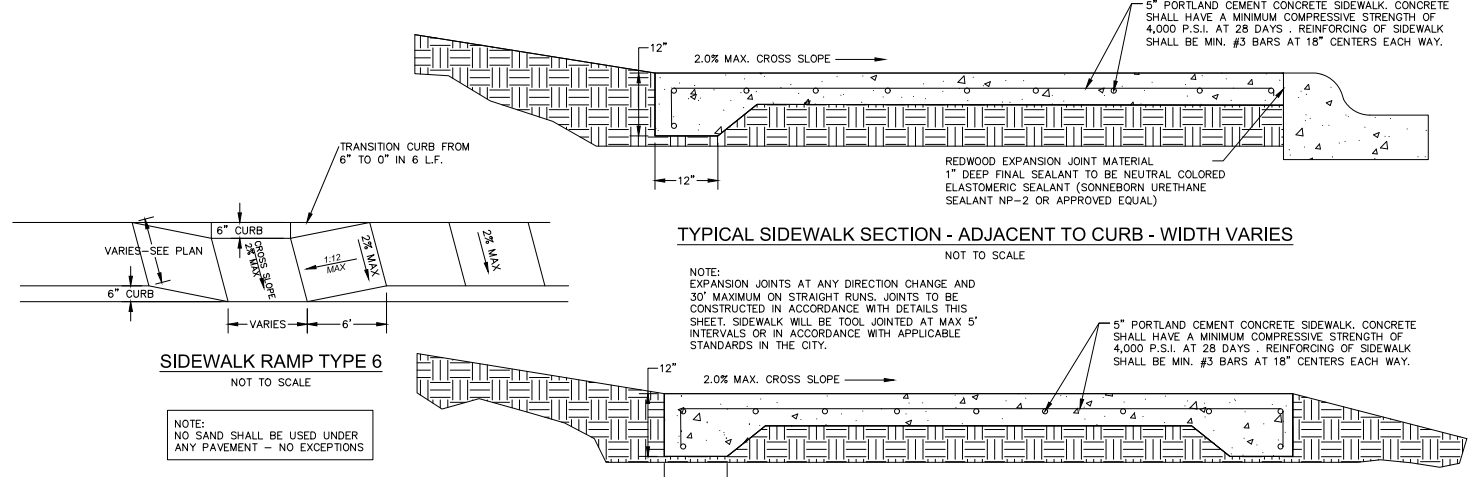
Specifications:
 Height: 30"
 Weight: 24 lbs (Ballast Only)
 Material: Aluminum
 Max. Wind Velocity: 117 mph (Classified as Category 3)

Finish Options:
 • Powder Coated
 • Anodized Aluminum
 • Painted Steel

Installation Options:
 • Cast-in-place concrete
 • Pre-cast concrete
 • Bolt-down to existing concrete

Care and Maintenance:
 • Clean with mild detergent and water.
 • Avoid abrasive cleaners and solvents.
 • Inspect regularly for damage and repair as needed.

ITEM	QTY	PART NUMBER	DESCRIPTION	UNIT	AMOUNT
1	1	R7530-AL	Bollard R-7530-AL	EA	1
2	1	R7530-AL-CAP	Cap for Bollard R-7530-AL	EA	1
3	1	R7530-AL-BASE	Base for Bollard R-7530-AL	EA	1
4	1	R7530-AL-FLANGE	Flange for Bollard R-7530-AL	EA	1
5	1	R7530-AL-FLANGE	Flange for Bollard R-7530-AL	EA	1
6	1	R7530-AL-FLANGE	Flange for Bollard R-7530-AL	EA	1
7	1	R7530-AL-FLANGE	Flange for Bollard R-7530-AL	EA	1
8	1	R7530-AL-FLANGE	Flange for Bollard R-7530-AL	EA	1
9	1	R7530-AL-FLANGE	Flange for Bollard R-7530-AL	EA	1



CONCRETE FLUME
 NOT TO SCALE

CONCRETE FLUME
 NORTH RICHLAND HILLS
 R 07-01-2009 FIGURE 5D

NOTES:
 1. FLUME SHALL BE CONTAINED IN A PERMANENT DRAINAGE EASEMENT AT LEAST 10' IN WIDTH WITH A MINIMUM OF 18" OF EASEMENT ON EACH SIDE OF THE FLUME MEASURED FROM BACK OF CURB.
 2. SIDE SLOPES SHALL BE SMOOTH EARTHEN FREE OF ROCKS AND SHALL RECEIVE THE FOLLOWING: 6" OF TOPSOIL, HYDROMULCH, AND A SOIL RETENTION BLANKET, OR AN ALTERNATIVE APPROVED BY THE PUBLIC WORKS DEPARTMENT. ALL VEGETATION SHALL EXTEND TO THE EASEMENT LINES ON EACH SIDE OF THE FLUME.
 3. NO FENCING WILL BE PERMITTED THAT ENCLOSES OR CROSSES THE FLUME.
 4. 12" MINIMUM DIAMETER ROCK RUBBLE RIP-RAP, GROUTED WITH ONE HALF OF ROCK EXPOSED MUST BE INSTALLED AT THE OUTFALL TO MINIMIZE EROSION.
 5. EXPANSION JOINTS SHALL BE CONSTRUCTED AS REQUIRED BY THE PUBLIC WORKS DEPARTMENT.
 6. CONTROL JOINTS SHALL BE CONSTRUCTED AND SPACED IN DIRECT PROPORTION TO THE WIDTH OF THE FLUME, I.E. 5' FLUME WIDTH RESULTS IN 5' CONTROL JOINT SPACING.
 7. FLUMES WHICH INTERSECT SIDEWALKS OR FUTURE SIDEWALK LOCATIONS SHALL BE CONSTRUCTED WITH ADA ACCESSIBLE RAMPS TO ACCOMMODATE THE CROSSING. FLUMES SHALL NOT BE "BRIDGED" BY STEEL PLATES OR OTHER SUCH STRUCTURES.
 8. THE CONCRETE FLUME DETAILED IN THIS DRAWING IS NOT INTENDED FOR USE AS A PILOT CHANNEL IN EARTHEN CHANNELS. SEE DETAIL 4D FOR CONCRETE PILOT CHANNEL REQUIREMENTS.

SIDEWALK CROSSING AND FLUME DETAIL
 NOT TO SCALE

TYPICAL CONCRETE CURBED FLUME
 NOT TO SCALE

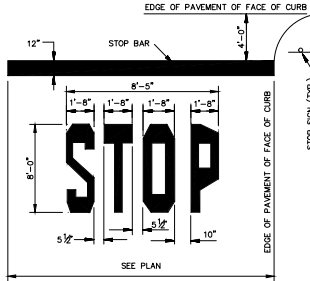
SIDEWALK RAMP TYPE 5
 NOT TO SCALE

GRADING DETAIL FOR PAVEMENT WITHOUT CURB
 NOT TO SCALE

DETAIL OF PRECAST CONCRETE WHEELSTOP
 NOT TO SCALE

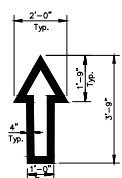
CURB RAMP PLAN - DETAIL
 NOT TO SCALE

PIPE BOLLARD DETAIL
 NOT TO SCALE



NOTE:
1. WORDS AND ARROWS FOR DRIVEWAYS SHALL BE APPLIED ACCORDING TO REQUIREMENTS AS OUTLINED IN SECTION 38 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
2. THESE WORDS AND BAR ARE TO BE PAINTED REFLECTIVE WHITE.

STOP BAR
N.T.S.
12/17/04



NOTE: ALL TRAFFIC FLOW ARROWS TO BE REFLECTIVE YELLOW PAINT PER SPEC.

TRAFFIC FLOW ARROW
N.T.S.



COLORS:
BORDER: WHITE
BACKGROUND: RED
TEXT: WHITE



COLORS:
BORDER: WHITE
BACKGROUND: BLACK
TEXT: WHITE

B



COLORS:
BORDER: WHITE
BACKGROUND: BLACK
TEXT: WHITE

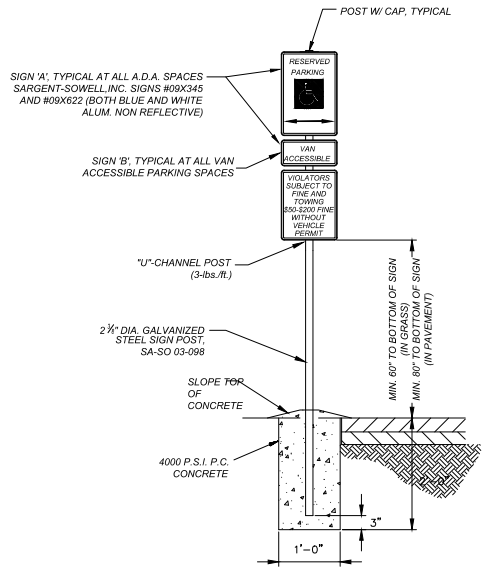
D



COLORS:
BORDER: WHITE
BACKGROUND: RED
TEXT: WHITE

C

ROAD SIGNS
NOT TO SCALE



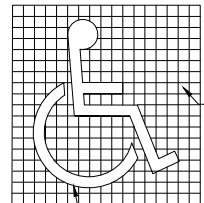
SIGNAGE DETAIL FOR ACCESSIBLE PARKING
NOT TO SCALE



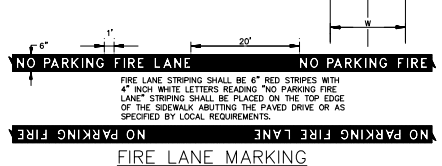
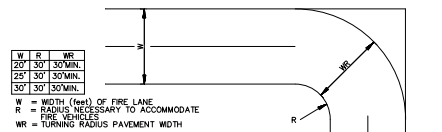
COLORS:
LEGEND AND BORDER: GREEN
BACKGROUND: WHITE
SYMBOL: WHITE ON BLUE BACKGROUND



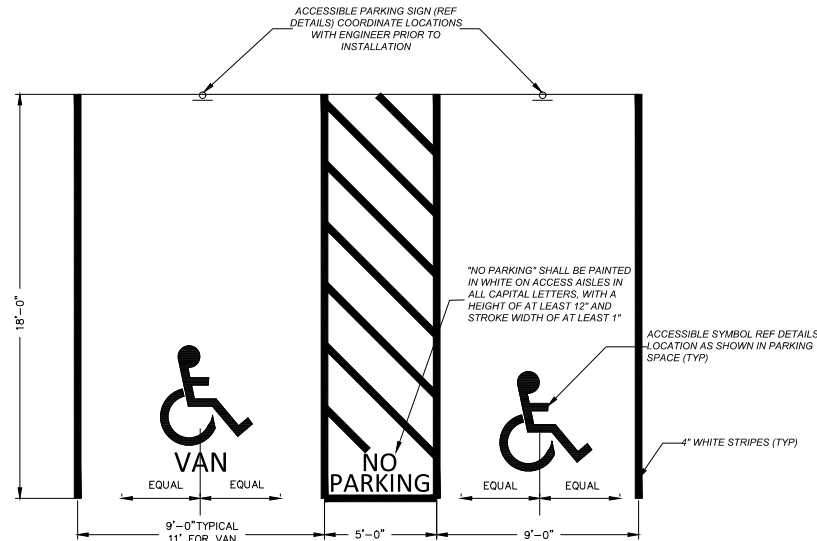
COLORS:
LEGEND AND BORDER: GREEN
BACKGROUND: WHITE



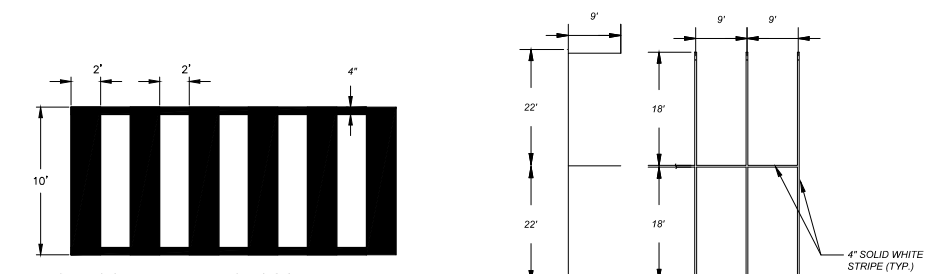
NOTE: GRID FOR LAYOUT PURPOSES ONLY.
PAINT INTERNATIONAL SYMBOL OF ACCESSIBILITY IN WHITE IN ACCORDANCE WITH "STATE OF TEXAS ACCESSIBILITY STANDARDS"
ACCESSIBLE SYMBOL DETAIL
NOT TO SCALE



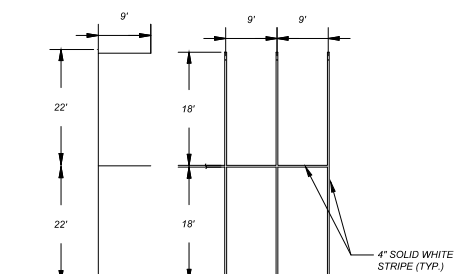
FIRE LANES
FIRE LANES SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 24 FEET OR 26 FEET WHEN LOCATED WITHIN 35 FEET OF ANY STRUCTURE IN EXCESS OF 36 FEET IN HEIGHT. AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET 6 INCHES IS REQUIRED.
FIRE LANE STRIPING:
WHERE RED STRIPE INTERSECTS WITH A CURB LINE, PAINT FACE AND TOP OF CURB RETURN.
PAINT 4 INCH HIGH LETTERING WITH A 1 INCH STROKE CENTERED ON RED STRIPE SHALL READ: "NO PARKING" - "FIRE LANE". THIS LETTERING SHALL BE PAINTED EVERY 30 FEET AS MEASURED FROM THE END OF ONE LETTERING GROUP TO THE BEGINNING OF THE NEXT GROUP WITH A 1 FOOT SPACE BETWEEN "NO PARKING" AND "FIRE LANE". (NOTE: QUOTES ARE USED IN THIS DESCRIPTION FOR EMPHASIS ONLY AND ARE NOT TO BE PAINTED WITH THE LETTERING)



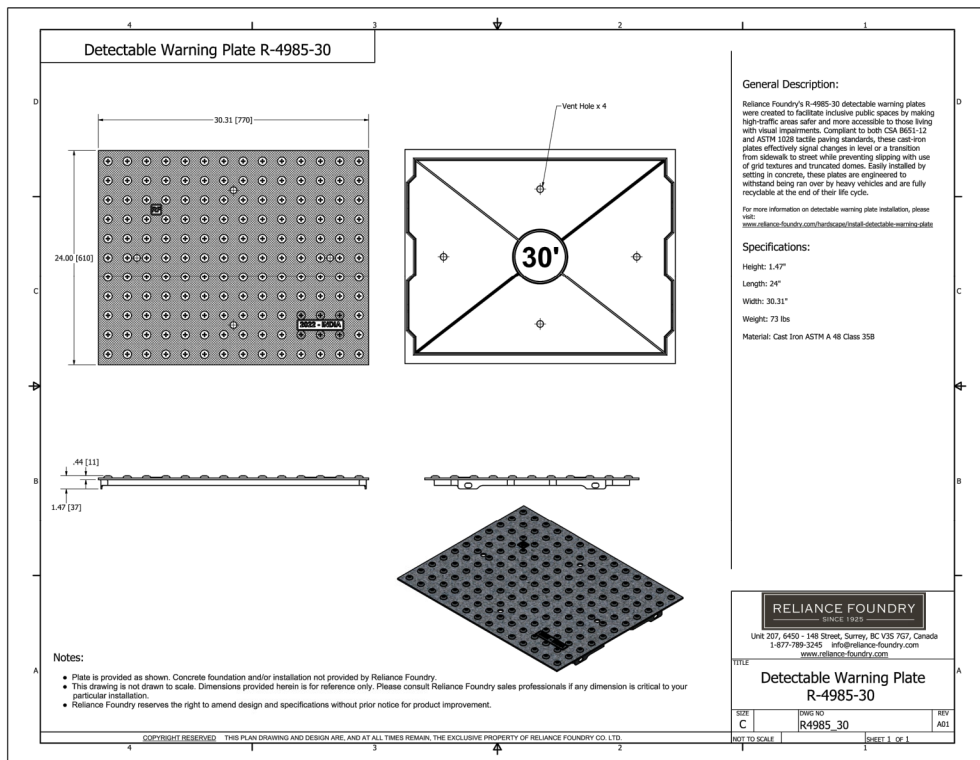
HANDICAP PARKING SPACE DETAIL
NOT TO SCALE



TYPICAL CONTINENTAL CROSSWALK DETAIL
NOT TO SCALE

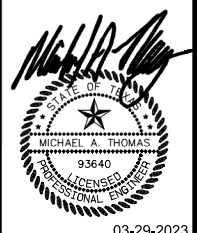


TYPICAL PARALLEL PARKING DETAIL
N.T.S.
TYPICAL PARKING STRIPING DETAIL
N.T.S.



General Description:
Reliance Foundry's R-4985-30 detectable warning plates were created to facilitate inclusive public spaces by making high-traffic areas safer and more accessible to those living with visual impairments. Compliant to both CSA B651.12 and ASTM 1038 tactile paving standards, these cast-iron plates effectively signal changes in level or a transition from sidewalk to street while preventing slipping with use of grid texture and truncated domes. Easily installed by setting in concrete, these plates are engineered to withstand being run over by heavy vehicles and are fully recyclable at the end of their life cycle.
For more information on detectable warning plate installation, please visit: www.reliance-foundry.com/handicap/detail-detectable-warning-plate
Specifications:
Height: 1.47"
Length: 24"
Width: 30.31"
Weight: 73 lbs
Material: Cast Iron ASTM A 48 Class 358
RELIANCE FOUNDRY
EST. 1975
Unit 207, 6400 - 188 Street, Surrey, BC V2S 7G7, Canada
1-877-789-3245 info@reliance-foundry.com
www.reliance-foundry.com
Detectable Warning Plate
R-4985-30
REV A01
DATE 12-16-2022
BY []
CHECKED []
DATE []
PROJECT 59-H-009
DESIGNED DJM
DRAWN DJM
MATERIAL MAT

MJ THOMAS
ENGINEERING, LLC
PHONE: (817) 758-0808
FAX: (817) 758-9841
REGISTRATION NO. F-415
MUT. NO. 584-030



03-29-2023

SMITHFIELD ROAD STARBUCKS
LOTS 1 AND 2, BLOCK A
DAVIS AND SMITHFIELD ADDITION
6201 DAVIS BLVD., FORT WORTH, TEXAS 76180
SIGNAGE & STRIPING DETAILS

PROJECT	59-H-009
DATE	12-16-2022
DESIGNED	DJM
DRAWN	DJM
CHECKED	MAT
BY	
DATE	
REVISION	
NO.	

SHEET
C2.03