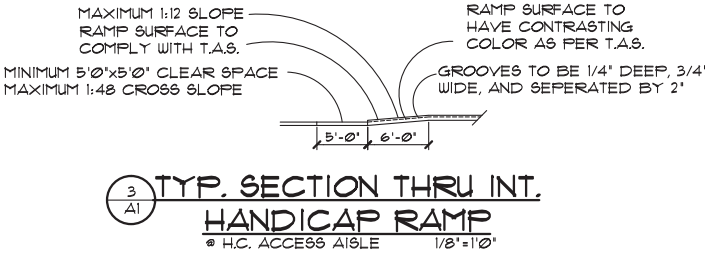
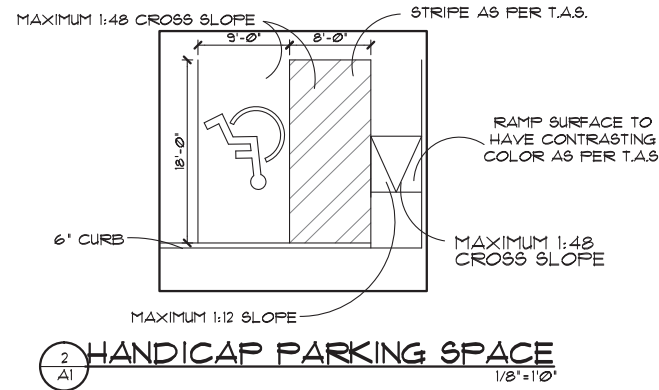


AREAS	SQ. FT.
FIRST FLOOR (A/C)	3350
SECOND FLOOR (A/C)	811
TOTAL (A/C)	4421
PORCHES	46
STORAGE	81
MECH ROOM	129
TOTAL COVERAGE	4667

SITE PLAN DATA SUMMARY CHART	
LOT AREA	23,626 SQ.FT.
TOTAL BLDG. SQ.FT. COVERAGE	4,671 SQ.FT.
TOTAL BLDG. (A/C) SQ.FT.	4,421 SQ.FT.
BUILDING DENSITY	19.79%
BUILDING HEIGHT	25'5"
LANDSCAPE REQUIRED	3,544 SQ.FT. (15%)
LANDSCAPE PROVIDED	8,226 SQ.FT. (35%)
PAVING PROVIDED	9,521 SQ.FT. (40%)
PARKING REQUIRED PROF. OFFICE (4,421 S.F. @ 1/300)	15 SPACES
PARKING PROVIDED	15 SPACES

NOTE:  
NO REFUSE CONTAINER PROVIDE ON SITE.  
TENANTS TO COLLECT AND DISPOSE OF  
ALL REFUSE WITH PRIVATE CLEANING SERVICE.



**PARKING & PASSENGER LOADING ZONES**

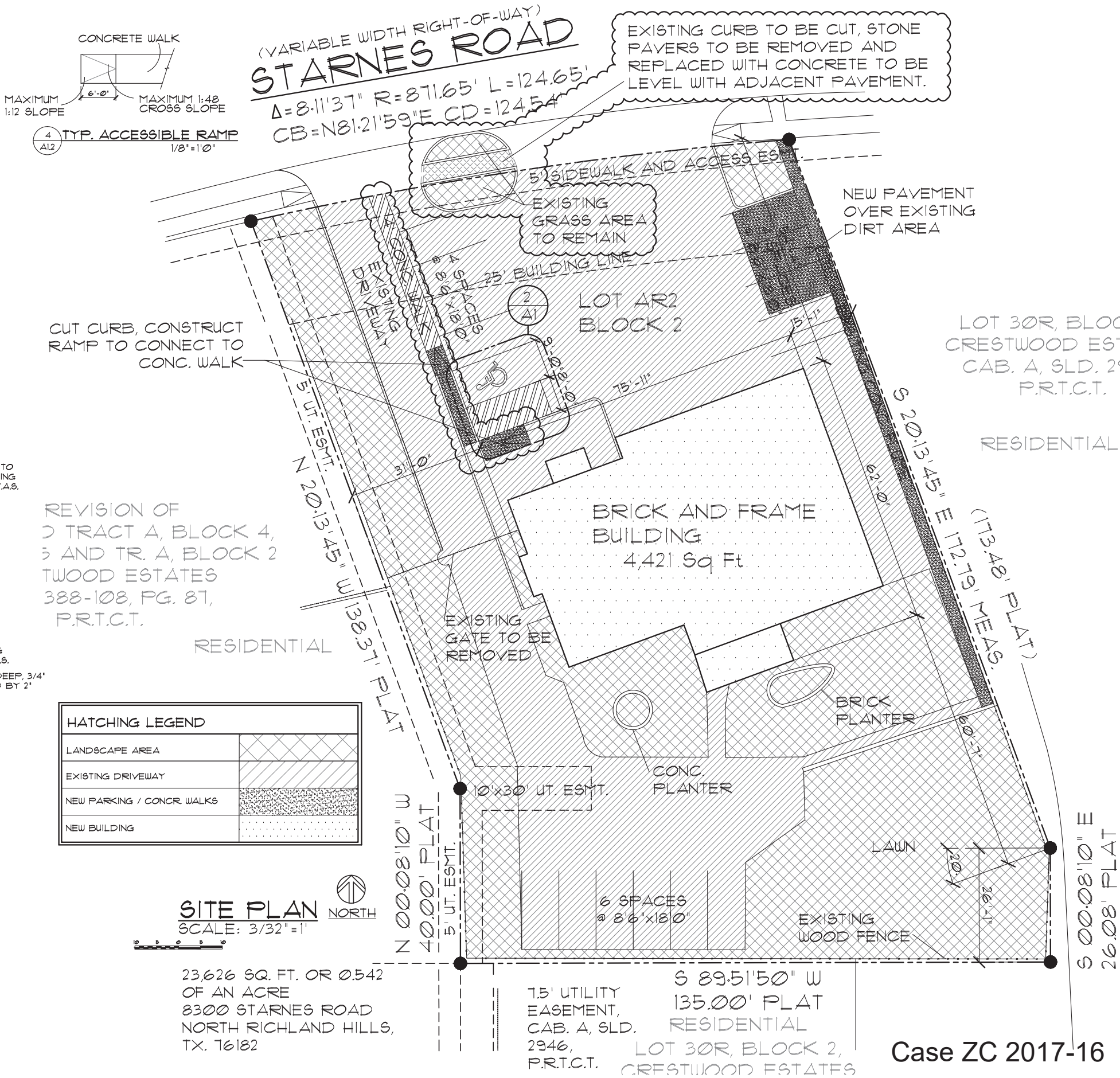
NOTE:

- ACCESSIBLE PARKING SPACES SHALL BE AT LEAST 96" WIDE
- PARKING ACCESS AISLES SHALL BE PART OF AN ACCESSIBLE ROUTE TO THE BUILDING OR FACILITY ENTRANCE AND SHALL COMPLY WITH 2012 T.A.S.
- TWO ACCESSIBLE PARKING SPACES MAY SHARE A COMMON ACCESS AISLE. COMPLY WITH 2012 T.A.S.
- PARKED VEHICLE OVERHANGS SHALL NOT REDUCE THE CLEAR WIDTH OF AN ACCESSIBLE ROUTE.
- PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACES SLOPES NOT EXCEEDING 1:48 (2%) IN ALL DIRECTIONS

**ACCESSIBLE ROUTES SLOPES**

NOTE:

- AN ACCESSIBLE ROUTE WITH A RUNNING SLOPE GREATER THAN 1:20 IS A RAMP AND SHALL COMPLY WITH 2012 T.A.S.
- NOWHERE SHALL ANY SLOPE EXCEED 1:48 AND SHALL COMPLY WITH 2012 T.A.S.



Date: 01/28/18  
Drawn By: MJW  
Checked By: MJW  
Revisions:

THIS ELECTRONIC DRAWING FILE IS RELEASED UNDER THE AUTHORITY OF MICHAEL J. WRIGHT ASSOCIATES, INC. AND MAINTAINS THE INTEGRITY OF THE ORIGINAL DRAWING. IT IS THE RESPONSIBILITY OF THE USER TO ENSURE THAT THE DRAWING IS USED IN ACCORDANCE WITH THE INTENT OF THE ORIGINAL DRAWING. NO PERSON SHALL MAKE ANY MODIFICATION TO THIS ELECTRONIC DRAWING FILE WITHOUT THE WRITTEN PERMISSION OF MICHAEL J. WRIGHT ASSOCIATES, INC.

URBAN/LOGISTICS OFFICES  
8300 STARNES RD  
NORTH RICHLAND HILLS, TX

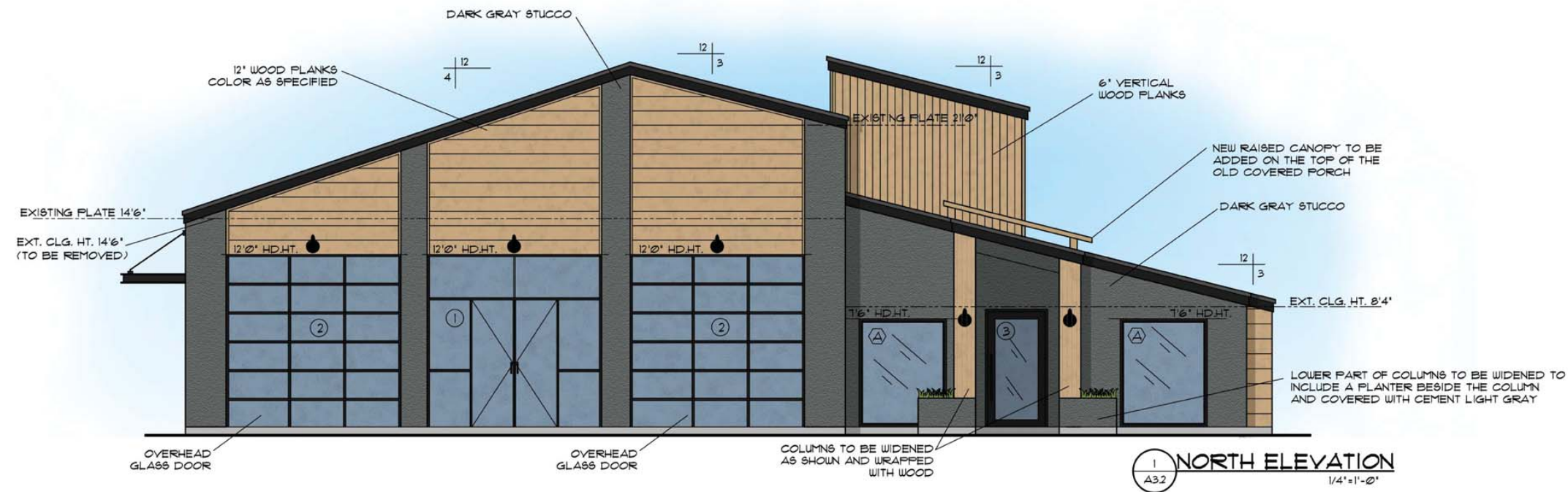
ARCHITECT'S SEAL  
MICHAEL J. WRIGHT  
STATE OF TEXAS  
NO. 11130

M.J. WRIGHT & ASSOCIATES, INC.  
8333 MIDCITIES BOULEVARD STE. A, N.H. TX. 76182  
OFFICE: 817/268-5555 M.J.WRIGHT.COM  
FAX: 817/268-5558 WWW.MJWRIGHT.COM

© copyright 2017 FOR REVIEW ONLY. NOT FOR BIDDING, PERMIT, OR CONSTRUCTION. MICHAEL J. WRIGHT, ARCHITECT TEXAS REG.# 11130

Sheet No.  
A1  
Project No.  
1706SURB





MASONRY CALCULATIONS - FRONT ELEVATION											
WALL AREA	OPENING AREA	WALL WITHOUT OPENINGS	10% MASONRY REQUIRED	MASONRY PROVIDED	%	30% STUCCO ALLOWED	STUCCO PROVIDED	%	15% ACCENT ALLOWED	ACCENT PROVIDED	%
1382#	546#	836#	585#	0#	0%	251#	407#	49%	207#	429#	51%

NOTE: ALL EXISTING EXTERIOR LIGHT FIXTURES TO BE REPLACED. ALL NEW LIGHT FIXTURES INSTALLED ARE TO MEET CODE BY CITY OF NORTH RICHLAND HILLS.

- LIST OF VARIANCES:
1. THE BRICK IN THE FRONT ELEVATION WILL BE COVERED WITH DARK GRAY STUCCO.
  2. THE EXISTING WOOD IN THE FRONT AND RIGHT ELEVATION WILL BE REPLACED WITH 12" WOOD PLANKS. ADDITIONALLY, THE EXISTING WOOD ON MASS AT THE RIGHT SIDE OF THE BUILDING WILL BE REPLACED WITH 6" PLANKS.
  3. BRICK ON THE REMAINING ELEVATIONS WILL BE PAINTED BLACK.
  4. THE MASONRY PERCENTAGES WILL BE AS DEPICTED IN THE MASONRY CALCULATION CHART BELOW EACH ELEVATION.



MASONRY CALCULATIONS - RIGHT ELEVATION											
WALL AREA	OPENING AREA	WALL WITHOUT OPENINGS	10% MASONRY REQUIRED	MASONRY PROVIDED	%	30% STUCCO ALLOWED	STUCCO PROVIDED	%	15% ACCENT ALLOWED	ACCENT PROVIDED	%
848#	84#	764#	535#	334#	44%	229#	66#	9%	115#	347#	45%

Case SP 2017-06

Date 11/28/17  
Drawn By MJW  
Checked By MJW  
Revisions

THIS ELECTRONIC DRAWING FILE IS RELEASED UNDER THE AUTHORITY OF MICHAEL J. WRIGHT ASSOCIATES, INC. (MJA) AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF MJA. MJA IS NOT RESPONSIBLE FOR ANY MODIFICATIONS OR CHANGES TO THE DRAWING FILE AFTER IT HAS BEEN RELEASED UNDER THE AUTHORITY OF MJA. THE USER OF THIS DRAWING FILE SHALL BE RESPONSIBLE FOR ANY MODIFICATIONS OR CHANGES TO THE DRAWING FILE AFTER IT HAS BEEN RELEASED UNDER THE AUTHORITY OF MJA.

URBAN/LOGY OFFICES  
8300 STARNES RD  
NORTH RICHLAND HILLS, TX

ARCHITECT  
M.J. WRIGHT & ASSOCIATES, INC.  
18233 MIDCITIES BOULEVARD STE. A, NRI, TX 76182  
OFFICE: 817/268-5555  
FAX: 817/268-5558  
WWW.MJAWRIGHT.COM

PROJECT NO. 17065URB

copyright 2017 FOR REVIEW ONLY, NOT FOR BIDDING, PERMIT, OR CONSTRUCTION MICHAEL J. WRIGHT, ARCHITECT TEXAS REG. # 11130





MASONRY CALCULATIONS - LEFT ELEVATION										
WALL AREA	OPENING AREA	WALL WITHOUT OPENINGS	10% MASONRY REQUIRED	MASONRY PROVIDED	%	30% STUCCO ALLOWED	STUCCO PROVIDED	%	15% ACCENT ALLOWED	ACCENT PROVIDED
807#	119#	688#	482#	524#	16%	206#	0#	0%	103#	164#
										24%



MASONRY CALCULATIONS - REAR ELEVATION										
WALL AREA	OPENING AREA	WALL WITHOUT OPENINGS	10% MASONRY REQUIRED	MASONRY PROVIDED	%	30% STUCCO ALLOWED	STUCCO PROVIDED	%	15% ACCENT ALLOWED	ACCENT PROVIDED
1334#	198#	1136#	795#	944#	83%	341#	0#	0%	170#	192#
										17%

Date 11/28/17  
Drawn By M.J.W.  
Checked By M.J.W.  
Revisions

THIS ELECTRONIC DRAWING FILE IS RELEASED UNDER THE AUTHORITY OF THE ARCHITECT'S SEAL AND IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. ANY REPRODUCTION OR COPIING OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT IS A VIOLATION OF THE ARCHITECT'S SEAL AND IS SUBJECT TO THE PENALTIES OF THE ARCHITECT'S SEAL ACT. THE ARCHITECT'S SEAL ACT IS A PUBLIC LAW AND IS ENFORCEABLE BY THE STATE OF TEXAS. THE ARCHITECT'S SEAL ACT IS A PUBLIC LAW AND IS ENFORCEABLE BY THE STATE OF TEXAS.

URBANOLGY OFFICES  
8300 STARNES RD  
NORTH RICHLAND HILLS, TX

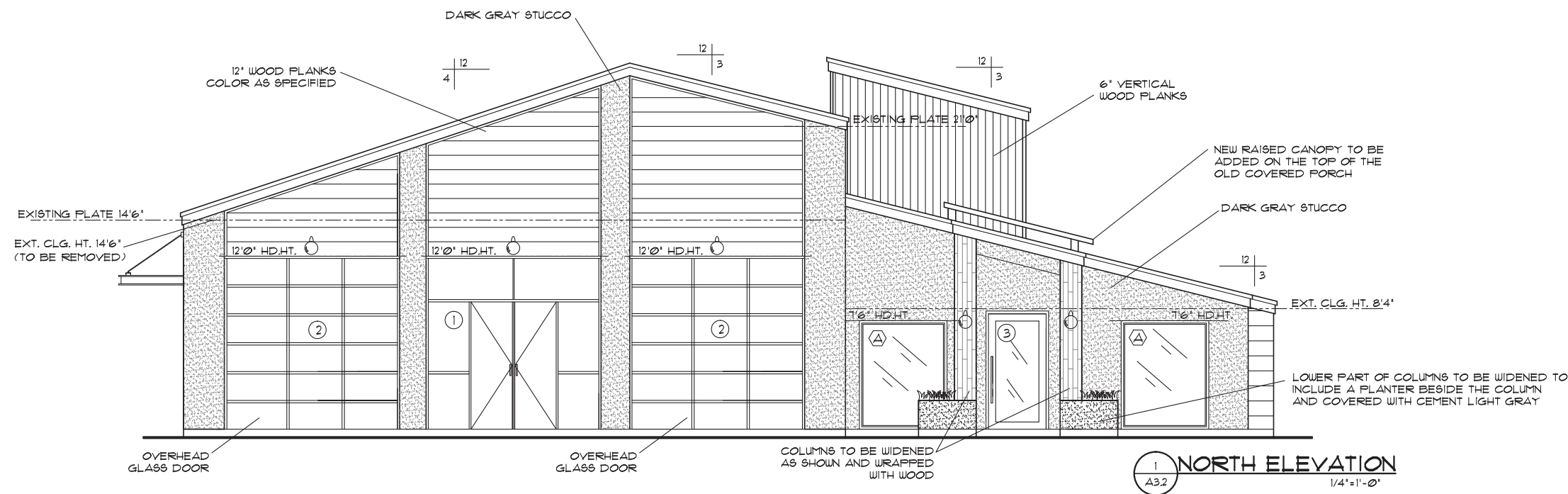
SEAL OF THE ARCHITECT  
MICHAEL J. WRIGHT  
ARCHITECT  
STATE OF TEXAS  
NO. 12812

M.J. WRIGHT & ASSOCIATES, INC.  
8233 MIDCITIES BOULEVARD STE. A, NRI TX 78182  
OFFICE: 817/268-5555 M.J.WRIGHT.COM  
FAX: 817/268-5558 WWW.MJWRIGHT.COM

Sheet No.  
  
Project No.  
17065URB

copyright 2017 FOR REVIEW ONLY, NOT FOR BIDDING, PERMIT, OR CONSTRUCTION MICHAEL J. WRIGHT, ARCHITECT TEXAS REG. # 11130

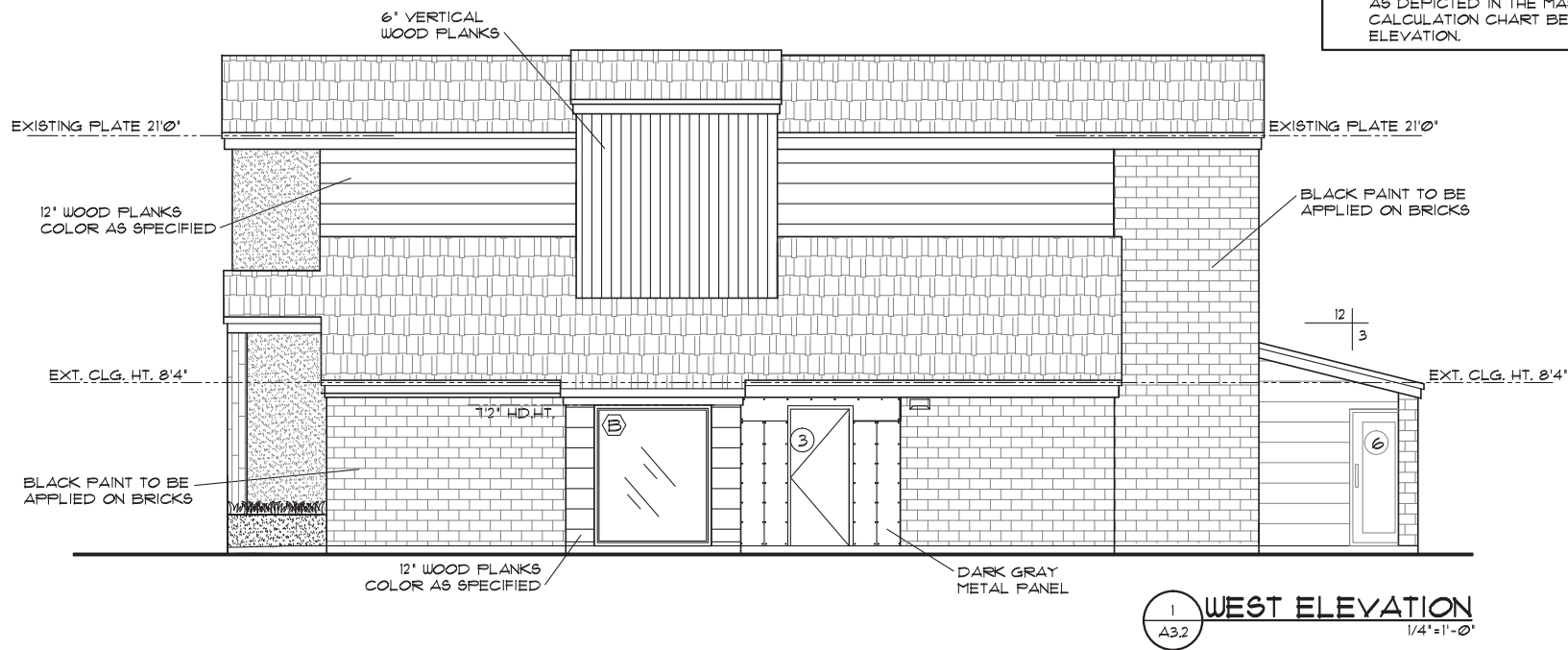
Case SP 2017-06



MASONRY CALCULATIONS - FRONT ELEVATION											
WALL AREA	OPENING AREA	WALL WITHOUT OPENINGS	70% MASONRY REQUIRED	MASONRY PROVIDED	%	30% STUCCO ALLOWED	STUCCO PROVIDED	%	15% ACCENT ALLOWED	ACCENT PROVIDED	%
1382#	546#	836#	585#	0#	0%	251#	407#	49%	207#	429#	51%

NOTE: ALL EXISTING EXTERIOR LIGHT FIXTURES TO BE REPLACED. ALL NEW LIGHT FIXTURES INSTALLED ARE TO MEET CODE BY CITY OF NORTH RICHLAND HILLS.

- LIST OF VARIANCES:
1. THE BRICK IN THE FRONT ELEVATION WILL BE COVERED WITH DARK GRAY STUCCO.
  2. THE EXISTING WOOD IN THE FRONT AND RIGHT ELEVATION WILL BE REPLACED WITH 12" WOOD PLANKS. ADDITIONALLY, THE EXISTING WOOD ON MASS AT THE RIGHT SIDE OF THE BUILDING WILL BE REPLACED WITH 6" PLANKS.
  3. BRICK ON THE REMAINING ELEVATIONS WILL BE PAINTED BLACK.
  4. THE MASONRY PERCENTAGES WILL BE AS DEPICTED IN THE MASONRY CALCULATION CHART BELOW EACH ELEVATION.



MASONRY CALCULATIONS - RIGHT ELEVATION											
WALL AREA	OPENING AREA	WALL WITHOUT OPENINGS	70% MASONRY REQUIRED	MASONRY PROVIDED	%	30% STUCCO ALLOWED	STUCCO PROVIDED	%	15% ACCENT ALLOWED	ACCENT PROVIDED	%
848#	84#	764#	535#	334#	44%	229#	66#	9%	115#	347#	45%

Date 11/28/17  
Drawn By MJW  
Checked By MJW  
Revisions

THIS ELECTRONIC DRAWING FILE IS RELEASED UNDER THE AUTHORITY OF MICHAEL J. URBAN, ARCHITECT, INC. (MJI) AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF MJI. THE USER OF THIS DRAWING FILE AGREES TO HOLD MJI AND ITS ARCHITECTS, ENGINEERS, AND DESIGNERS HARMLESS FROM ANY AND ALL LIABILITY FOR ANY MODIFICATION TO OR USE OF THIS DRAWING FILE THAT IS NOT IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF NORTH RICHLAND HILLS. NO PERSON SHALL MAKE ANY MODIFICATION TO THIS ELECTRONIC DRAWING FILE WITHOUT THE ARCHITECT'S EXPRESS WRITTEN PERMISSION.

URBANOLGY OFFICES  
8300 STARNES RD  
NORTH RICHLAND HILLS, TX



M.J. WRIGHT & ASSOCIATES, INC.  
8233 MIDCITIES BOULEVARD STE. A, N.H. TX 76182  
OFFICE: 817/268-5555 M.J.WRIGHT.COM  
FAX: 817/268-5556 WWW.MJWRIGHT.COM

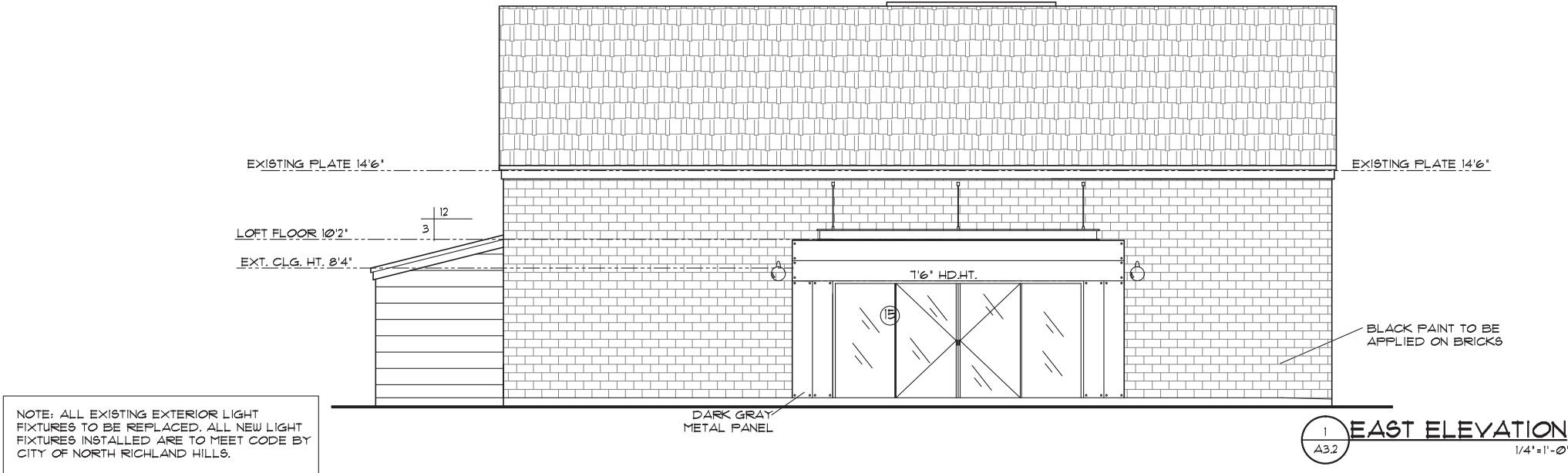
Sheet No.

Project No.  
17065URB

copyright 2017 FOR REVIEW ONLY NOT FOR BIDDING, PERMIT, OR CONSTRUCTION MICHAEL J. URBAN, ARCHITECT TEXAS REG.# 11130

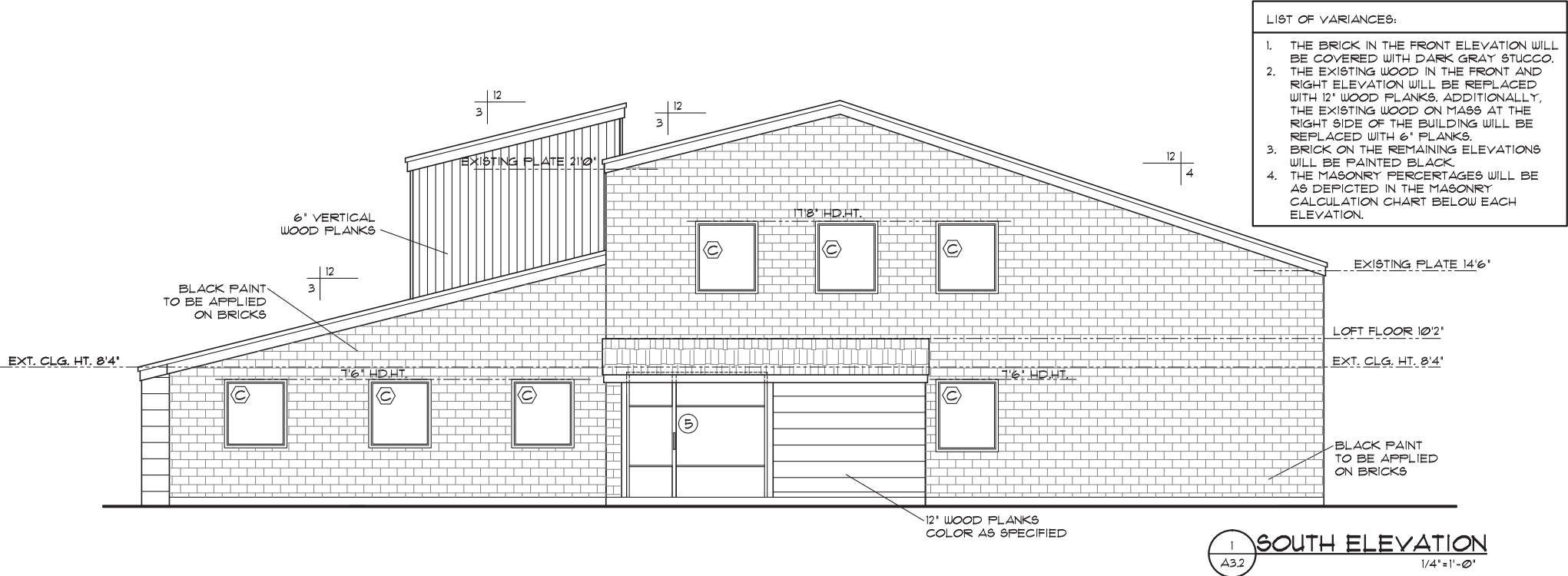
011111





NOTE: ALL EXISTING EXTERIOR LIGHT FIXTURES TO BE REPLACED. ALL NEW LIGHT FIXTURES INSTALLED ARE TO MEET CODE BY CITY OF NORTH RICHLAND HILLS.

MASONRY CALCULATIONS - LEFT ELEVATION										
WALL AREA	OPENING AREA	WALL WITHOUT OPENINGS	10% MASONRY REQUIRED	MASONRY PROVIDED	%	30% STUCCO ALLOWED	STUCCO PROVIDED	%	15% ACCENT ALLOWED	ACCENT PROVIDED
801#	119#	682#	482#	524#	76%	206#	0#	0%	103#	164#
										24%



- LIST OF VARIANCES:
1. THE BRICK IN THE FRONT ELEVATION WILL BE COVERED WITH DARK GRAY STUCCO.
  2. THE EXISTING WOOD IN THE FRONT AND RIGHT ELEVATION WILL BE REPLACED WITH 12" WOOD PLANKS. ADDITIONALLY, THE EXISTING WOOD ON MASS AT THE RIGHT SIDE OF THE BUILDING WILL BE REPLACED WITH 6" PLANKS.
  3. BRICK ON THE REMAINING ELEVATIONS WILL BE PAINTED BLACK.
  4. THE MASONRY PERCENTAGES WILL BE AS DEPICTED IN THE MASONRY CALCULATION CHART BELOW EACH ELEVATION.

MASONRY CALCULATIONS - REAR ELEVATION										
WALL AREA	OPENING AREA	WALL WITHOUT OPENINGS	10% MASONRY REQUIRED	MASONRY PROVIDED	%	30% STUCCO ALLOWED	STUCCO PROVIDED	%	15% ACCENT ALLOWED	ACCENT PROVIDED
1334#	198#	1136#	195#	944#	83%	341#	0#	0%	170#	192#
										17%

Date 11/28/17  
Drawn By MJW  
Checked By MJW  
Revisions

THIS ELECTRONIC DRAWING FILE IS RELEASED UNDER THE AUTHORITY OF THE ARCHITECT'S SEAL AND IS NOT TO BE USED FOR ANY OTHER PROJECT. THE ARCHITECT'S SEAL IS REQUIRED FOR ANY PROJECT. THE ARCHITECT'S SEAL IS REQUIRED FOR ANY PROJECT. THE ARCHITECT'S SEAL IS REQUIRED FOR ANY PROJECT.

URBANALOGY OFFICES  
8300 STARNES RD  
NORTH RICHLAND HILLS, TX



M.J. WRIGHT & ASSOCIATES, INC.  
8233 MIDCITIES BOULEVARD STE. A, NRH TX 76182  
OFFICE: 817/268-5555 MJW@MJWRIGHT.COM  
FAX: 817/268-5558 WWW.MJWRIGHT.COM

Sheet No.

Project No.  
17065URB

copyright 2011 FOR REVIEW ONLY NOT FOR BIDDING, PERMIT, OR CONSTRUCTION MICHAEL J. WRIGHT, ARCHITECT TEXAS REG.# 11130

©



To Whom It May Concern:

This letter is to state Gateway Church, North Richland Hills, gives permission to Ginger Curtis to use the campus parking lot as overflow parking. This is a case by case agreement contingent upon Gateway's event calendar and approval from the Campus Pastor of Gateway Church, North Richland Hills.

Thank you,

Josh Hall  
Associate Campus Pastor  
Gateway Church | North Richland Hills