

WARD ARCHITECTURE PLLC  
609 CHEEK SPARGER RD  
COLLEYVILLE, TEXAS 76034  
(817) 281-5600  
GERALD@WARDARCHITECTUREPLLC.COM

2/18/2019

OWNER INFORMATION:  
FALSE IDOL BREWERY  
MR. BRANDON PITZER  
7924 MAPLEWOOD AVENUE  
NORTH RICHLAND HILLS, TX 76180  
(817) 281-5600  
BPITZER56@GMAIL.COM

APPLICANT INFORMATION:  
WARD ARCHITECTURE PLLC  
MR. GERALD A. WARD  
5004 THOMPSON TERRACE #107  
COLLEYVILLE, TEXAS 76034  
(817) 281-5600  
GERALD@WARDARCHITECTUREPLLC.COM

**FALSE IDOL BREWERY**  
7924 MAPLEWOOD AVE.  
NORTH RICHLAND HILLS, TX

SITE PLAN INFORMATION:  
TOTAL ACREAGE OF SITE: 40,327 SF  
TOTAL SQUARE FOOTAGE OF SITE: 40,327 SF  
PROPOSED LOT ZONING: SUP  
TOTAL BUILDING SQUARE FOOTAGE: 4,454 SF  
TOTAL NUMBER OF PROVIDED PARKING: 40

Drawn By: CRA-MLP  
Checked By: GAW  
Project No: 18-44

No.	Date	Description

Issued: ZONING CHANGE APPLICATION 12/04/2018

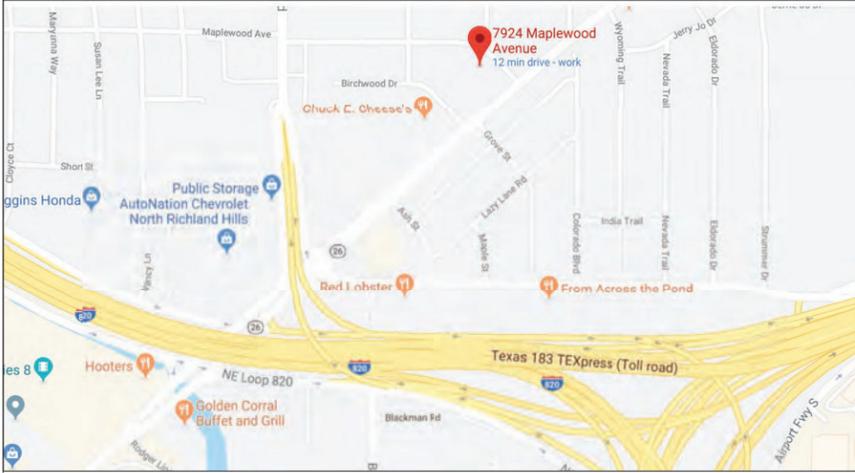
ARCHITECTURAL SITE PLAN

**A1.01**  
Sheet Number

01 SITE PLAN  
SCALE: 1/16" = 1'-0"  
TRUE NORTH

CASE: SUP 2019-02

<p><b>LEGAL DESCRIPTION:</b></p> <p>LEGAL JURISDICTION: CITY OF NORTH RICHLAND HILLS, TX</p> <p>BUILDING ADDRESS: 7924 MAPLEWOOD AVENUE NORTH RICHLAND HILLS, TX 796108</p> <p><b>OWNER/ DEVELOPER :</b></p> <p>FALSE IDOL BREWING</p> <p><b>OWNER CONTACT INFORMATION:</b></p> <p>FALSE IDOL BREWING BRANDON PITZER 7924 MAPLEWOOD AVENUE NORTH RICHLAND HILLS, TX 76180 PHONE: EMAIL:BPITZER56@GMAIL.COM</p>	<p><b>DESIGN PROFESSIONAL:</b></p> <p>WARD ARCHITECTURE, PLLC.</p> <p><b>DESIGN CONTACT INFORMATION:</b></p> <p>ARCHITECT: GERALD A. WARD</p> <p>5004 THOMPSON TERRACE #107 COLLEYVILLE, TEXAS 76034</p> <p>PHONE: 817-281-5600 EMAIL: GERALD@WARDARCHITECTUREPLLC.COM</p>	<p><b>SITE DATA SUMMARY:</b></p> <table border="1"> <tr> <td><b>EXISTING ZONING:</b></td> <td><b>C-1</b></td> </tr> <tr> <td><b>LOT AREA (ACRES OR SQ FOOTAGE):</b></td> <td><b>40,327 SF</b></td> </tr> <tr> <td><b>LOT COVERAGE (PERCENT BUILDING COVER):</b></td> <td><b>4,454 SF</b></td> </tr> <tr> <td><b>AREA OF IMPERVIOUS COVERAGE (BUILDING &amp; PAVING):</b></td> <td><b>31,557 SF</b></td> </tr> <tr> <td><b>NUMBER OF PARKING SPACES PROVIDED:</b></td> <td><b>41 SPACES</b></td> </tr> <tr> <td><b>BUILDING HEIGHT:</b></td> <td><b>14'- 8"</b></td> </tr> <tr> <td><b>LAND USE:</b></td> <td><b>BREWERY &amp; RESTAURANT</b></td> </tr> </table>	<b>EXISTING ZONING:</b>	<b>C-1</b>	<b>LOT AREA (ACRES OR SQ FOOTAGE):</b>	<b>40,327 SF</b>	<b>LOT COVERAGE (PERCENT BUILDING COVER):</b>	<b>4,454 SF</b>	<b>AREA OF IMPERVIOUS COVERAGE (BUILDING &amp; PAVING):</b>	<b>31,557 SF</b>	<b>NUMBER OF PARKING SPACES PROVIDED:</b>	<b>41 SPACES</b>	<b>BUILDING HEIGHT:</b>	<b>14'- 8"</b>	<b>LAND USE:</b>	<b>BREWERY &amp; RESTAURANT</b>	<p><b>GENERAL SITE PLAN NOTES:</b></p> <ol style="list-style-type: none"> <li>ALL MECHANICAL EQUIPMENT TO BE LOCATED ON BUILDING ROOF SCREENED BY PARAPET</li> <li>MASONRY FENCE TO BE 6 FT TALL PREFABRICATED CONCRETE PANEL FENCING WITH STONE DESIGN.</li> <li>DUMPSTER ENCLOSURE TO BE MASONRY SCREENED.</li> <li>NO OUTSIDE STORAGE OR DISPLAY AREAS ARE PROVIDED.</li> </ol>
<b>EXISTING ZONING:</b>	<b>C-1</b>																
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**LOCATION MAP**

NOTE:

- ALL LIGHTS TO BE WALL MOUNTED OR DOWN LIGHTS
- ALL EXTERIOR LIGHTING TO BE COMPLIANT WITH THE CURRENT CITY ORDINANCE. REFERENCE SEC. 118-728. - OUTDOOR LIGHTING.
- NO LIGHTING SHALL TRAVEL BEYOND PROPERTY BOUNDARIES. EXTERIOR LIGHTING WILL CURTAIL LIGHT POLLUTION, REDUCE SKY GLOW AND IMPROVE THE NIGHT TIME ENVIRONMENT. EXTERIOR LIGHTING WILL CONSERVE ENERGY TO THE GREATEST EXTENT POSSIBLE.
- ALL NEW LIGHTING WILL COMPLY WITH THE APPLICABLE CODES. ALL OUT DOOR LIGHTING SHALL BE INSTALLED IN CONFORMANCE WITH THE PROVISIONS OF THIS SECTION, APPLICABLE ELECTRICAL AND ENERGY CODES, AND APPLICABLE SECTIONS OF THE BUILDING CODE. ALL NON COMPLIANT EXISTING LIGHTING TO BE REMOVED AND REPLACE WITH COMPLIANT LIGHTING.
- COMPLIANT 6' PREFABRICATED MASONRY PANEL FENCING TO BE INSTALLED AT ALL PROPERTY BOUNDARIES THAT TOUCH RESIDENTIAL PROPERTIES. PLEASE SEE FENCING EXAMPLE 03.
- EXTERIOR PATIO SEATING AREAS TO BE SURROUNDED WITH A 4'-0" TALL WROUGHT IRON FENCING. PLEASE SEE FENCING EXAMPLE 02.

**Superior Customization for Fences and Landscaping**

Specifications and technical expertise in the production of decorative steel-reinforced modular precast concrete make Superior Concrete Products a leader in the fence, sound barrier, retaining wall and building industry. Since 1986, Superior Concrete Products, Inc. has manufactured and installed modular systems nationwide. Precast concrete fence and building components are produced using patented molding equipment and proprietary manufacturing techniques.

Known for strength and durability, modular precast concrete fences, barriers, retaining walls and building systems are resistant to wind, water and seismic movements. In addition, the fences, walls and buildings that Superior Concrete Products manufactures also prevent damage from fire, insects, animals and inclement weather. Specified by a growing number of professionals, the products made by Superior Concrete are preferred by a growing number of architects, residential and commercial builders, contractors, municipal and state governments and other leaders in the construction industry.

**Design Engineering**

Every fence, sound barrier, retaining wall or building system is designed by the Superior Concrete Products professional engineering team to meet exacting design specifications. Go to [Design Engineering](#) to learn more.

**Installation**

The modular design of Superior Concrete Products precast post and panel systems makes installing a fence, sound barrier, retaining wall, building or other structure faster than using conventional methods. To learn more, see [installations](#)

**Technical Specifications**

**General**

- Screening/Sound/Building wall systems and Split Rail fence systems.
- Decorative reinforced precast concrete modular component systems.
- Screening and sound walls include posts, panels and caps. Split rail fences include post-and-rails.
- Precast concrete shall have a minimum compression strength of 5,000 psi @ 28 days.
- Fiberglass and steel reinforced components All reinforcing steel shall conform to ASTM - A615, Grade 60. All ties and stirrups shall conform to the requirements of ASTM - A 615, Grade 40.
- Systems manufactured in integrally colored earth tones. Custom, white and premium colors are available.
- Systems are anchored to ground by poured concrete piers, 5' on-center (wall systems) and 8' on-center (SUPERIOR-FENCE and rail systems). A continuous foundation/footing running the length of the wall is not required.
- Method of post attachment to concrete footing/pier is by embedment in poured concrete. Depth of concrete pier and embedment of post are as shown on Shop Drawing.
- Pier depth varies with soil conditions, wind load and fence height.
- Loading: Wind loading and surcharge loads will be applied to the panels, columns, and foundation components per local building code requirements.

**Materials**

**1. Wall System**

- SUPERIOR-LEDGESTONE™, SUPERIOR-BRICK™ and SUPERIOR-WOOD PLUS™ wall systems with heights up to 30'. SUPERIOR-FENCE wall system with heights up to 8'.
- Panels, posts and caps to have same texture on both sides.
  - Superior Ledgestone™ stacked stone.
  - Superior Brick™ classic brick.
  - Superior Cobblestone™
  - Superior Wood™ - horizontal lap-wood.
  - Superior Fence™ - vertical or horizontal in a cedar look and texture.
  - Superior Board-on-Board™ - vertical rough, out cedar look.
  - Superior Stucco™ - horizontal appearance of hand-troweled stucco.
  - Reinforced with wire-mesh.
- Includes decorative textured panel caps and post caps (Superior Brick™ and Superior Cobblestone)
- Posts are set five feet apart (maximum). SUPERIOR-FENCE posts are set eight feet apart.
- Posts shall have a typical cross sectional dimension of 5" as measured from face-to-face.
- Panels shall have typical dimensions of 56 3/4" long by 12" high by 1" minimum thickness and 1 5/8" maximum thickness.

- Versatile - Variable heights as needed, and can be easily modified to meet a wide range of special requirements.
- Reliable High-performance precast concrete (5,000 psi @ 28 days).
- Durable - Engineered to last, with improved reinforcement.
- Quality - National Precast Concrete Association (NPCA) Certified factory (only 60 factories in the US are similarly certified).
- Expertise - Prestressed/Precast Concrete Industry (PCI) Certified technical team.
- Assurance - Quality controlled manufacturing.
- Local Production - Manufactured in the USA.
- Strong - Repels the effects of wind, water, seismic movement, fire, insects, animals, decay and inclement weather.

FENCING MATERIAL:  
SUPERIOR FENCING  
6 FT HIGH PRECAST CONCRETE TEXTURED INTEGRAL COLOR  
PRODUCT:  
SUPERIOR LEDGESTONE  
COLOR : NATURAL

03 COMMERCIAL TO RESIDENTIAL FENCING  
TYP. CONCRETE PANEL SYSTEM FENCING  
SCALE: NTS



02 TYP. WROUGHT IRON FENCING  
SCALE: NTS

FREEDOM (ACTUAL: 3.91' x 6.026') STANDARD NEW HAVEN BLACK ALUMINUM DECORATIVE FENCE PANELS TO BE USED AT OUTDOOR SEATING PATIO



Superior Ledgestone™ will have a new and improved tongue and groove panel interlocks, which may result in the appearance of grooves between panels.



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Project No: 18 - 44

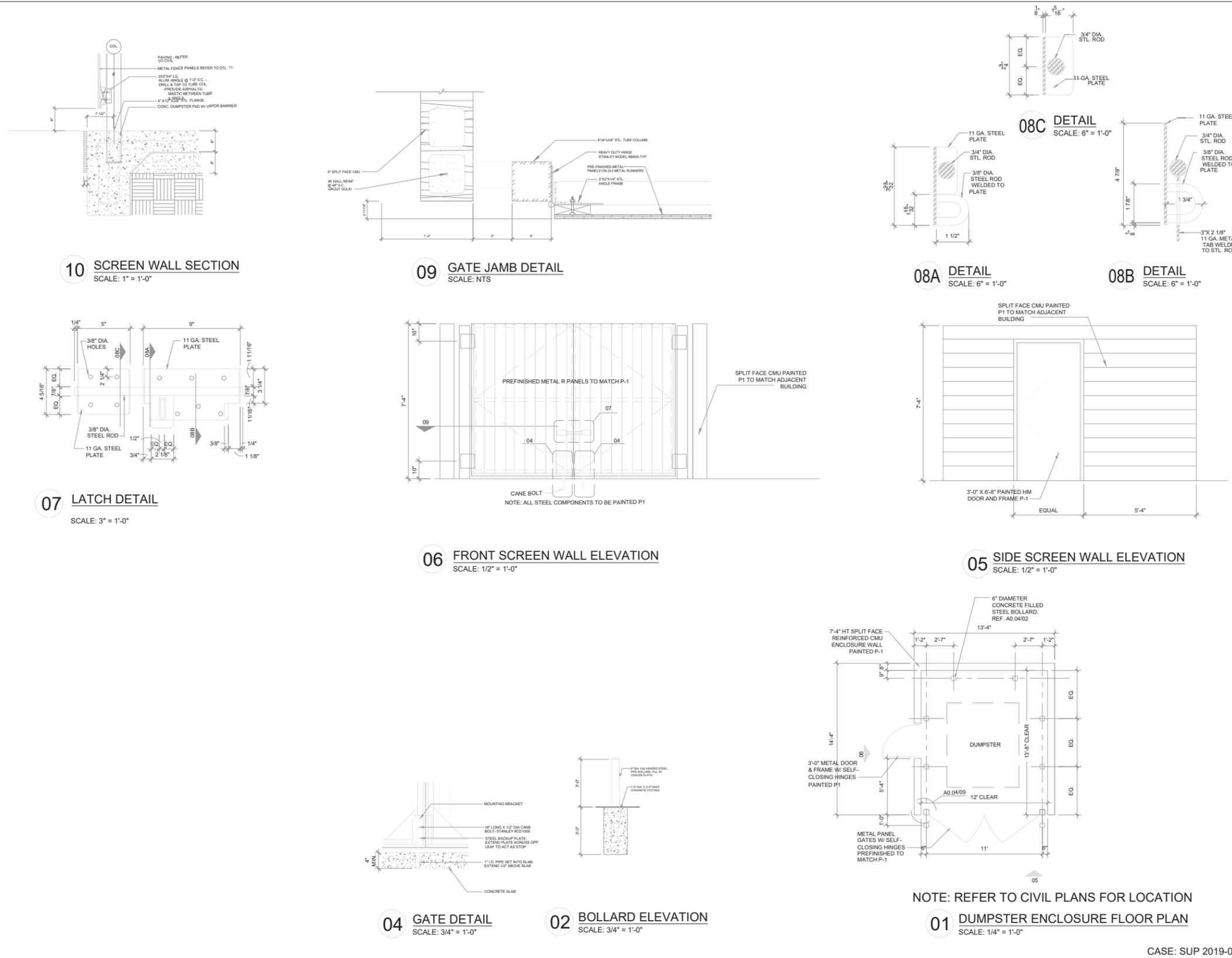
Revisions	No.	Date	Description

Issued: ZONING CHANGE APPLICATION 1204/2018

Sheet Title  
**SITE INFORMATION**

**A1.00**  
Sheet Number

CASE: SUP 2019-02



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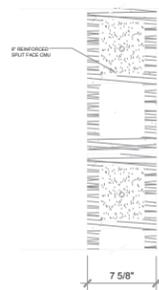
Drawn By: CRA, MLP  
Checked By: GAW  
Project No: 18 - 44

Revisions		
No.	Date	Description

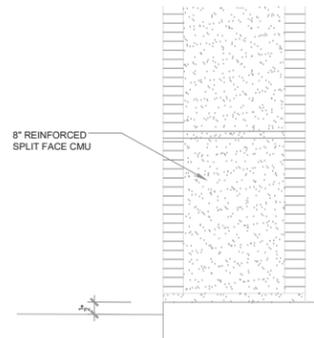
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Sheet Title: **DUMPSTER DETAILS**

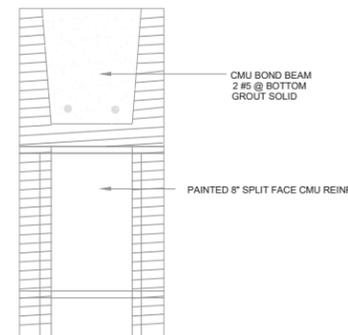
Sheet Number: **A0.06**



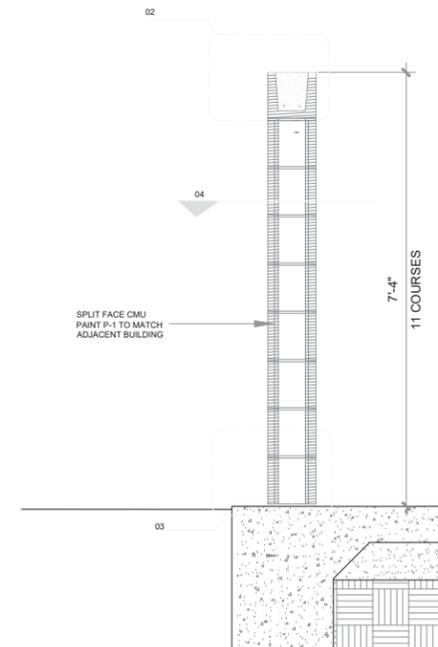
**04** SCREEN WALL DETAIL  
SCALE: 3" = 1'-0"



**03** SCREEN WALL DETAIL  
SCALE: 3" = 1'-0"



**02** SCREEN WALL DETAIL  
SCALE: 3" = 1'-0"



**01** SCREEN WALL SECTION  
SCALE: 1/2" = 1'-0"

CASE: SUP 2019-02



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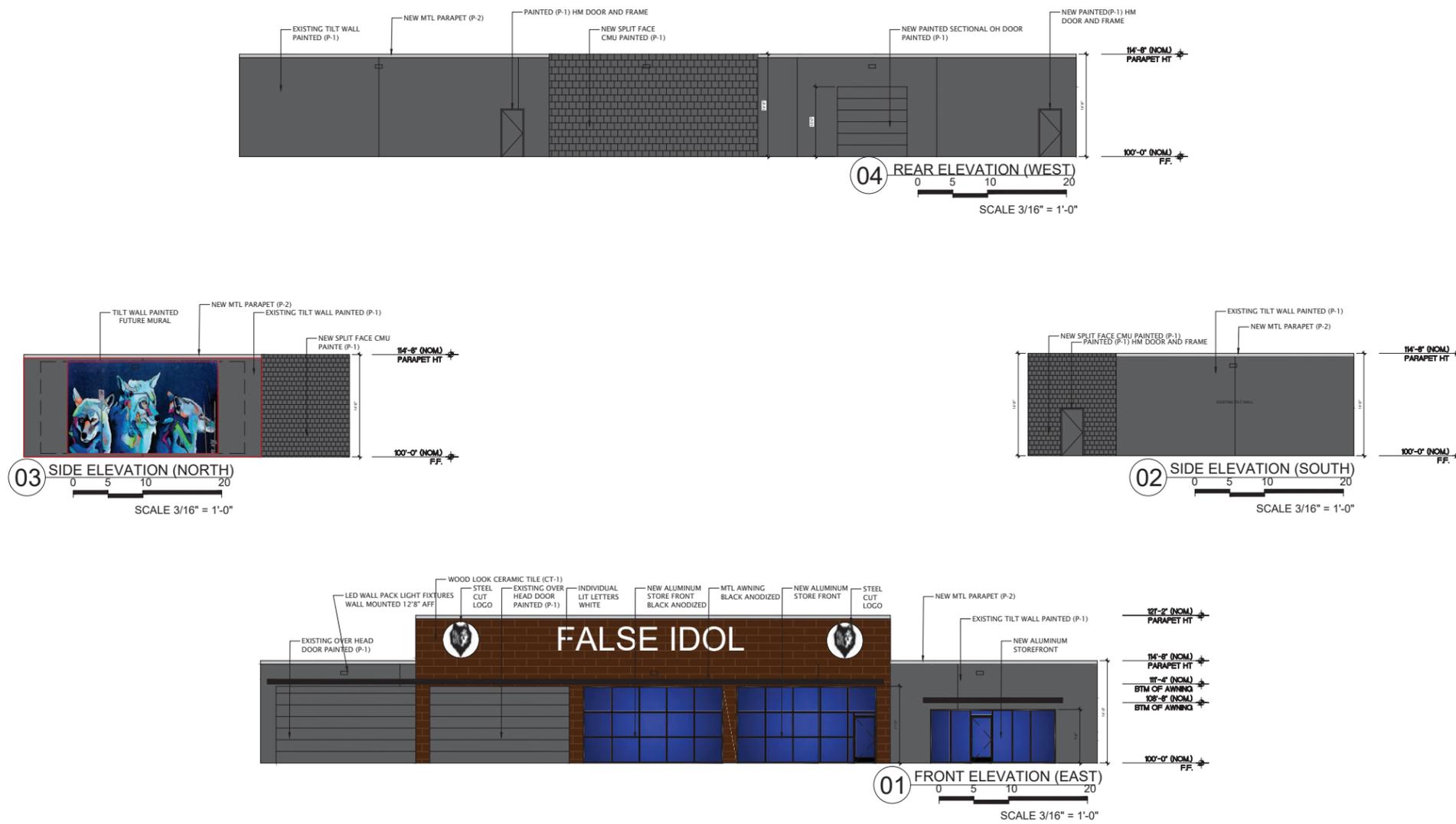
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Revisions		
No.	Date	Description

Issue: ZONING CHANGE APPLICATION 12/04/2018  
Sheet Title: **DUMPSTER DETAILS**

**A0.07**  
Sheet Number



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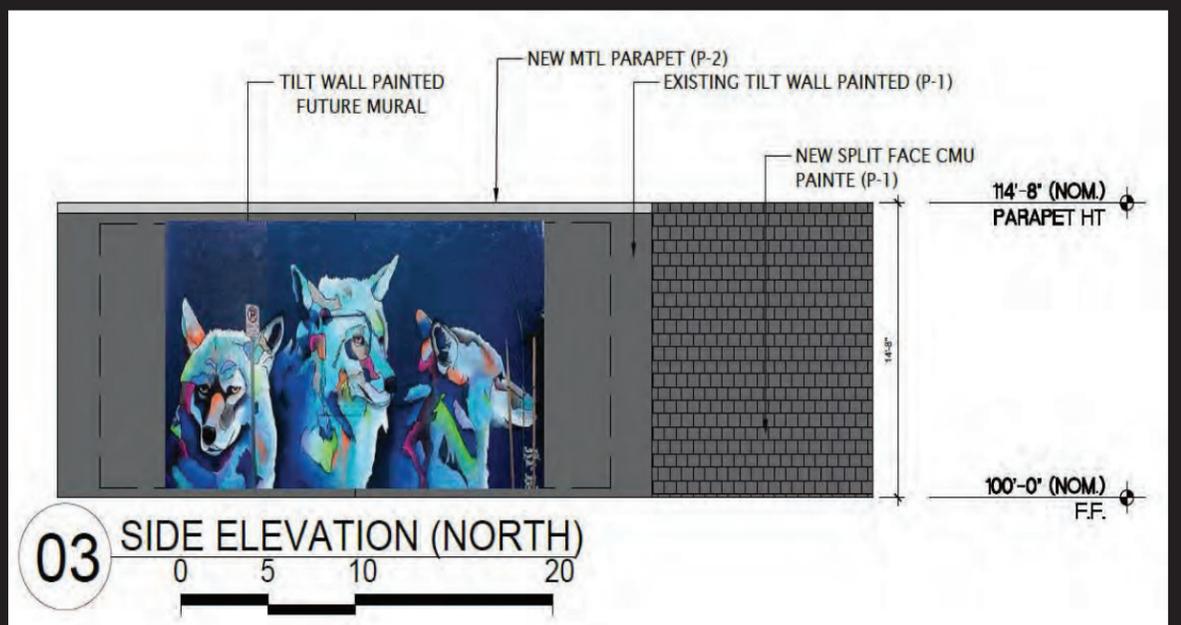
Issued: ZONING CHANGE APPLICATION 12/04/2018

Sheet Title: **COLORED ELEVATIONS**

**A3.01b**

Sheet Number

CASE: SUP 2019-02



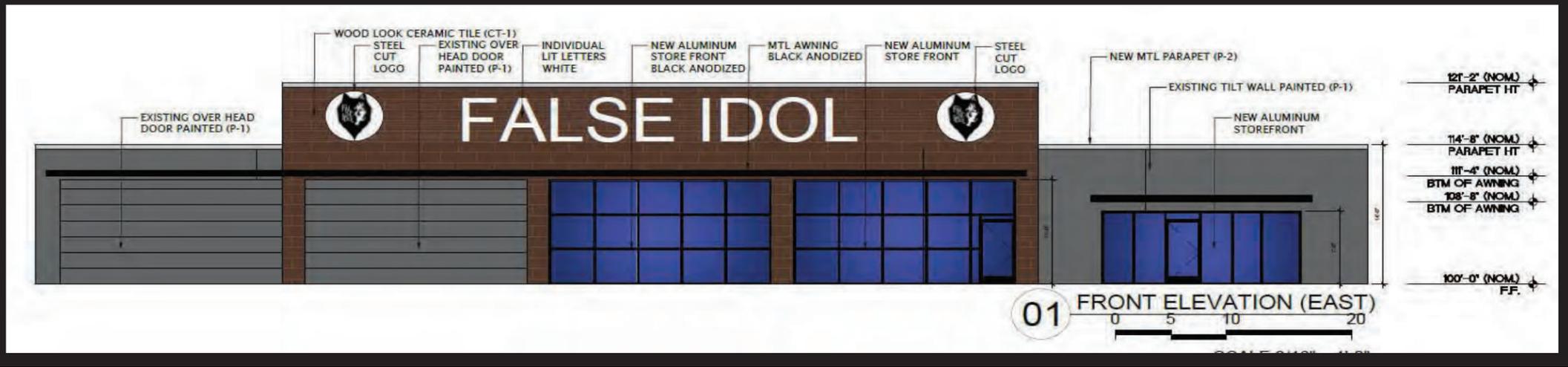
MATERIAL BORED: EXTERIOR FINISHES  
 FALSE IDOL BREWERY  
 7924 MAPLEWOOD AVE., NRH, TX 76180

**DALTILE**  
**CERAMIC WOOD LOOK TILE PLANKING**  
**SADDLEBROOK XT: WALNUT CREEK SD85**



**KELLY MOORE EXTERIOR**  
**SANDPIPER COVE**  
**KM5821**  
**FINISH: EGGSHELL**

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**SANDPIPER COVE**  
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**FINISH: EGGSHELL**

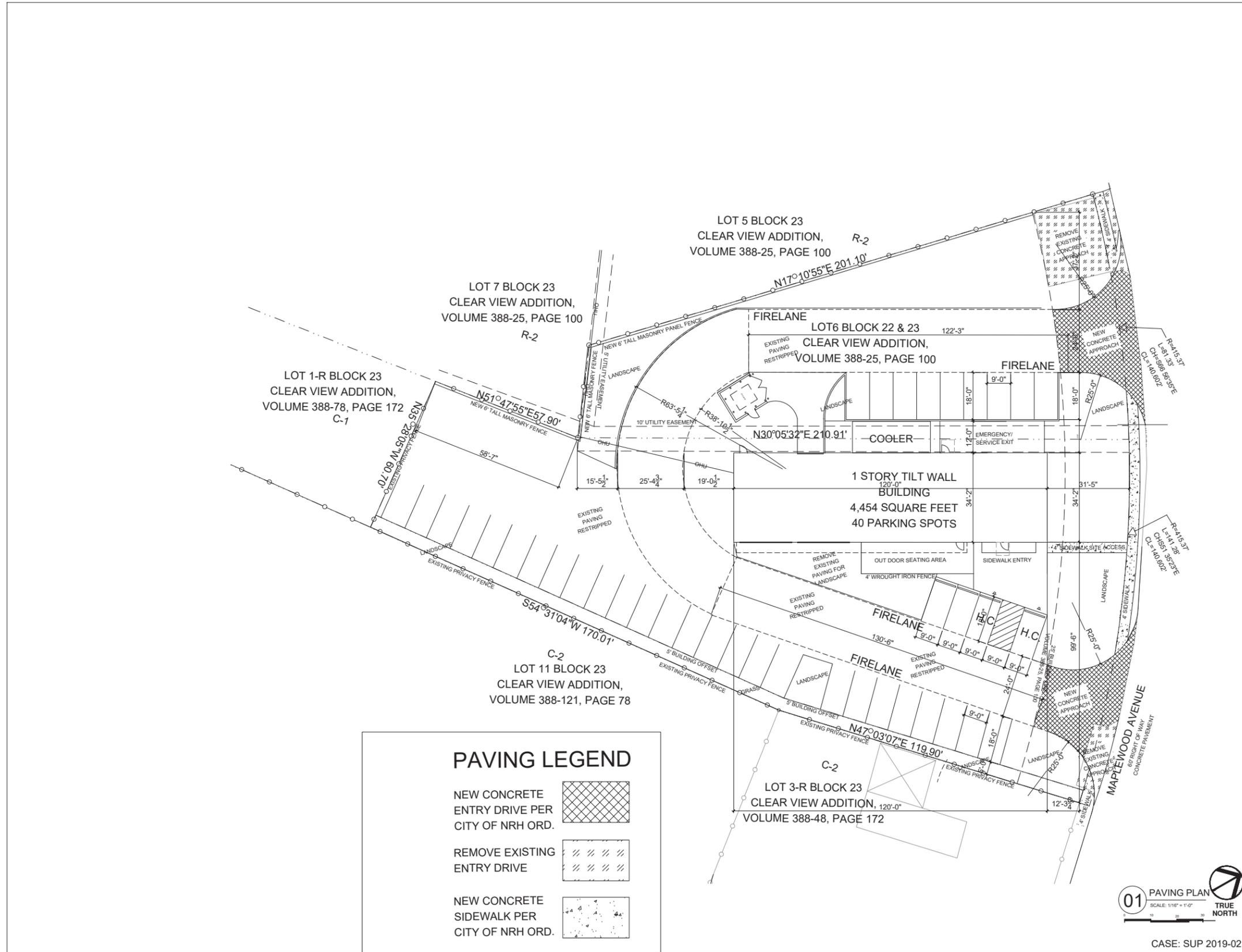












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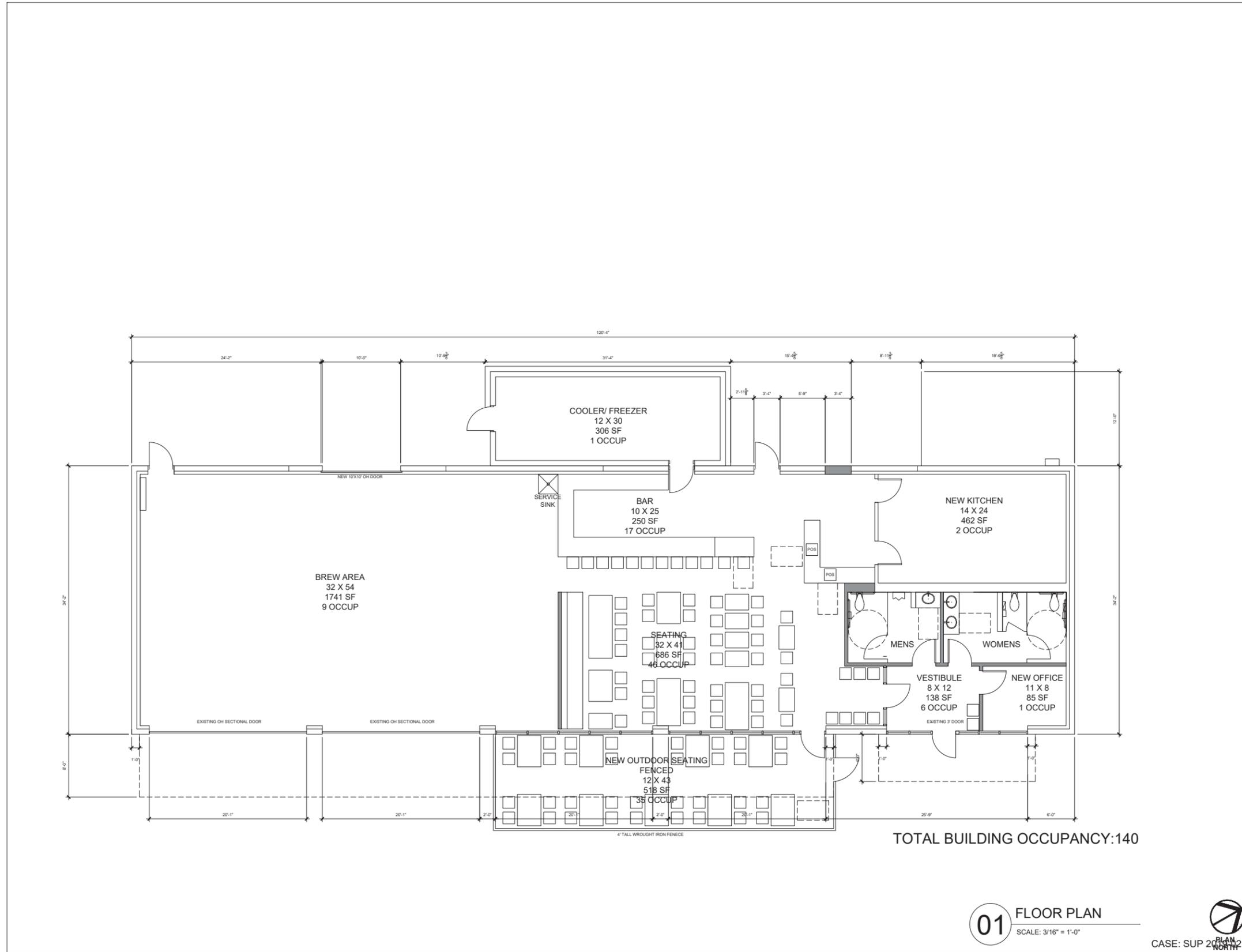
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ARCHITECTURAL PAVING PLAN

**A1.02**  
Sheet Number



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**FLOOR PLAN**  
**A2.01**  
Sheet Number

**01** FLOOR PLAN  
SCALE: 3/16" = 1'-0"



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