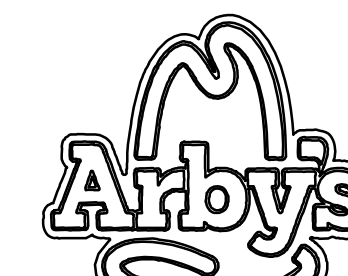
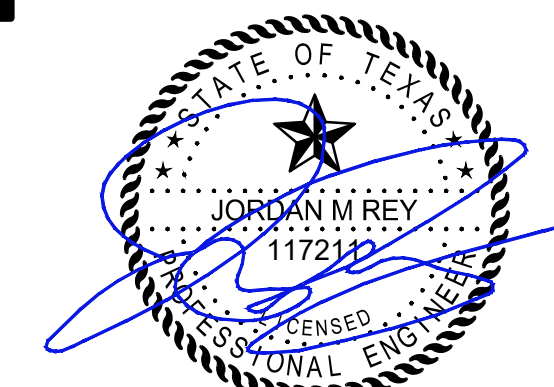


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SUITE 150  
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WAS AUTHORIZED BY JORDAN M. REY, PE  
117211 ON 3/29/2016

ARBY'S RESTAURANT GROUP  
LOT 2, BLOCK 1  
WAL-MART ADDITION KNOWN AS  
8245 PRECINCT LINE ROAD  
NORTH RICHLAND HILLS, TEXAS 76182

TURBO RESTAURANTS  
3318 FOREST LANE, SUITE 200  
DALLAS, TEXAS 75234

PROJECT ISSUE DATES

01  
02  
03  
04  
05  
06  
07  
08  
09  
10

ARTEC PROJECT NO. 16-1110 CLIENT PROJECT NO. FILE NO.

SHEET REVISIONS MARK DATE DESCRIPTION

PROJECT ORIENTATION

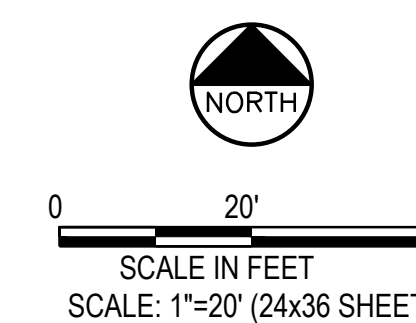
**SITE AND DIMENSIONAL CONTROL PLAN**

DRAWN BY RGM CHECKED BY JR. MANAGER JR.

CASE ZC 2016-02

DATE: 3/29/2016

**C-2.0**



**KEYED NOTES:**

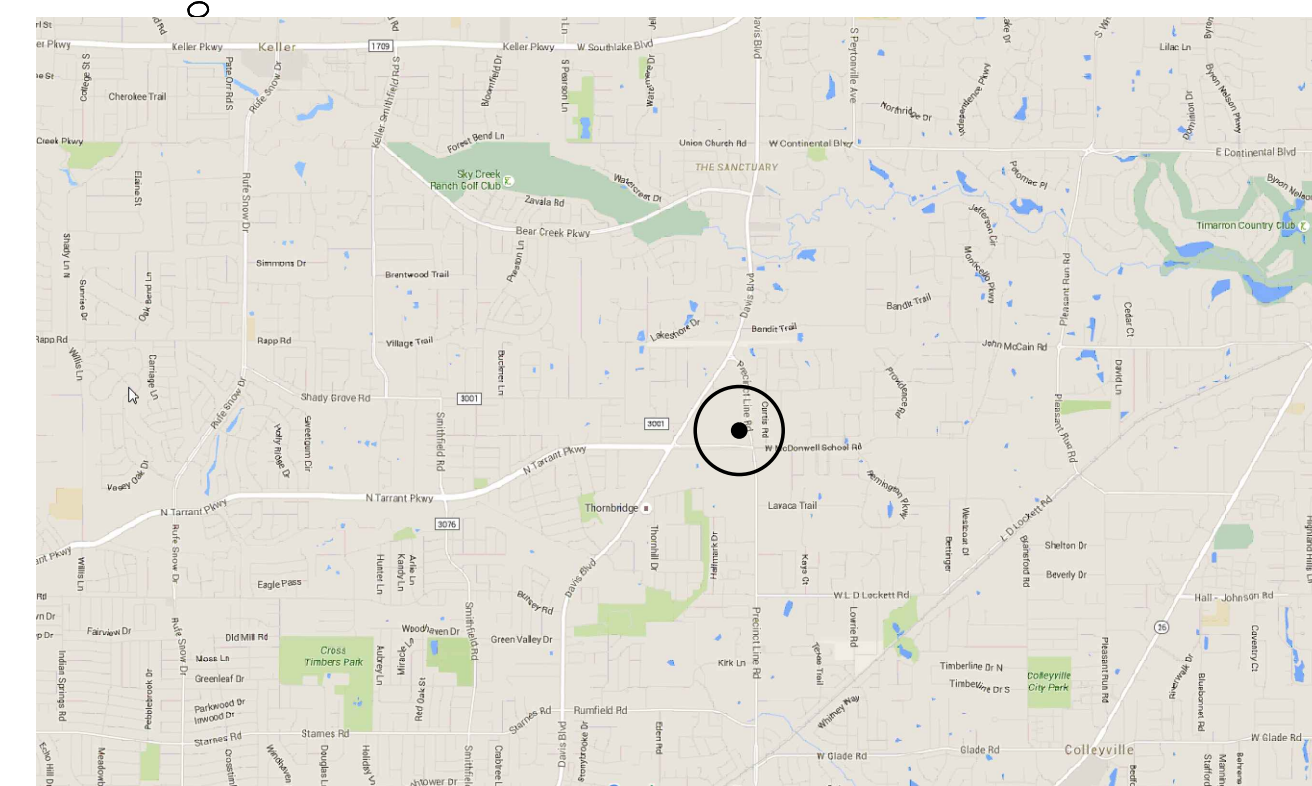
- 1 PROPOSED BUILDING - 2,160 SF BUILDING.
- 2 DUMPSTER WITH ENCLOSURE WITH 7" THICK CONC. APRON. REFER TO ARCHITECTURAL PLANS FOR DETAILS
- 3 HANDICAP ACCESSIBLE PARKING SPACE (TYP.)-2 PLACES.
- 4 ADA POLE SIGNAGE & WHEELSTOPS (TYP.)-2 PLACES.
- 5 ADA-COMPLIANT WALKWAY.
- 6 PROPOSED 5' WIDE SIDEWALKS.
- 7 ADA-COMPLIANT BARRIER-FREE RAMP.
- 8 ORDER CONFIRMATION BOARD AND MENU BOARDS. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION.
- 9 PROPOSED SIGNAGE LOCATION. ALL SIGNAGE TO BE APPROVED AND INSTALLED UNDER A SEPARATE SIGN PERMIT.
- 10 4-INCH SOLID YELLOW STRIPE TO DRIVE-THRU LANE DESIGNATION.
- 11 EXISTING FIRE HYDRANT.
- 12 AWNING (TYPICAL).
- 13 CONCRETE PAVEMENT THICKNESS PER SITE DETAILS.
- 14 CONNECT TO EXISTING SIDEWALK.
- 15 LIGHT STANDARD.

**GENERAL NOTES:**

1. ALL PAVEMENT DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE. ALL BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF WALL UNLESS INDICATED OTHERWISE.
2. SEE ARCHITECTURAL SHEETS FOR EXACT DIMENSIONS OF BUILDING, AND DETAILS AROUND THE BUILDING.
3. ALL CURVE RADII ARE 3' UNLESS NOTED OTHERWISE.
4. SEE ELECTRICAL PLANS FOR SITE LIGHTING DESIGN AND DETAILS.

**F.M. 3029**  
**(PRECINCT LINE ROAD)**  
**(R.O.W. VARIES)**

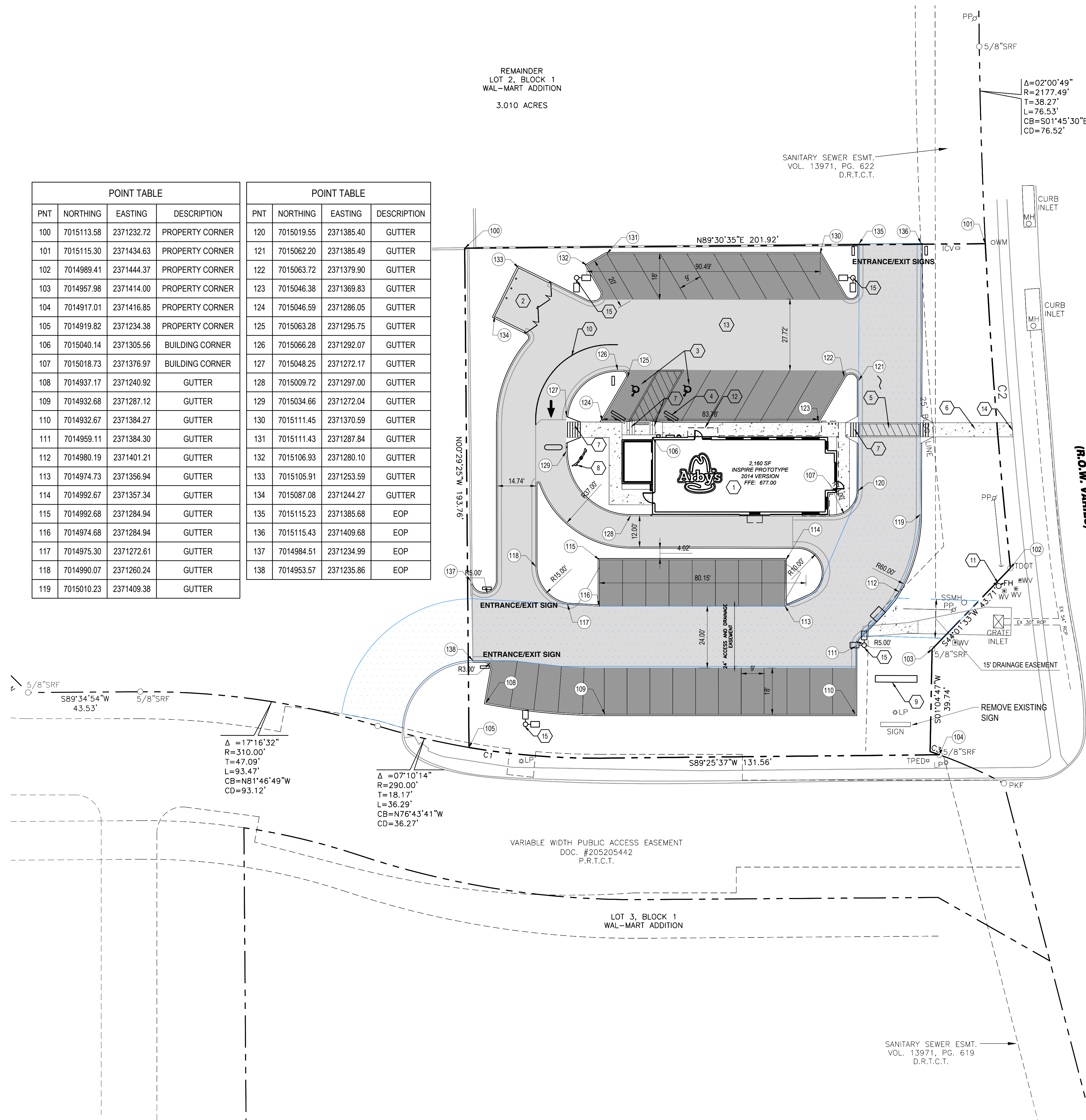
SITE DATA SUMMARY	
EXISTING ZONING	PD-36
LAND USE DESIGNATION	RETAIL
LOT AREA	0.90 AC
BUILDING AREA	2,160 SQ. FT.
LOT COVERAGE	5.5%
AREA OF IMPERVIOUS COVERAGE	71.6%
NUMBER OF PARKING SPACES PROVIDED	40
BUILDING HEIGHT	19'-3"
LAND USE	RESTAURANT, QUICK SERVE



**SITE LOCATION MAP**

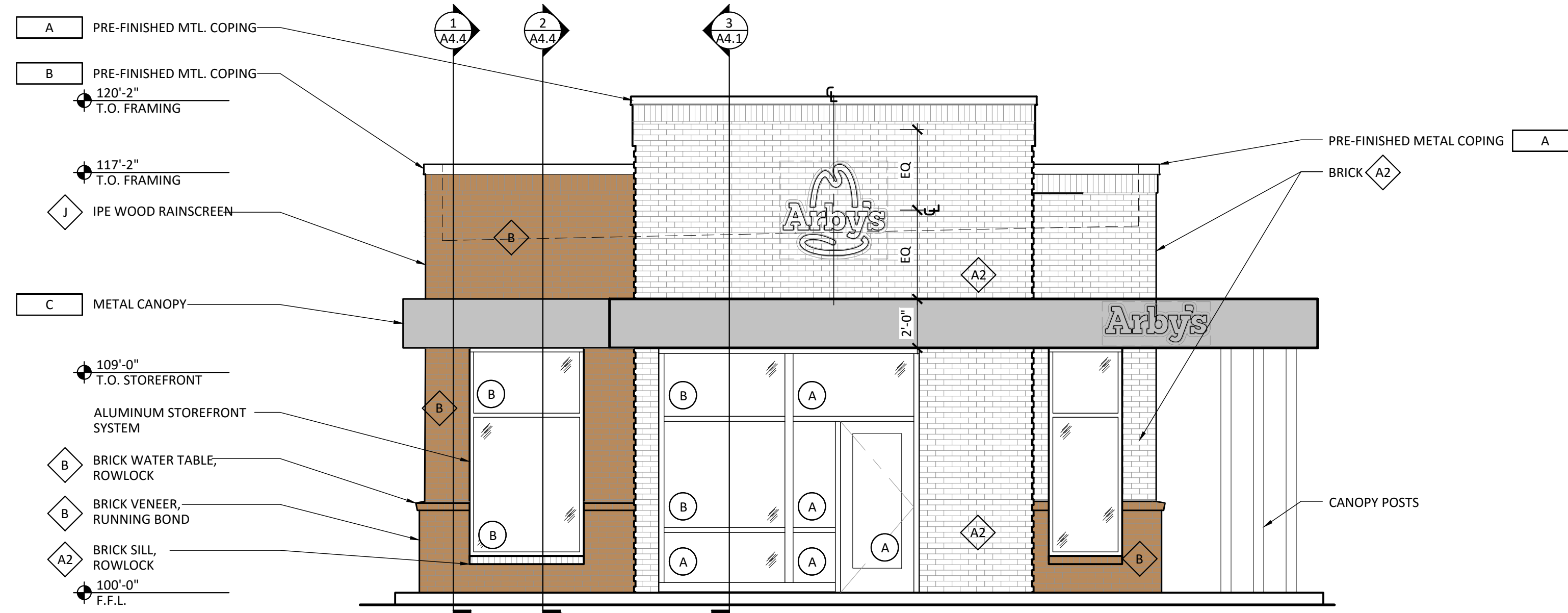
REMAINDER  
LOT 2, BLOCK 1  
WAL-MART ADDITION  
3.010 ACRES

POINT TABLE				POINT TABLE			
PNT	NORTHING	EASTING	DESCRIPTION	PNT	NORTHING	EASTING	DESCRIPTION
100	7015113.58	2371232.72	PROPERTY CORNER	120	7015019.55	2371385.40	GUTTER
101	7015115.30	2371434.63	PROPERTY CORNER	121	7015062.20	2371385.49	GUTTER
102	7014989.41	2371444.37	PROPERTY CORNER	122	7015063.72	2371379.90	GUTTER
103	7014957.98	2371414.00	PROPERTY CORNER	123	7015046.38	2371369.83	GUTTER
104	7014917.01	2371416.85	PROPERTY CORNER	124	7015046.59	2371286.05	GUTTER
105	7014919.82	2371234.38	PROPERTY CORNER	125	7015063.28	2371295.75	GUTTER
106	7015040.14	2371305.56	BUILDING CORNER	126	7015066.28	2371292.07	GUTTER
107	7015018.73	2371376.97	BUILDING CORNER	127	7015048.25	2371272.17	GUTTER
108	7014937.17	2371240.92	GUTTER	128	7015009.72	2371297.00	GUTTER
109	7014932.68	2371287.12	GUTTER	129	7015034.66	2371272.04	GUTTER
110	7014932.67	2371384.27	GUTTER	130	7015111.45	2371370.59	GUTTER
111	7014959.11	2371384.30	GUTTER	131	7015111.43	2371287.84	GUTTER
112	7014980.19	2371401.21	GUTTER	132	7015106.93	2371280.10	GUTTER
113	7014974.73	2371356.94	GUTTER	133	7015105.91	2371253.59	GUTTER
114	7014992.67	2371357.34	GUTTER	134	7015087.08	2371244.27	GUTTER
115	7014992.68	2371284.94	GUTTER	135	7015115.23	2371385.68	EOP
116	7014974.68	2371284.94	GUTTER	136	7015115.43	2371409.68	EOP
117	7014975.30	2371272.61	GUTTER	137	7014984.51	2371234.99	EOP
118	7014990.07	2371260.24	GUTTER	138	7014953.57	2371235.86	EOP
119	7015010.23	2371409.38	GUTTER				



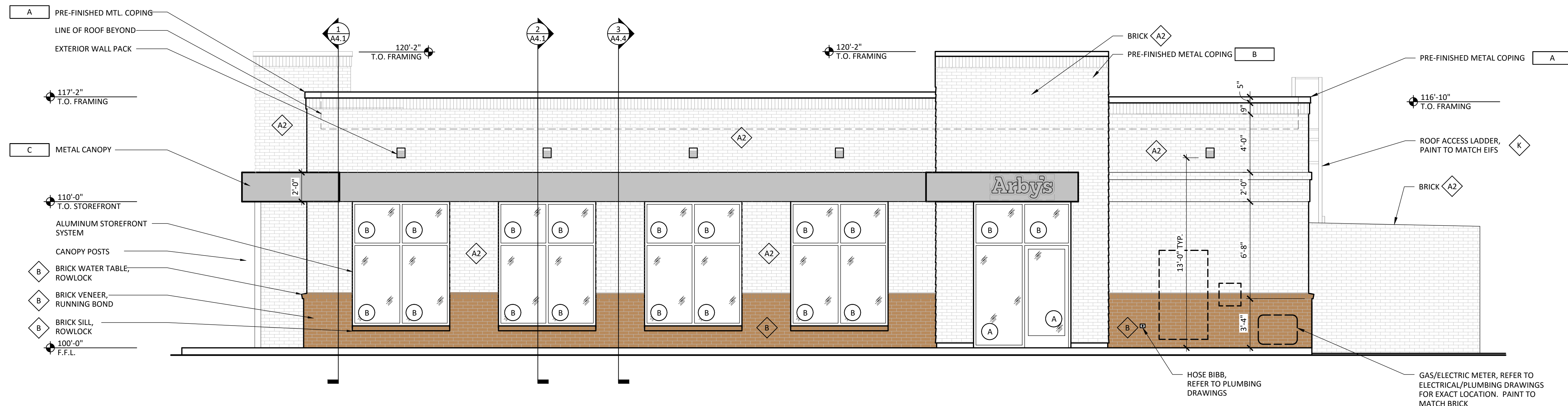


MASONRY GROUP A	BRICK	87%
ACCENT	METAL	13%



1 FRONT ELEVATION  
A2.1 1/4" = 1'-0"

MASONRY GROUP A	BRICK	90%
ACCENT	METAL	10%



2 SIDE ELEVATION  
A2.1 1/4" = 1'-0"

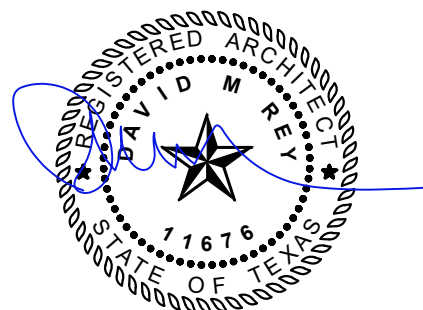
### FINISH SCHEDULE

MARK	MANUFACTURER	DESCRIPTION	NOTES
<b>GLASS TYPES</b>			
(A)	---	1" CLEAR TEMPERED INSULATED GLASS UNIT	LOW "E"
(B)	---	1" CLEAR INSULATED GLASS UNIT	LOW "E"
(C)	---	1/4" CLEAR TEMPERED SAFETY GLASS	IN DRIVE THRU WINDOW UNIT
<b>FINISHES</b>			
(A1)	DRYVIT	#310 CHINA WHITE SANDBLAST TEXTURE	EIFS WALL SYSTEM
(A2)	COUNTY MATERIALS	HERITAGE COLLECTION WHITE NF	TEXTURE: SMOOTH GROUT: LATICRETE 90 LIGHT PEWTER
(B)	COUNTY MATERIALS	HERITAGE COLLECTION SABLE NF	TEXTURE: SMOOTH GROUT: LATICRETE 43 CHOC. TRUFFLE
(C)	NOT USED	---	---
(D)	SHERWIN WILLIAMS	PRIMER: LOXON ACRYLIC MASONRY PRIMER, A-24-300 FINISH: DTM ACRYLIC GLOSS, B66R38	TINT PRIMER TO SW P2 USE AT LEAST (2) TWO COATS OF FINISH
(E)	NOT USED	---	---
(F)	SHERWIN WILLIAMS	#SW 7024 FUNCTIONAL GRAY	SATIN FINISH
(G)	NOT USED	---	---
(H)	JAMES HARDIE	ARTISAN LAP SIDING - SMOOTH IRON GRAY	5/8" THICK 7 1/4" WIDTH (6" EXPOSURE)
(J)	IPE WOOD RAINSCREEN	---	PROVIDE UV SEALER
(K)	SHERWIN WILLIAMS	#SW 2123 WHITE	SATIN FINISH
<b>METALS</b>			
(A)	EXCEPTIONAL METALS/ DURO-LAST	TWO-PIECE SNAP-ON METAL COPING REGAL WHITE/ DURO-LAST #SR70/TE87	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA3110
(B)	EXCEPTIONAL METALS/ DURO-LAST	TWO-PIECE SNAP-ON METAL COPING DARK BRONZE/ DURO-LAST #SR70/TE87	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA3110
(C)	PRE-FABRICTED AWNING	PRIMER: BOND-PLEX WATERBASED ACRYLIC COATING, B71-200 FINISH: DTM ACRYLIC GLASS, B66R38	TINT PRIMER TO SW P2 USE AT LEAST (2) TWO COATS OF FINISH
<ol style="list-style-type: none"> <li>PAINT ALL EXPOSED METERS, SERVICE ENTRANCES, GAS PIPE, ROOF ACCESS LADDER, ETC. TO MATCH ADJACENT EXTERIOR WALL SURFACE.</li> <li>PROVIDE TEMPORARY MASKING OF EXPOSED STAINLESS STEEL DURING ACID WASHING OF MASONRY.</li> <li>PROVIDE SOLID MASONRY UNITS AT THE ENDS OF JAMBS, SILLS, ETC.</li> <li>TO HELP PREVENT EFFLORESCENCE ALL MASONRY UNITS ARE TO BE MANUFACTURED WITH INTEGRAL WATER REPELLANT. WATER REPELLANT ADMIXTURE IS TO BE MIXED IN AND PRE-WASHED SAND IS TO BE USED IN ALL MORTAR MIXES.</li> <li>MAKE SURE THAT WALL WEEPS AND FLASHING ARE INSTALLED CORRECTLY. DO NOT BLOCK WEEPS. REFER TO SPECIFICATIONS ON SHEET SP-2.</li> </ol>			

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PROJECT ISSUE DATES

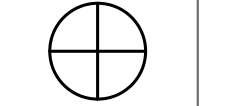
PROJECT DATA  
16-1110

ARTEC PROJECT NO. 16-1110 CLIENT PROJECT NO. FILE NO.

SHEET REVISIONS  
MARK DATE DESCRIPTION

SHEET DATA

PROJECT ORIENTATION



### EXTERIOR ELEVATIONS

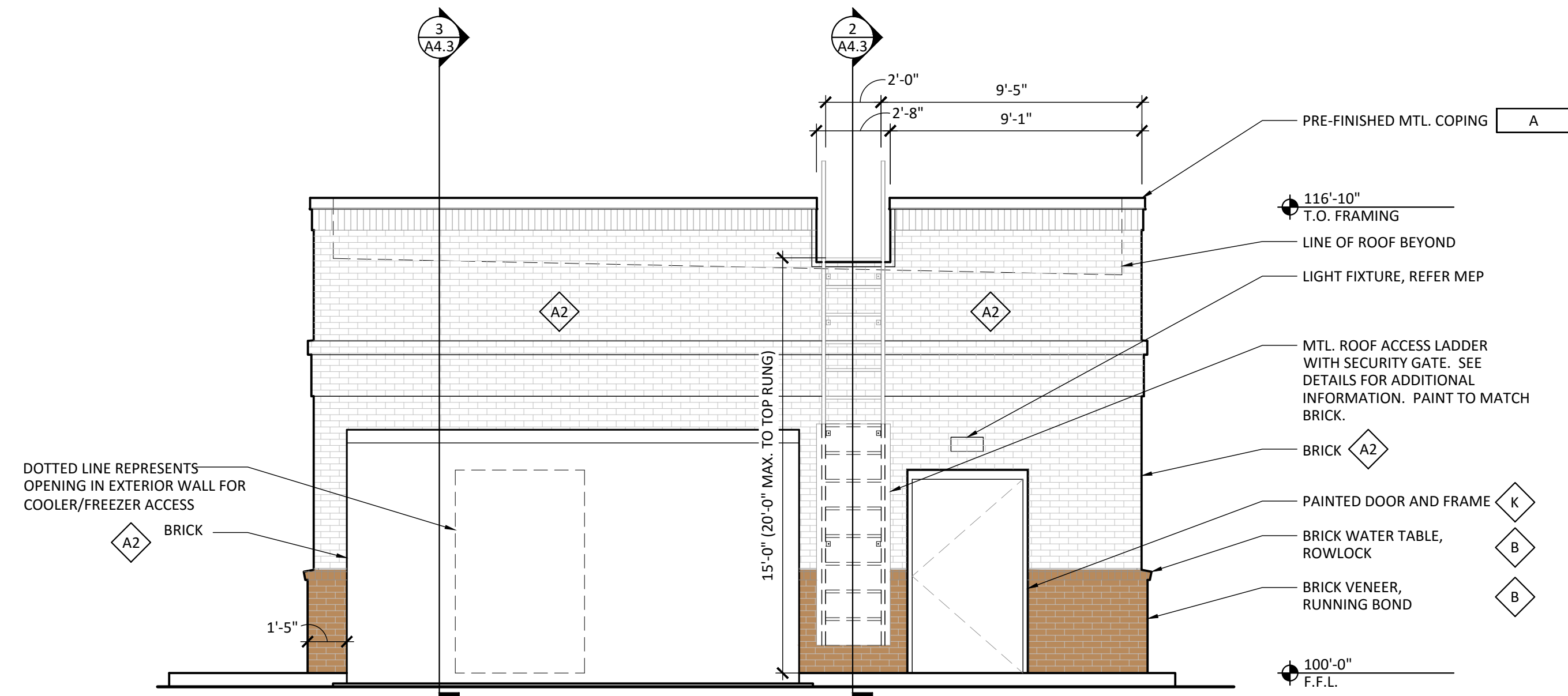
DRAWN BY RGM CHECKED BY JR. MANAGER JR.

CASE ZC 2016-02

DATE: 3/29/2016

A2.1

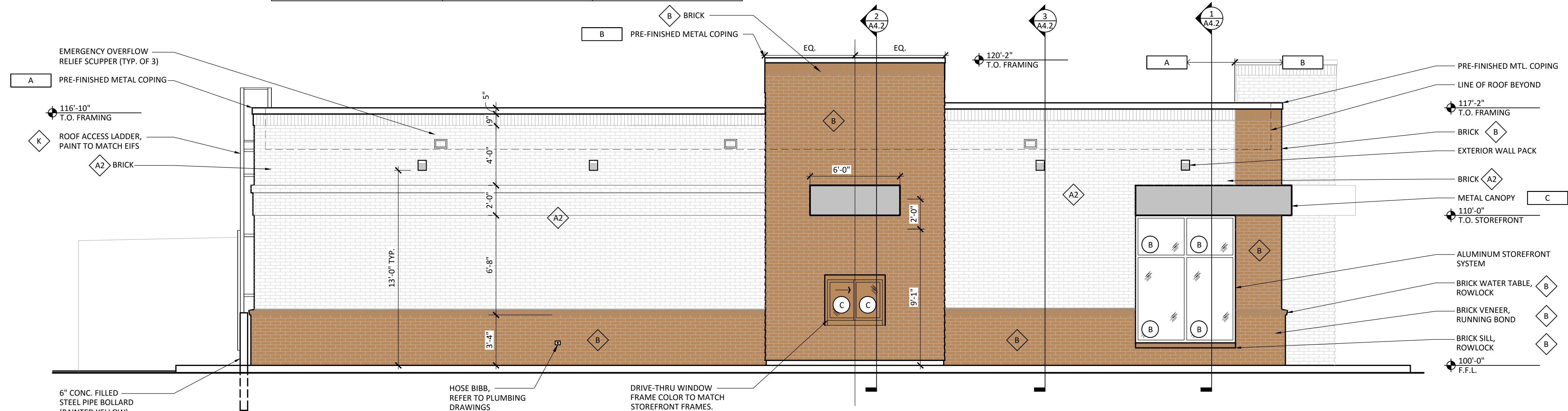
MASONRY GROUP A	BRICK	100%
-----------------	-------	------



1  
A2.2  
1/4" = 1'-0"

**REAR ELEVATION**

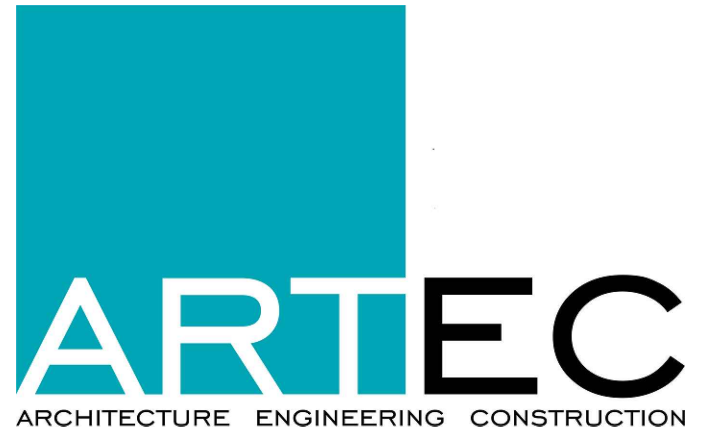
MASONRY GROUP A	BRICK	95%
ACCENT	METAL	5%



2  
A2.2  
1/4" = 1'-0"

**SIDE ELEVATION**

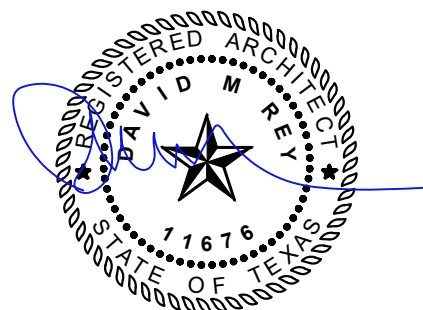
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TURBO RESTAURANTS  
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PROJECT ISSUE DATES

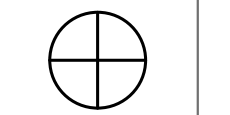
PROJECT DATA

ARTEC PROJECT NO. 16-1110 CLIENT PROJECT NO. FILE NO.

SHEET REVISIONS  
MARK DATE DESCRIPTION

SHEET DATA

PROJECT ORIENTATION



**EXTERIOR ELEVATIONS**

DRAWN BY RGM CHECKED BY JR MANAGER JR

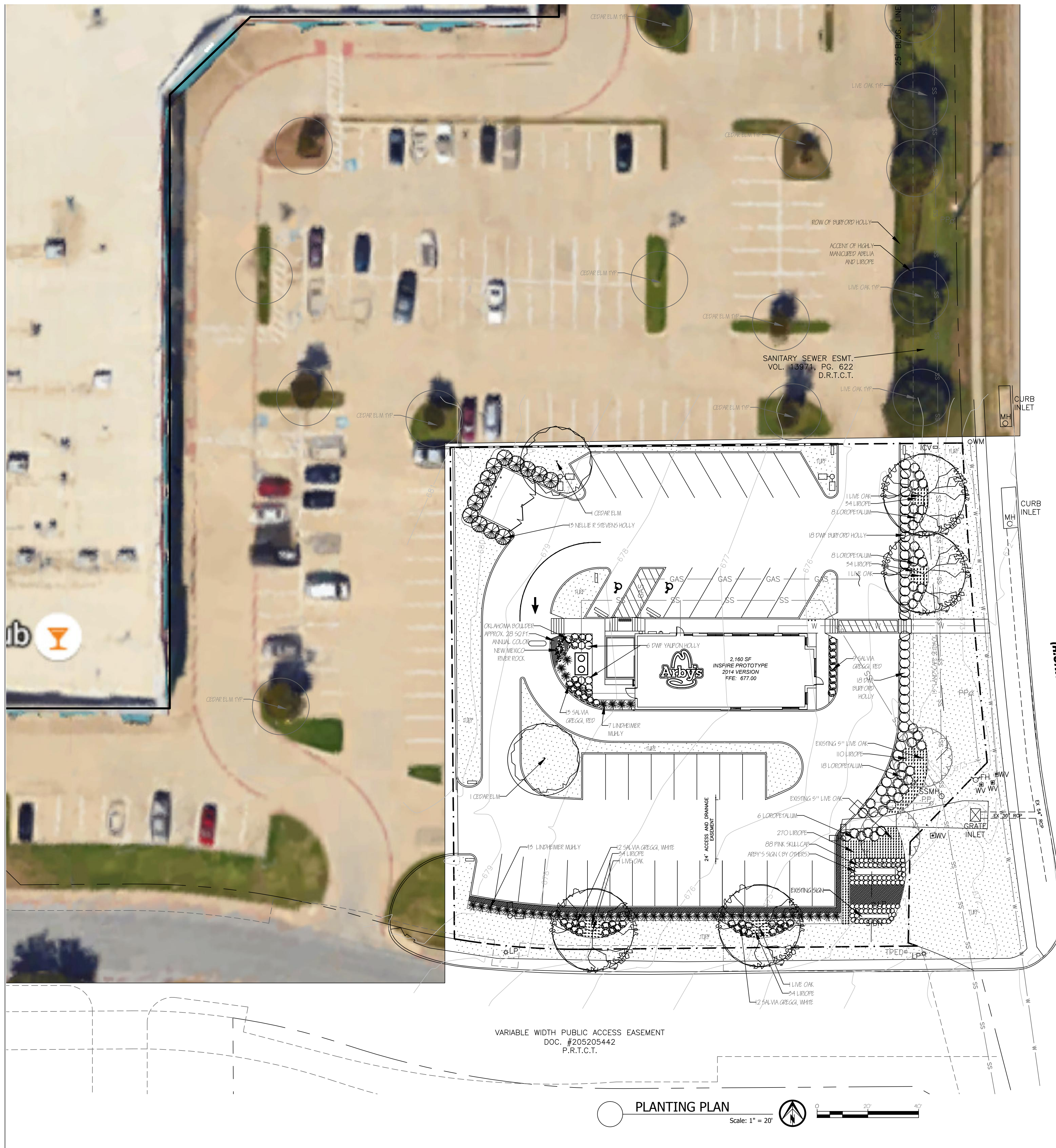
CASE ZC 2016-02

DATE: 3/29/2016

**A2.2**

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**F.M. 3029**  
(PRECINCT LINE ROAD)  
(R.O.W. VARIES)

Common Name	Botanical Name	Texas Native	Annual Color	Tree	Shrub	Grass	Groundcover	Perennial	Turf	Size	Qty	Notes
Cedar Elm	<i>Ulmus crassifolia</i>	Yes	varies per season	Tree	No	No	No	No	No	28 sq ft	2	3" caliper min.
Dwarf Burford Holly	<i>Ilex cornuta 'Burfordii nana'</i>	No		No	Shrub	No	No	No	No	5 gal	36	30" tall, 3' o.c.
Dwarf Yaupon Holly	<i>Ilex vomitoria 'Nana'</i>	Yes		No	Shrub	No	No	No	No	3 gal	6	
Lindheimer Muhly / Big Muhly	<i>Muhlenbergia lindheimeri</i>	Yes		No	No	Grass	No	Yes	No	3 gal	50	
Liriope, Big Blue	<i>Liriope muscari 'Big Blue'</i>	No		No	No	No	Groundcover	Yes	No	4" pots	515	
Live Oak	<i>Quercus virginiana</i>	Yes		Tree	No	No	No	No	No	65 gal	4	3" caliper min.
Loropetalum 'Purple Pixie'	<i>Loropetalum chinensis 'Purple Pixie'</i>	No		No	Shrub	No	No	No	No	5 gal	40	30" tall, 3' o.c.
Nellie R. Stevens Holly	<i>Ilex x attenuata 'Nellie R. Stevens'</i>	No		No	Shrub	No	No	No	No	7 gal	13	3' tall at planting
Pink Skullcap	<i>Scutellaria suffrutescens</i>	No		No	Perennial	No	No	Yes	No	1 gal	88	
Salvia greggii 'white'	<i>Salvia greggii</i>	Yes		No	Shrub	No	No	Yes	No	3 gal	24	
Salvia greggii 'red'	<i>Salvia greggii</i>	Yes		No	Shrub	No	No	Yes	No	3 gal	22	
Turf	<i>Bermuda grass sod</i>	No		No	No	No	No	No	Yes	12,684 sq.ft.		
<b>Hardscape</b>												
Boulder	<i>Moss Boulders</i>	No		No	No	No	No	No	Yes	0.2 ton		
River Rock	<i>New Mexico 2" -3"</i>	No		No	No	No	No	No	Yes	3" depth	26 sq. ft	

**PLANT LIST**

**Jurisdiction of Project**

REGULATORY AUTHORITIES:  
CITY OF NORTH RICHLAND HILLS  
7301 NE LOOP 820  
NORTH RICHLAND HILLS, TX 76180  
817-427-6000

TEXAS DEPARTMENT OF LICENSING AND REGULATION  
ELIMINATION OF ARCHITECTURAL BARRIERS  
E.O. THOMPSON STATE OFFICE BUILDING  
920 COLORADO  
AUSTIN, TEXAS 78701  
(512) 463-3211  
(512) 475-2886 (FAX)

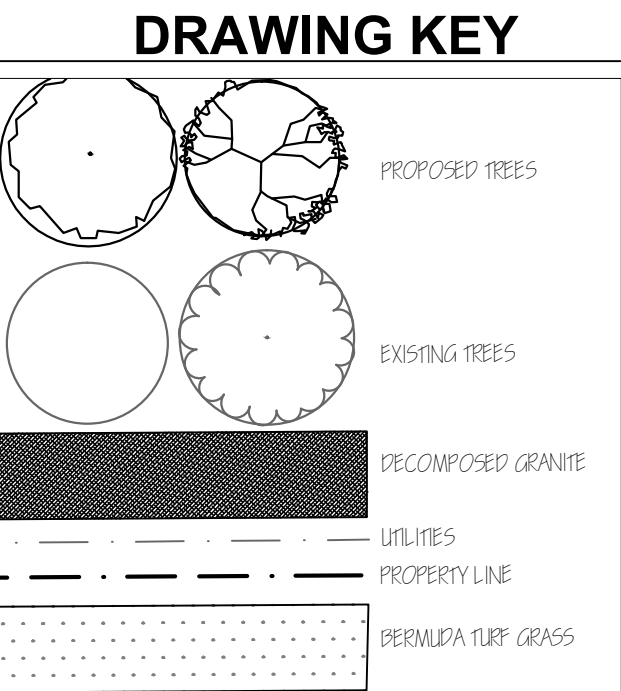
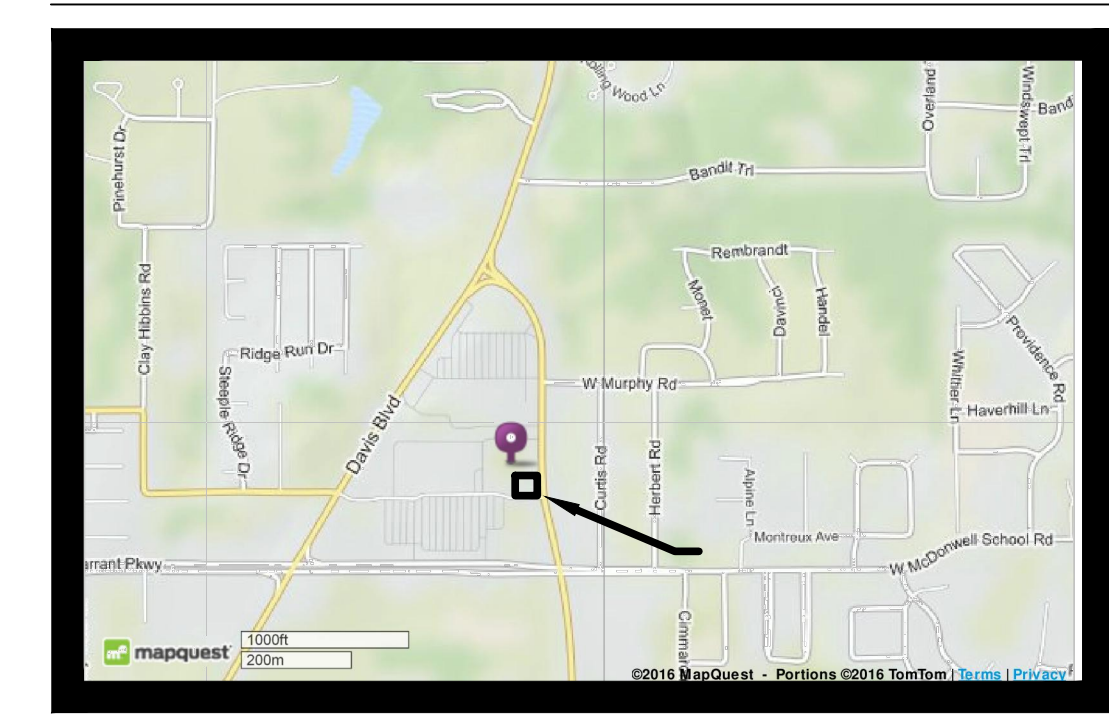
**Landscape Requirements**

- NORTH RICHLAND HILLS CODE OF ORDINANCES  
CHAPTER 114 VEGETATION
- LANDSCAPE AREA PERCENTAGE  
A. NOT LESS THAN 15% OF LOT AREA LANDSCAPE (LOT: 39,291 SF)  
REQUIRED: 5,894 SF  
PROVIDED: 12,618 SF (31 %)
- LANDSCAPE SETBACK  
A. MINIMUM WIDTH OF 15' ADJACENT TO ALL PUBLIC STREET R.O.W.  
REQUIRED: 15' WIDTH  
PROVIDED: 15' WIDTH
- B. 1 TREE OR 2 ORNAMENTAL PER 50 LF OF STREET FRONTAGE (210 LIN FT.)  
REQUIRED: 4 TREES OR 8 ORNAMENTAL TREES OR COMBINATION  
PROVIDED: 2 CANOPY TREES + 2 EXISTING CANOPY TREES
- C. 10 SHRUBS PER 50 LF OF STREET FRONTAGE (210 LIN. FT.)  
REQUIRED: 42 SHRUBS  
PROVIDED: 76 SHRUBS
- PARKING SCREENING  
A. 1 LARGE TREE PER 20 PARKING SPACES (40 SPACES) WITH NO PARKING SPACE LOCATED MORE THAN 100' FROM A LARGE TREE  
REQUIRED: 2 TREES  
PROVIDED: 2 TREES
- B. ALL SHRUBBERY FLOWERING PLANTS, AND TREES PLANTED IN PARKING LOT ISLANDS OR ADJACENT TO PARKING LOTS SHALL BE SETBACK 2' FROM ANY CURB WHERE VEHICLES MAY FACE.
- TREE PRESERVATION  
2 EXISTING 5" LIVE OAK TO REMAIN
- LANDSCAPE DOES NOT OBSTRUCT TRAFFIC VISIBILITY.

**Irrigation Requirements**

UNDERGROUND AUTOMATIC SPRINKLING SYSTEM PROVIDED.  
SYSTEM DESIGNED AND INSTALLED ACCORDING TO TCEQ LAWS AND REGULATIONS PROVIDING FOR 100% COVERAGE ON ALL LANDSCAPE AND TURF. THE SYSTEM SHALL INCLUDE A FREEZE-RAIN SENSOR.

**Site Location**



**Owner & Professionals Information**

OWNER  
TURBO RESTAURANTS  
3318 FOREST LANE, #200, DALLAS, TX 75234  
214-551-0921

ENGINEER  
ARTEC LLC  
6800 WEISKOPF AVE, SUITE 150,  
MCKINNEY, TEXAS 75070  
TPBE ENGINEERING FIRM F-16272972-731-2930

LANDSCAPE ARCHITECT  
FELDMAN DESIGN STUDIOS  
P.O. BOX 832346,  
RICHARDSON, TEXAS 75083  
ATTN: CAROL FELDMAN, 972-980-1710

**ZONING CASE ZC 2016-02  
LANDSCAPE PLANTING PLAN**

**LANDSCAPE PLAN**  
**ARBY'S RESTAURANT**  
8245 PRECINCT LINE ROAD  
NORTH RICHLAND HILLS, TEXAS

DATE: 2.4.16  
3.29.16

NO. 1. SITE PLAN SUBMITTAL  
2. REVISED PER COMMENTS  
3.  
4.  
5.  
6.  
7.

ITEM DESCRIPTION

DATE: 2.4.16  
3.29.16

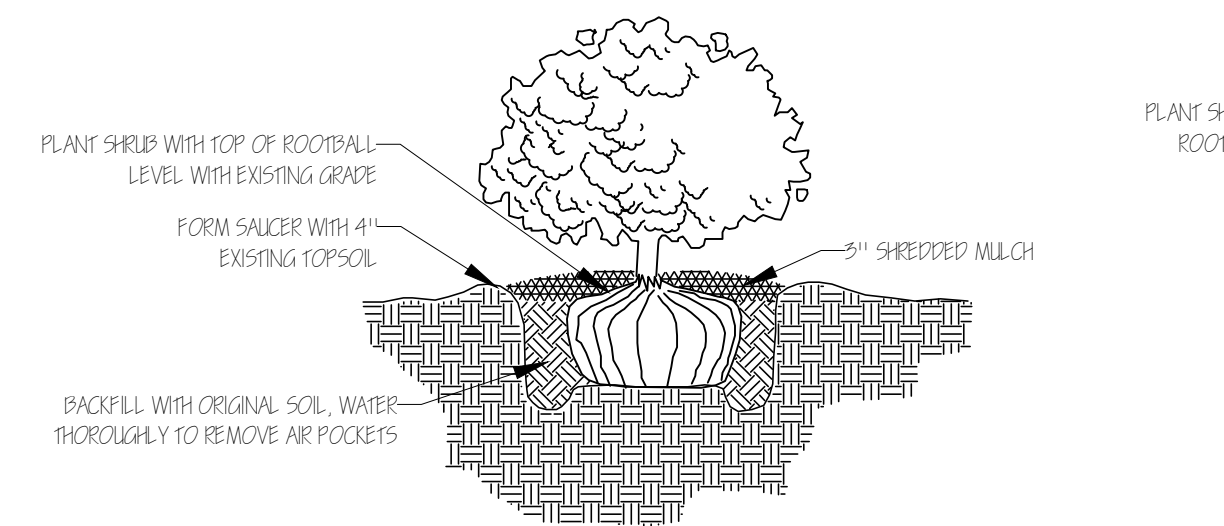
STATE OF TEXAS  
REGISTERED ARCHITECT  
2080  
Carol Feldman

These drawings have been prepared under the supervision of Carol Feldman, Registered Landscape Architect #2080, Licensed Irrigator L #20245.

**L1.01**

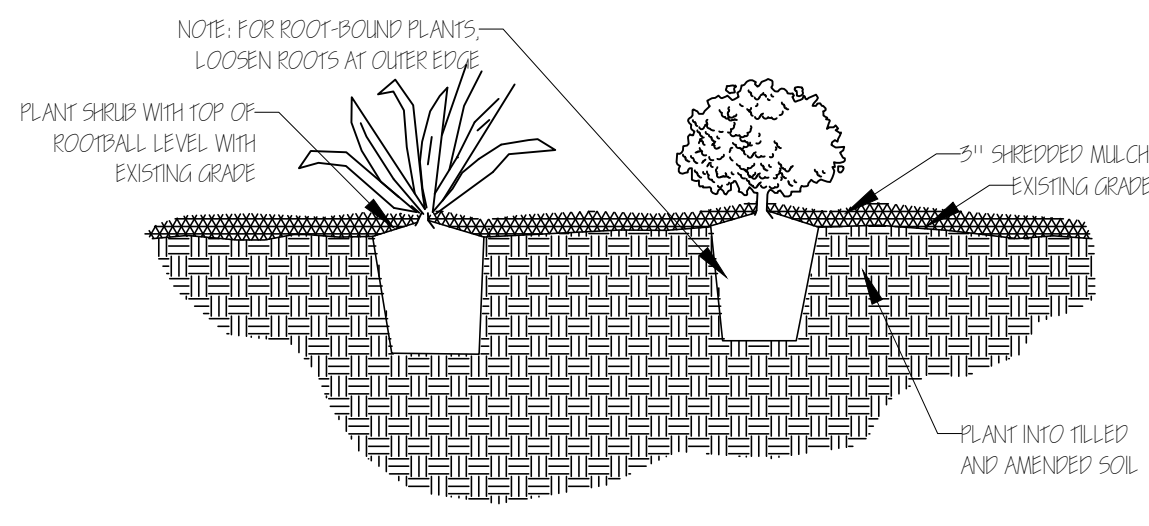
SHEET NO.





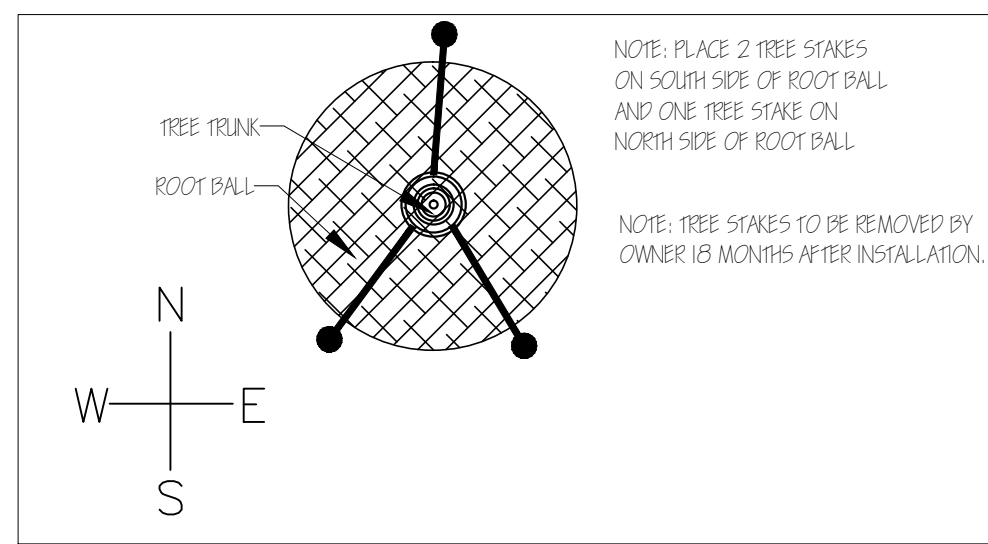
**SHRUB & ORNAMENTAL GRASS PLANTING DETAIL**

Scale: Not to scale



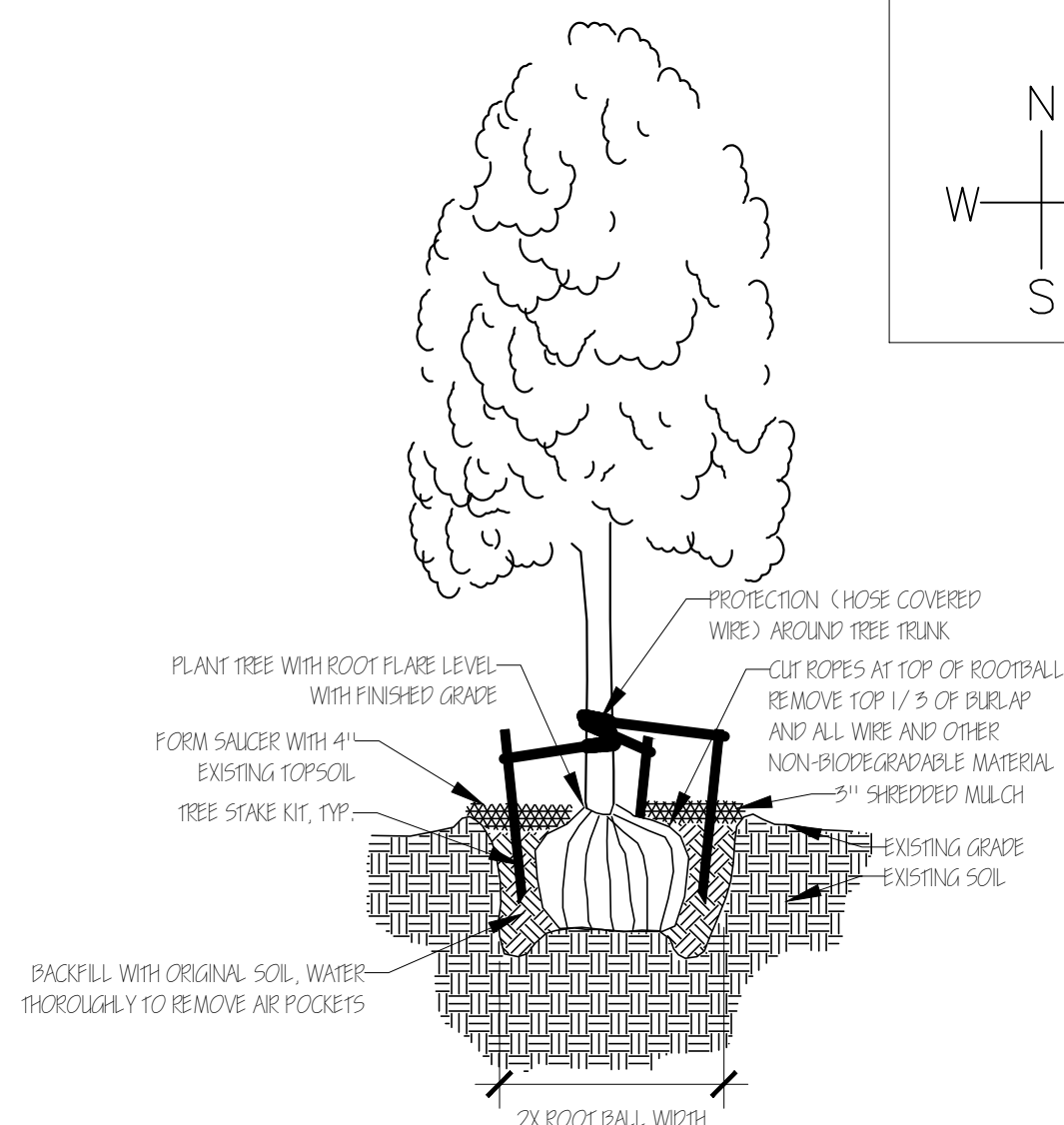
**PERENNIAL PLANTING DETAIL**

Scale: Not to scale



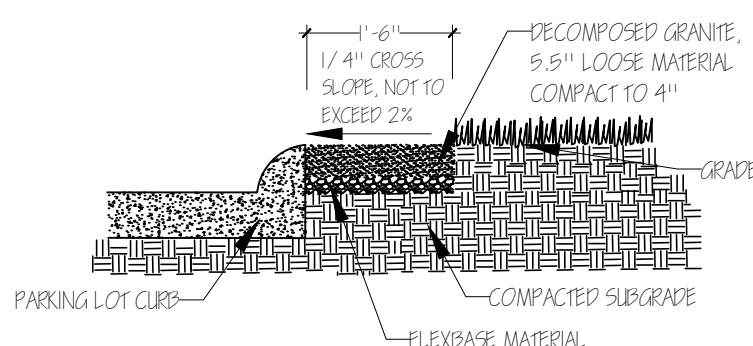
**TREE STAKE DETAIL**

Scale: 1/2"= 1'



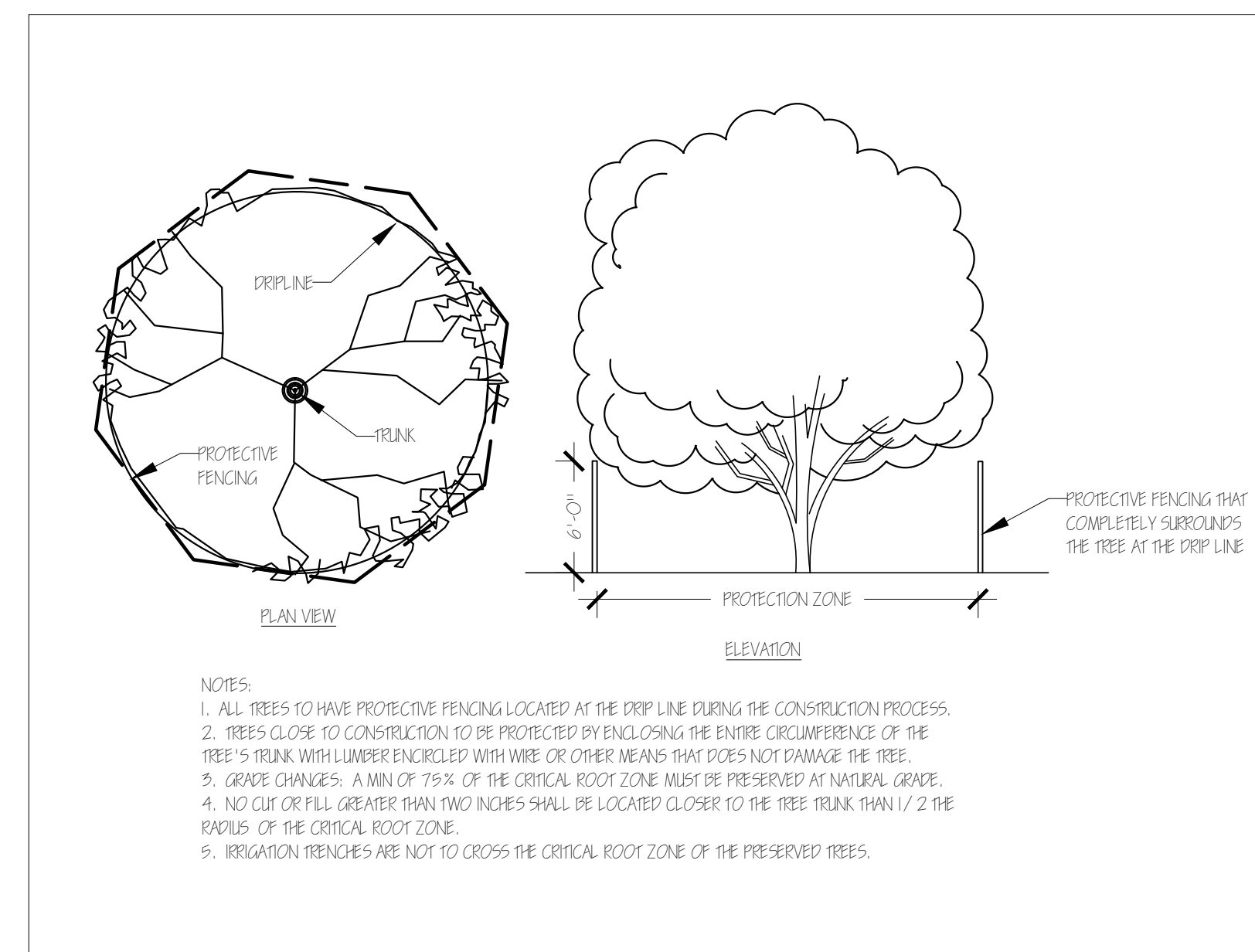
**TREE PLANTING**

Scale: Not to scale



**DECOMPOSED GRANITE**

Scale: 1/2"= 1'



**TREE PROTECTION**

Not to Scale

**SECTION 02910 - SOIL PREPARATION**

**PART 1 - GENERAL**

- A. DESCRIPTION
  1. PROVIDE COMPLETE GRADING AND SOIL PREPARATION, INCLUDING AMENDMENTS, AS SPECIFIED HEREIN.
  2. EXAMINE SITE TO VERIFY REQUIRED ROUGH GRADING HAS BEEN COMPLETED CORRECTLY PRIOR TO BED PREPARATION WORK.
  3. EXAMINE SITE TO VERIFY THAT ALL INVASIVE PLANTS AND THEIR ROOTS HAVE BEEN REMOVED PRIOR TO BED REPARATION WORK.
- B. APPROVALS
  1. ALL "APPROVED EQUAL" MATERIALS MUST BE APPROVED BY LANDSCAPE ARCHITECT.

**PART 2 - PRODUCTS**

- A. MATERIALS
  1. COMPOST:
    - 1.1. COTTON BUR COMPOST
    - 1.2. SHALL BE SUPPLIED BY: GREENSENSE COMPOST, GARLAND, TX, OR CLEAR FORK MATERIALS, ALEDO, TX, OR APPROVED EQUAL.
  2. FERTILIZERS AND SUPPLEMENTS:
    - 2.1. A 6-2-4 GRANULAR FERTILIZER WITH A WATER SOLUBLE SLOW RELEASE ORGANIC BASE SUCH AS GREENSENSE, OR SUSTANE, OR APPROVED EQUAL.
  3. MULCH
    - 3.1. SHALL BE SHREDDED HARDWOOD MULCH, SHREDDED CEDAR MULCH, SHREDDED NATIVE MULCH, OR APPROVED EQUAL.

**PART 3 - EXECUTION**

- A. BED PREPARATION AND PREPARATION FOR SOD INSTALLATION
  1. GENERAL
    - 1.1. INSPECT ALL EXISTING CONDITIONS AND OTHER ITEMS OF WORK PREVIOUSLY COMPLETED. DO NOT PROCEED UNTIL DEFECTS ARE CORRECTED.
    - 1.2. INSPECT THAT ALL INVASIVE PLANTS AND THEIR ROOTS HAVE BEEN REMOVED COMPLETELY.
    - 1.3. ALL AREAS TO BE PREPARED WITH ORGANIC TECHNIQUES ONLY.
  2. SHRUB BEDS:
    - 2.1. BREAK UP AND TILL EXISTING SOIL TO A DEPTH OF 6 INCHES.
    - 2.2. ADD A 3 INCH LAYER OF COMPOST TO THE BEDS.
    - 2.3. TILL EXISTING SOIL AND COMPOST TOGETHER TO A TOTAL OVERALL DEPTH OF 6 INCHES.
    - 2.4. RAKE OUT ROCKS AND CLODS AND FINE GRADE THE BEDS TO DRAIN IN APPROPRIATE DIRECTIONS.
    - 2.5. TOP-DRESS BED WITH A 3 INCH LAYER OF MULCH AFTER PLANTING.
  3. SOD AND SEED AREAS
    - 3.1. LIGHTLY CULTIVATE COMPACTED SOIL AND RAKE THE SOIL SMOOTH.
    - 3.2. ADD 1/2 INCH COMPOST TO ALL AREAS.
    - 3.3. FINE GRADE TO DRAIN IN APPROPRIATE DIRECTIONS.

**END OF SECTION 02910**

- NOTES**  
**GENERAL LANDSCAPE**
1. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND STRUCTURES WHETHER OR NOT SHOWN ON THE PLANS, AND SHALL BE RESPONSIBLE FOR DAMAGE TO SAID UTILITIES OR STRUCTURES CAUSED BY HIS/HER CREW AND SUBCONTRACTORS.
  2. NO PLANTING TO TAKE PLACE UNTIL OWNER HAS INSPECTED AND APPROVED THE BED PREPARATION.
  3. NO PLANTING TO TAKE PLACE UNTIL OWNER HAS INSPECTED AND APPROVED ALL PLANT MATERIAL AND ALL PLANT PLACEMENT. FIELD ADJUSTMENTS OF PLANT LOCATIONS TO BE COORDINATED WITH OWNER.
  4. ALL CANOPY AND ORNAMENTAL TREES TO BE STAKED (SEE DETAIL.)
  5. BOULDERS AND NATURAL ROCK MATERIAL USED IN BEDS AND SHALL BE REVIEWED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR FAILURE TO OBTAIN OWNER'S REVIEW OF THE ROCK QUALITY AND POSITIONING AND IS RESPONSIBLE FOR ANY MODIFICATIONS REQUIRED. ALL BOULDERS TO BE "PLANTED" A MINIMUM OF 4 INTO THE PLANTING BEDS.
  6. ALL LAWN AND LANDSCAPE BED AREAS ARE TO BE SEPARATED BY 14 GAUGE EDGING UNLESS OTHERWISE NOTED ON THE PLANS.

**SECTION 02915 - LANDSCAPE PLANTING**

**PART 1 - GENERAL**

- A. SPECIAL CONDITIONS
  1. COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK.
  2. EMPLOY ONLY EXPERIENCE PERSONNEL FAMILIAR WITH REQUIRED WORK. PROVIDE ADEQUATE SUPERVISION BY A QUALIFIED FOREMAN WITH A MINIMUM OF TEN(10) YEARS EXPERIENCE WITH PROJECTS OF SIMILAR COMPLEXITY.
  3. DO NOT MAKE SUBSTITUTIONS OF TREE, SHRUB AND GRASS MATERIALS. IF REQUIRED MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON-AVAILABILITY TO OWNER'S REPRESENTATIVE.
  4. PROVIDE QUANTITY, SIZE, GENUS, SPECIES AND VARIETY OF TREES AND SHRUBS INDICATED AND SCHEDULED FOR LANDSCAPE WORK WHICH COMPLY WITH APPLICABLE REQUIREMENTS OF ANSI Z60.1 AMERICAN STANDARD FOR NURSERY STOCK, AND ANY APPLICABLE STATE AND FEDERAL LAWS CONCERNING DISEASE AND INSECT INFESTATION.
- B. REFERENCE STANDARDS
  1. AMERICAN STANDARD FOR NURSERY STOCK, APPROVED NOV. 6, 1996 BY AMERICAN NATIONAL STANDARDS INSTITUTE, INC.
  2. SHINNERS & MAHLER'S, ILLUSTRATED FLORA OF NORTH CENTRAL TEXAS, BOTANICAL RESEARCH INSTITUTE OF TEXAS (BRIT), FORT WORTH, TEXAS, 1999.
  3. HORTUS THIRD, CORNELL UNIVERSITY, 1967.

- C. PREPARATION
  4. COORDINATION WITH BUILDING AND ENGINEERING PROJECT ACTIVITIES.
  5. COORDINATE THE WORK OF THIS SECTION WITH THAT OF REGULAR AND EMERGENCY WATER UTILITY ACTIVITIES ON THE SITE.
  6. COORDINATION WITH IRRIGATION SYSTEM:
    - 6.1. THE UNDERGROUND IRRIGATION SYSTEM MUST BE INSTALLED PRIOR TO COMMENCEMENT OF THE PLANTING OPERATIONS.
    - 6.2. THE IRRIGATION SYSTEM SHALL BE OPERATIONAL AT THE TIME THAT PLANTING OPERATIONS COMMENCE.
    - 6.3. COORDINATE WORK WITH THE IRRIGATION CONTRACTOR TO PREVENT DAMAGE TO THE IRRIGATION SYSTEM.

- D. ALL PLANT MATERIALS FOR THIS PROJECT SHALL BE NURSERY-GROWN, INCLUDING TREES
  1. CONTAINER GROWN PLANTS SHALL HAVE BEEN STEPPED-UP AS NECESSARY TO PREVENT ROOT GIRDLING.
  2. CONTAINER GROWN PLANTS SHALL HAVE BEEN IN THE CONTAINER FOR A MINIMUM OF SIX (6) MONTHS PRIOR TO DELIVERY TO THE SITE TO ENSURE ADEQUATE ROOT DEVELOPMENT.
  3. THE "ROOT FLARE" OF ALL TREES AND SHRUBS SHALL NOT BE COVERED WITH SOIL.

- E. THE FOLLOWING TREE CARE PROCEDURES SHALL BE ADHERED TO:
  1. DO NOT MAKE FLUSH CUTS OR LEAVE STUBS WHEN PRUNING. LEAVE THE BRANCH COLLAR INTACT.
  2. DO NOT USE ANY TYPE OF PRUNING PAINT ON WOUNDS.
  3. DO NOT USE ANY TYPE OF TREE WRAP, EXCEPT, TRUNKS MAY BE WRAPPED WITH BURLAP DURING PLANTING OPERATIONS ONLY.
  4. TREE STAKING MAY BE NECESSARY TO PRESERVE A TREE THAT IS IN A POSITION TO BLOW OVER. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY TREES THAT NEED STAKING FOR A PERIOD OF ONE YEAR.
  5. DO NOT HANDLE ANY TREE BY ITS TRUNK. ANY TREE HANDLED IN SUCH A MANNER SHOULD BE REJECTED.

- F. WARRANTY
  1. UNCONDITIONALLY WARRANT ALL PLANTS FOR A PERIOD OF ONE (1) YEAR AFTER THE DATE OF INSTALLATION INITIAL ACCEPTANCE. REPLACE MATERIALS NOT IN VIGOROUS, THRIVING CONDITION AS SOON AS WEATHER PERMITS AFTER NOTIFICATION BY OWNERS THAT THE PLANTS HAVE DIED OR ARE OTHER WISE NOT ACCEPTABLE. GUARANTEE REPLACEMENT PLANTS FOR ONE YEAR, STARTING FROM THE DATE REPLACEMENT IS MADE.
  2. WARRANTY EXCLUDES REPLACEMENT OF PLANTS BECAUSE OF INJURY BY STORM, NATURAL DROUGHT, DROWNING, HAIL FOR FREEZING, IF REASONABLE CARE WAS TAKEN TO ADEQUATELY PROTECT THE MATERIAL, AND IN THE OPINION OF THE OWNER'S REPRESENTATIVE THAT THE PROBLEM OCCURRED AFTER THE DATE OF INITIAL ACCEPTANCE.

**PART 3 - EXECUTION**

- A. PREPARATION FOR PLANT MATERIAL INSTALLATION
  1. EXAMINE THE SUB-GRADE UPON WHICH THE WORK IS TO BE PERFORMED, VERIFY GRADE ELEVATIONS, AND VERIFY THAT BEDS HAVE BEEN LEFT LOW BY OTHER TRADES. OBSERVE THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND CONFIRM THAT UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED PRIOR TO PROCEEDING.
- B. TIME OF PLANTING
  1. CARE IS TO BE TAKEN SO THAT NO PLANTS SIT IN POTS IN THE SUMMER HEAT FOR MORE THAN 1 HOUR. IF PLANTING DURING HOT SEASONS (NOT PREFERRED) PLANTING IS TO BE DONE IN SMALL SECTIONS WITH STOCKPILED PLANTS TO BE PROTECTED FROM THE SUMMER HEAT (SHADE AREAS).
- C. TREE PLANTING
  1. STAKE LOCATIONS FOR TREES PRIOR TO DIGGING HOLES.
  2. MINIMUM OF TWICE THE WIDTH OF THE TREE BALL. A PEDESTAL SHOULD BE LEFT IN THE CENTER OF THE HOLE AND THE TREE BALL SET UPON THAT PEDESTAL.
  3. SET PLANTS IN THE CENTER OF THE HOLE AND ON THE PEDESTAL, PLUM AND VERTICAL, AND AT SUCH A DEPTH THAT THE CROWN OF THE TREE BALL WILL BE LEVEL WITH THE SURROUNDING GRADE.
  4. ALL PLANTS SHALL BE SET TO MEET THE SAME RELATIONSHIP TO THE FINISHED GRADE OF THE SURROUNDING SOIL THAT THEY BORE TO PREVIOUS EXISTING GRADE OF SOIL.
  5. BACKFILL WITH EXISTING TOPSOIL AND WATER IMMEDIATELY.
  6. FORM A SHALLOW BASIN SLIGHTLY LARGER THAN THE PIT TO FACILITATE WATERING. REMOVE PRIOR TO MULCHING.
  7. COVER ALL TREE BALLS WITH A MINIMUM OF 3 OF SPECIFIED MULCH. EXTEND MULCH OUT TO THE EDGE OF THE TREE PIT, BUT KEEP AWAY FROM TRUNKS.
  8. ALL EXCAVATED MATERIAL UNACCEPTABLE FOR REUSE SHALL BE DISPOSED OF OFF SITE, OR AS DIRECTED BY THE OWNER.
- D. SHRUBS, TALL GRASSES AND PERENNIAL PLANTING
  1. REMOVE CONTAINER AND SET PLANT MATERIAL AT SUCH A LEVEL THAT AFTER SETTLEMENT, THE CROWN OF THE BALL WILL BE AT FINISHED GRADE.
- E. SOD PLANTING
  1. LAY SOD IN AN ORDERLY MANNER TO COVER ALL BARE SOIL AREAS.
  2. WATER ALL AREAS OF THE SOD UNTIL THOROUGHLY WET.
  3. ROLL SOD WITH A SOD ROLLER AFTER 24 HOURS AFTER LAYING AND WATERING SOD TO OBTAIN A UNIFORM, SMOOTH FINISH.
  4. FILL JOINTS WITH COMPOST IF NECESSARY TO FORM A UNIFORM GRASS LAYER.
  5. KEEP SOD ADEQUATELY WATERED UNTIL SOD MAKES A FIRM CONNECTION TO THE SOIL.

**END OF SECTION 02915**

**Owner & Professionals Information**

<b>OWNER</b>	
TURBO RESTAURANTS 3318 FOREST LANE, #300, DALLAS, TX 75234 214-551-0921	
<b>ENGINEER</b>	<b>LANDSCAPE ARCHITECT</b>
ARTEC LLC 6800 WISKOPF AVE, SUITE 150, MCKINNEY, TEXAS 75070 TBPE ENGINEERING FIRM F-16272972-731-2930	FELDMAN DESIGN STUDIOS P.O. BOX 832346, RICHARDSON, TEXAS 75083 ATTN: CAROL FELDMAN, 972-980-1740

**ZONING CASE ZC 2016-02  
LANDSCAPE DETAILS**



These drawings have been prepared by or under the supervision of Carol Feldman, Registered Landscape Architect #2080, License #20245



**LANDSCAPE PLAN**  
**ARBY'S RESTAURANT**  
8200 PRECINCT LINE ROAD  
NORTH RICHLAND HILLS, TEXAS

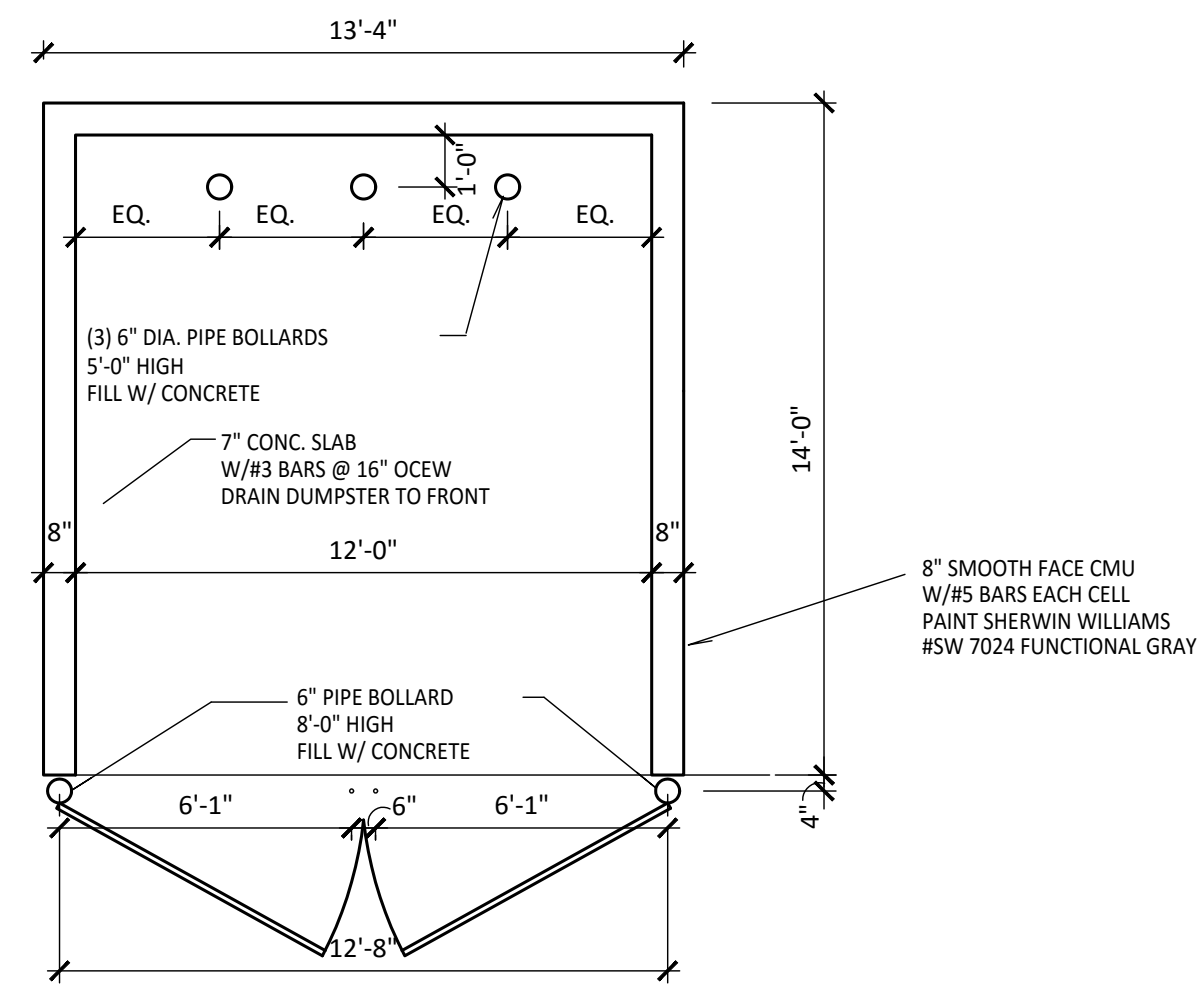
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**L1.02**

NO.	ITEM DESCRIPTION	DATE:
1.	SITE PLAN SUBMITTAL	2.4.16
2.	REVISED PER COMMENTS	3.29.16
3.		
4.		
5.		
6.		
7.		

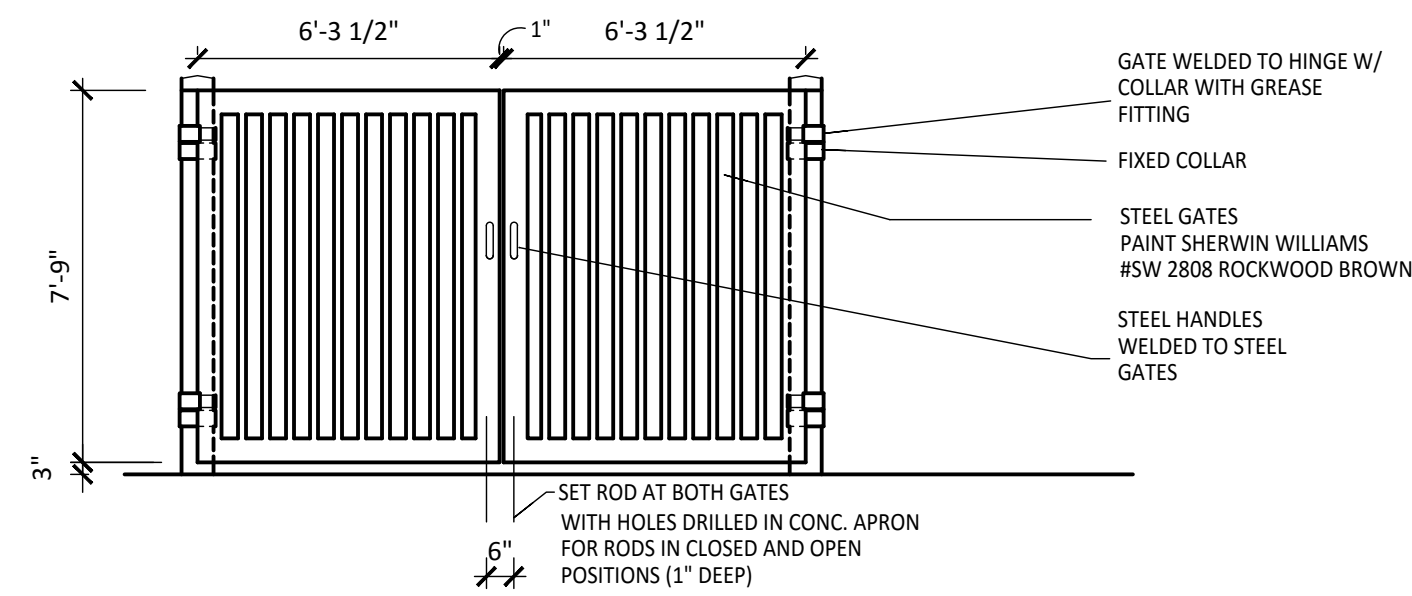
FELDMAN  
DESIGN STUDIOS  
P.O. Box 852246, Richardson, Texas 75085  
Phone: 972.980.1750 Fax: 972.980.1740  
info@feldmandesign.com



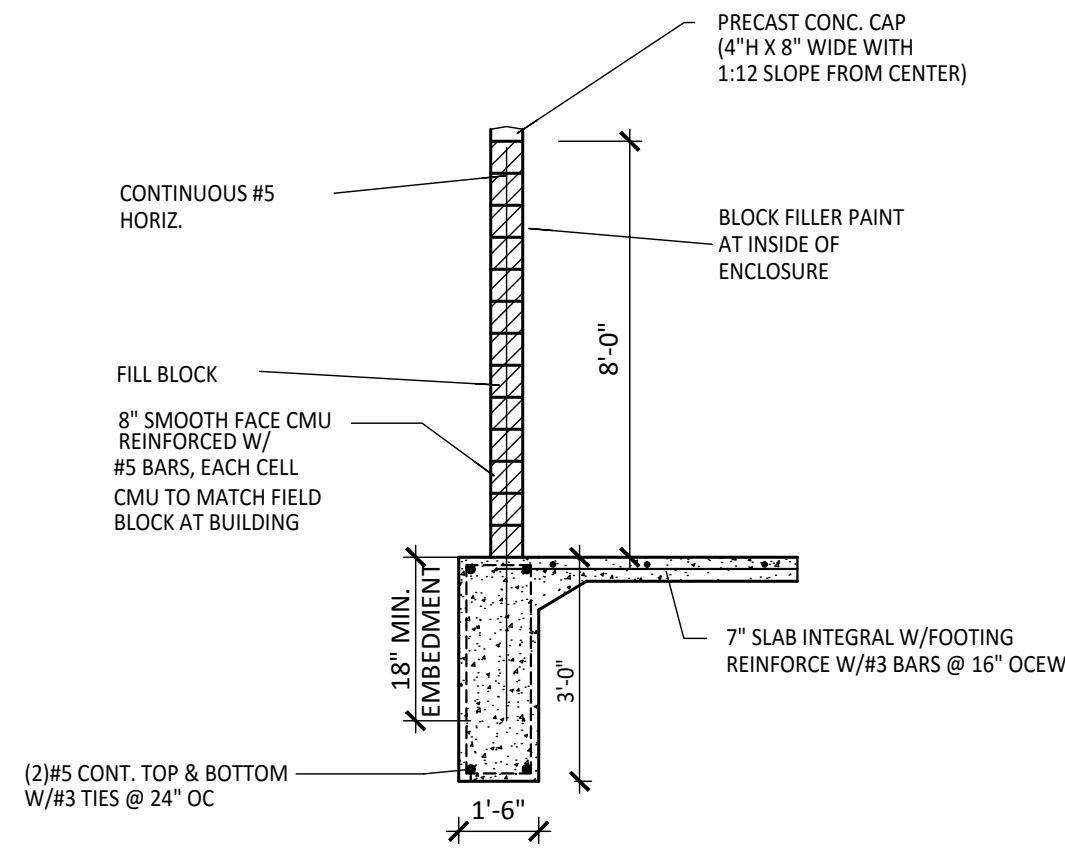


**1**  
SD-1  
**PLAN AT DUMPSTER**  
1/4" = 1'-0"

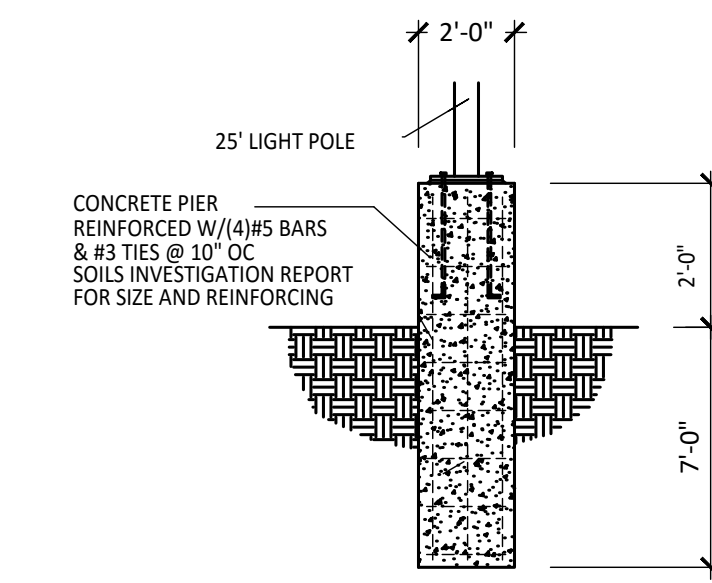
NOTE: PROVIDE DOUBLE WIDTH DUMPSTER AT LOCATIONS REQUIRING RECYCLING CENTER



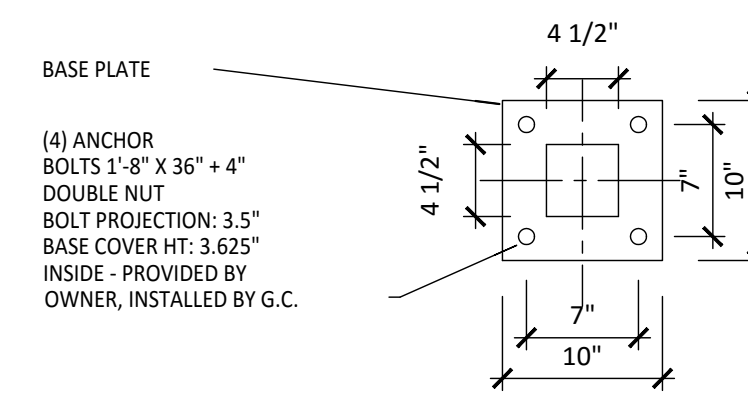
**1A**  
SD-1  
**DUMPSTER ELEVATION**  
1/4" = 1'-0"



**3**  
SD-1  
**DUMPSTER WALL SECTION**  
1/4" = 1'-0"

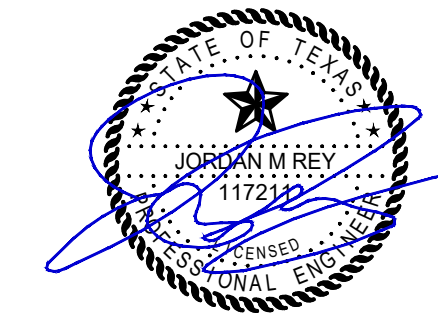


**4**  
SD-1  
**LIGHT POLE BASE**  
1/4" = 1'-0"



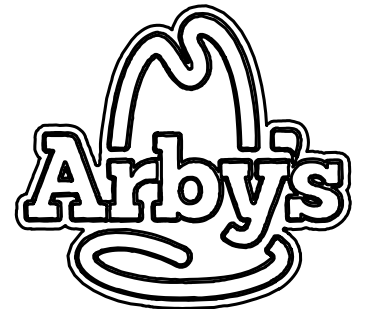
**5**  
SD-1  
**LIGHT POLE BOLT PATTERN**  
N.T.S.

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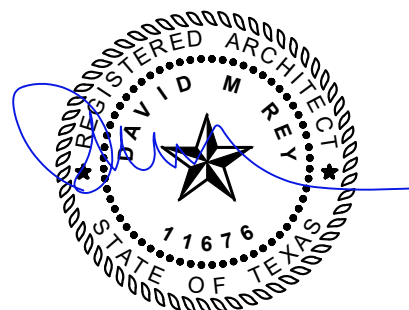


ARTEC LLC  
6800 WEISKOPF AVE  
SUITE 150  
MCKINNEY, TEXAS 75070  
TBPE ENGINEERING FIRM F-16272  
TBAE ARCHITECTURAL FIRM BR 1707  
www.theartecedge.com  
214.721.0732

INFORMATION



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ARBY'S RESTAURANT GROUP  
LOT 2, BLOCK 1  
WAL-MART ADDITION KNOWN AS  
8245 PRECINCT LINE ROAD  
NORTH RICHLAND HILLS, TEXAS 76182

TURBO RESTAURANTS  
3318 FOREST LANE, SUITE 200  
DALLAS, TEXAS 75234

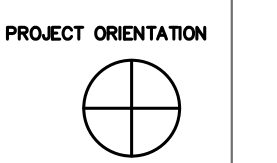
PROJECT DATA

PROJECT ISSUE DATES

SHEET DATA

ARTEC PROJECT NO. 16-110 CLIENT PROJECT NO. FILE NO.

SHEET REVISIONS MARK DATE DESCRIPTION

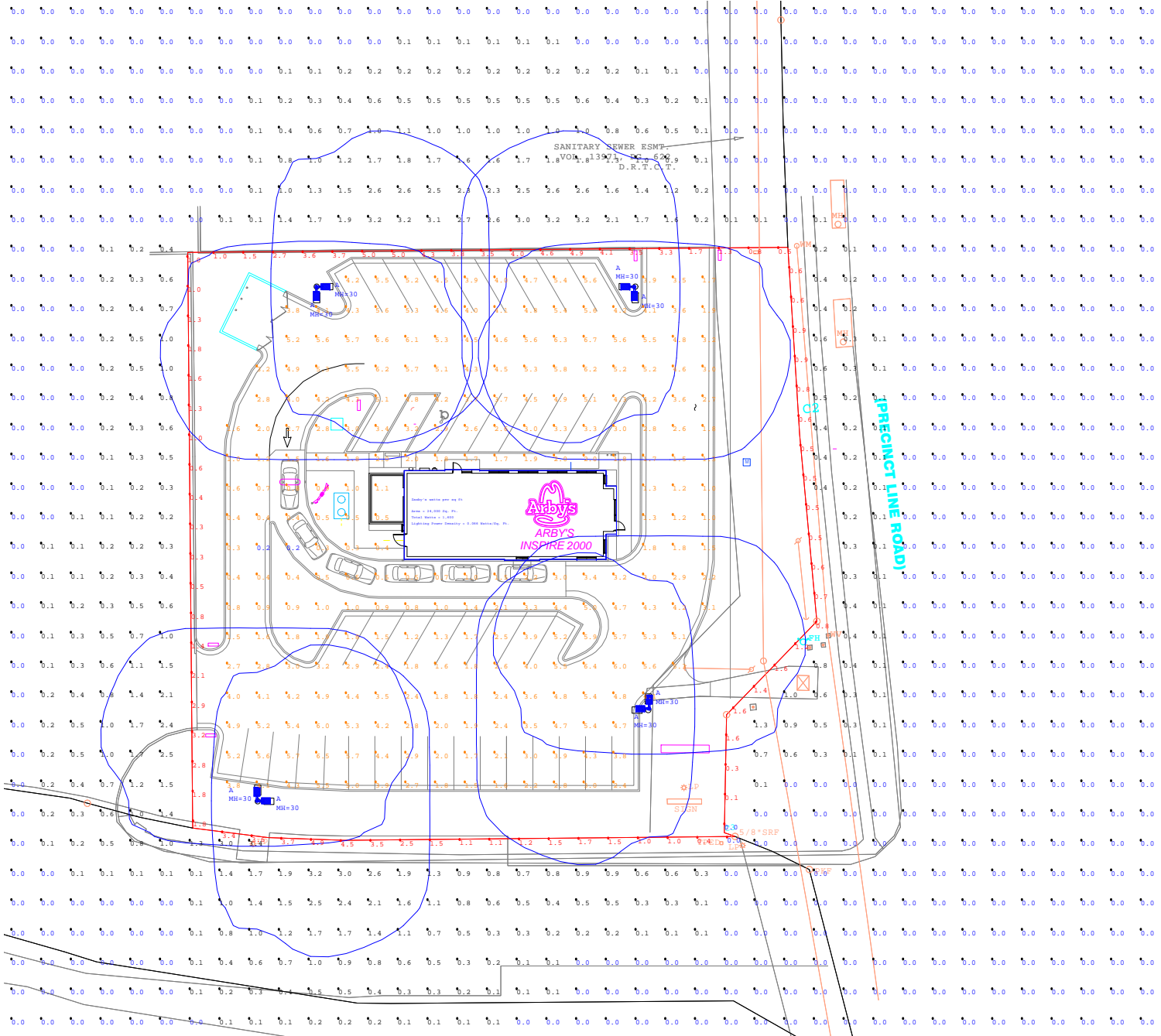


DRAWN BY RGM CHECKED BY JR MANAGER JR

CASE ZC 2016-02

DATE: 3/29/2016

**SD-1**



Luminaire Schedule		Label	Lumens	LLP	Description	Watts
Symbol	Qty	A	-1	0.850	SS2-B16-6K-UN-FR-NL	200

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
Beyond prop line	0.14	3.4	0.0	N.A.	N.A.
Property line	1.84	5.0	0.0	N.A.	N.A.
Parking lot	3.21	6.7	0.2	16.05	33.50

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220 Chrysler Drive  
 Brampton, Ontario  
 L6S 6B6  
 Tel: (905) 792-7335  
 email:ljorge@  
 junolightinggroup.com

Client:  
 SMART LIGHTING SOLUTIONS  
 MR. RANDY PARRISH

Project:  
 ARBY'S NORTH RICHLAND HILLS TX  
 PRECINCT LINE ROAD  
 MAINTAINED HORIZONTAL FC  
 SHOWN AT GRADE LEVEL

Scale:  
 Date: 2016-02-19  
 Project No:  
 16-51-SMART1 (4868)  
 Drawn by: LJ

The calculation and results thereof, shown in this report, are based on information provided by the customer. The output figures are only as accurate as the input data. Therefore design parameters such as room reflectances, size, mounting height, depreciation factors, orientation and tilt must be verified. Juno Lighting Group disclaims all implied warranties with regard to actual installed light levels as compared to those calculated based on inaccurate or incomplete data