

**ORDINANCE NO. 3577
CASE SUP 2019-02**

AN ORDINANCE OF THE CITY OF NORTH RICHLAND HILLS, TEXAS, AMENDING THE COMPREHENSIVE PLAN AND THE COMPREHENSIVE ZONING ORDINANCE BY APPROVING A SPECIAL USE PERMIT TO ALLOW A MICROBREWERY AND BREWPUB TO BE LOCATED AT 7924 MAPLEWOOD AVENUE; PROVIDING THAT THIS ORDINANCE SHALL BE CUMULATIVE OF ALL ORDINANCES; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY FOR VIOLATIONS HEREOF; PROVIDING A SAVINGS CLAUSE; PROVIDING FOR PUBLICATION; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City of North Richland Hills, Texas is a home-rule municipality located in Tarrant County, Texas acting under its charter adopted by the electorate pursuant to Article XI, Section 5 of the Texas Constitution and Chapter 9 of the Local Government Code; and

WHEREAS, the Zoning Ordinance of the City of North Richland Hills regulates and restricts the location and use of buildings, structures, and land for trade, industry, residence, and other purposes, and provides for the establishment of zoning districts of such number, shape, and area as may be best suited to carry out these regulations; and

WHEREAS, the City Council has previously passed an ordinance adopting a Comprehensive Land Use Plan Map as the primary document on which to base all zoning, platting, and other land use decisions; and

WHEREAS, the owner of the property located at 7924 Maplewood Avenue (the "Property") has filed an application for a Special Use Permit for a microbrewery and brewpub; and

WHEREAS, the Planning and Zoning Commission of the City of North Richland Hills, Texas held a public hearing on March 21, 2019, and the City Council of the City of North Richland Hills, Texas, held a public hearing on April 8, 2019, with respect to the Special Use Permit described herein; and

WHEREAS, the City has complied with all requirements of Chapter 211 of the Local Government Code, the Zoning Ordinance of the City of North Richland Hills,

and all other laws dealing with notice, publication, and procedural requirements for rezoning the Property; and

WHEREAS, upon review of the application, and after such public hearing, the City Council finds that granting the request herein furthers the purpose of zoning as set forth in the Zoning Ordinance of the City of North Richland Hills and that the zoning change should be granted, subject to the conditions imposed herein.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NORTH RICHLAND HILLS, TEXAS:

Section 1: That the Zoning Ordinance of the City of North Richland Hills is hereby amended by approving a special use permit to authorize a microbrewery and brewpub on Lots 2R and 6, Block 23, Clearview Addition, commonly referred to as 7924 Maplewood Avenue, as described and shown on **Exhibit "A,"** attached hereto and incorporated for all purposes.

Section 2: The City Council finds that the information submitted by the applicant pursuant to the requirements of the Zoning Ordinance is sufficient to approve the Special Use Permit in accordance with the Land Use and Development Regulations, set forth in **Exhibit "B,"** and the Site Plan Exhibits, set forth in **Exhibit "C,"** both of which are attached hereto and incorporated for all purposes.

Section 3: That the official map of the City of North Richland Hills is amended and the Planning Director is directed to revise the official zoning map to reflect the approved special use permit, as set forth above.

Section 4: The use of the property described above shall be subject to all applicable regulations contained in the Building and Land Use Regulations and all other applicable and pertinent ordinances of the City of North Richland Hills.

Section 5: This Ordinance shall be cumulative of all provisions of ordinances and of the Code of Ordinances of the City of North Richland Hills, Texas, as amended, except when the provisions of this Ordinance are in direct conflict with the provisions of such ordinances and such code, in which event the conflicting provisions of such ordinances and such code are hereby repealed.

Section 6: It is hereby declared to be the intention of the City Council that the sections, paragraphs, sentences, clauses, and phrases of this Ordinance are severable, and if any section, paragraph, sentence, clause, or phrase of this

Ordinance shall be declared unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining sections, paragraphs, sentences, clauses, and phrases of this Ordinance, since the same would have been enacted by the City Council without the incorporation in this Ordinance of any such unconstitutional section, paragraph, sentence, clause or phrase.

Section 7: Any person, firm or corporation violating any provision of the Zoning Ordinance and the zoning map of the City of North Richland Hills as amended hereby shall be deemed guilty of a misdemeanor and upon final conviction thereof fined in an amount not to exceed Two Thousand Dollars (\$2,000.00). Each day any such violation shall be allowed to continue shall constitute a separate violation and punishable hereunder.

Section 8: All rights and remedies of the City of North Richland Hills are expressly saved as to any and all violations of the provisions of any ordinances governing zoning that have accrued at the time of the effective date of this Ordinance; and, as to such accrued violations and all pending litigation, both civil and criminal, whether pending in court or not, under such ordinances, same shall not be affected by this Ordinance but may be prosecuted until final disposition by the courts.

Section 9: The City Secretary is hereby authorized and directed to cause the publication of the descriptive caption and penalty clause of this ordinance two times.

Section 10: This ordinance shall be in full force and effect immediately following publication as required by Section 9 hereof.

AND IT IS SO ORDAINED.

PASSED AND APPROVED on this the 8th day of April, 2019.

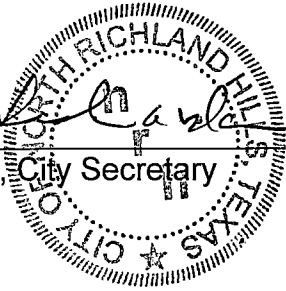
CITY OF NORTH RICHLAND HILLS

By: _____

Oscar Trevino, Mayor

ATTEST:


Alicia Richardson, City Secretary



APPROVED AS TO FORM AND LEGALITY:


Maleshia B. McGinnis, City Attorney

APPROVED AS TO CONTENT:


Clayton Comstock, Planning Director

Exhibit A – Property Description – Ordinance No. 3577 – Page 1 of 1

Special Use Permit Case SUP 2019-02
Lots 2R and 6, Block 23, Clearview Addition
7924 Maplewood Avenue, North Richland Hills, Texas

Being Lot 2R, Block 23, Clearview Addition, in the City of North Richland Hills, Tarrant County, Texas, according to the plat recorded in Volume 388-48, Page 173, Plat Records, Tarrant County, Texas.

Being Lot 6, Block 23, Clearview Addition, in the City of North Richland Hills, Tarrant County, Texas, according to the plat recorded in Volume 388-25, Page 100 Plat Records, Tarrant County, Texas.

Exhibit B – Land Use and Development Regulations – Ordinance No. 3577 – Page 1 of 2

Special Use Permit Case SUP 2019-02
Lots 2R and 6, Block 23, Clearview Addition
7924 Maplewood Avenue, North Richland Hills, Texas

This Special Use Permit (SUP) shall adhere to all the conditions of the North Richland Hills Code of Ordinances, as amended, and the base zoning district of C-2 Commercial. The following regulations shall be specific to this Special Use Permit. Where these regulations conflict with or overlap another ordinance, easement, covenant or deed restriction, the more stringent restriction shall prevail.

- A. *Permitted use.* A special use permit is authorized for a microbrewery on the property.
- B. *Site development standards.* Development of the property shall comply with the development standards of the C-2 Commercial zoning district and the standards described below.
1. The site improvements must be constructed as shown on the site plan attached as Exhibit "C."
 2. Landscaping must be installed as shown on the site plan attached as Exhibit "C." The landscaping must be installed prior to the issuance of a certificate of occupancy.
 3. Exterior lighting must comply with the requirements of Section 118-728 of the zoning ordinance.
 4. The installation or use of luminous tube lighting on the windows and doors of the building is prohibited.
 5. The following improvements must be completed within one year of the issuance of the certificate of occupancy of the building.
 - a. Eight (8) trees must be planted in the buffer yard area located adjacent to the west property line, as shown on the site plan attached as Exhibit "C."
 - b. An automatic underground irrigation system with rain and freeze sensors must be installed in the buffer yard area located adjacent to the west property line.
 - c. The enclosure for the refuse container must be constructed. The enclosure must comply with the standards contained in Section 118-874 of the zoning ordinance.
- C. *Building design standards.* Building design and appearance shall comply with the building elevations attached as Exhibit "C" and the standards described below.
1. The building design and appearance must be as shown on the site plan attached as Exhibit "C."
 2. A painted mural is permitted on the north façade of the building, subject to the following standards.
 - a. The size of the mural must not exceed sixty percent (60%) of the wall area of the north façade. The mural must not display or connote a commercial message.
 - b. The final design must be submitted for review and approval by the Development Review Committee.

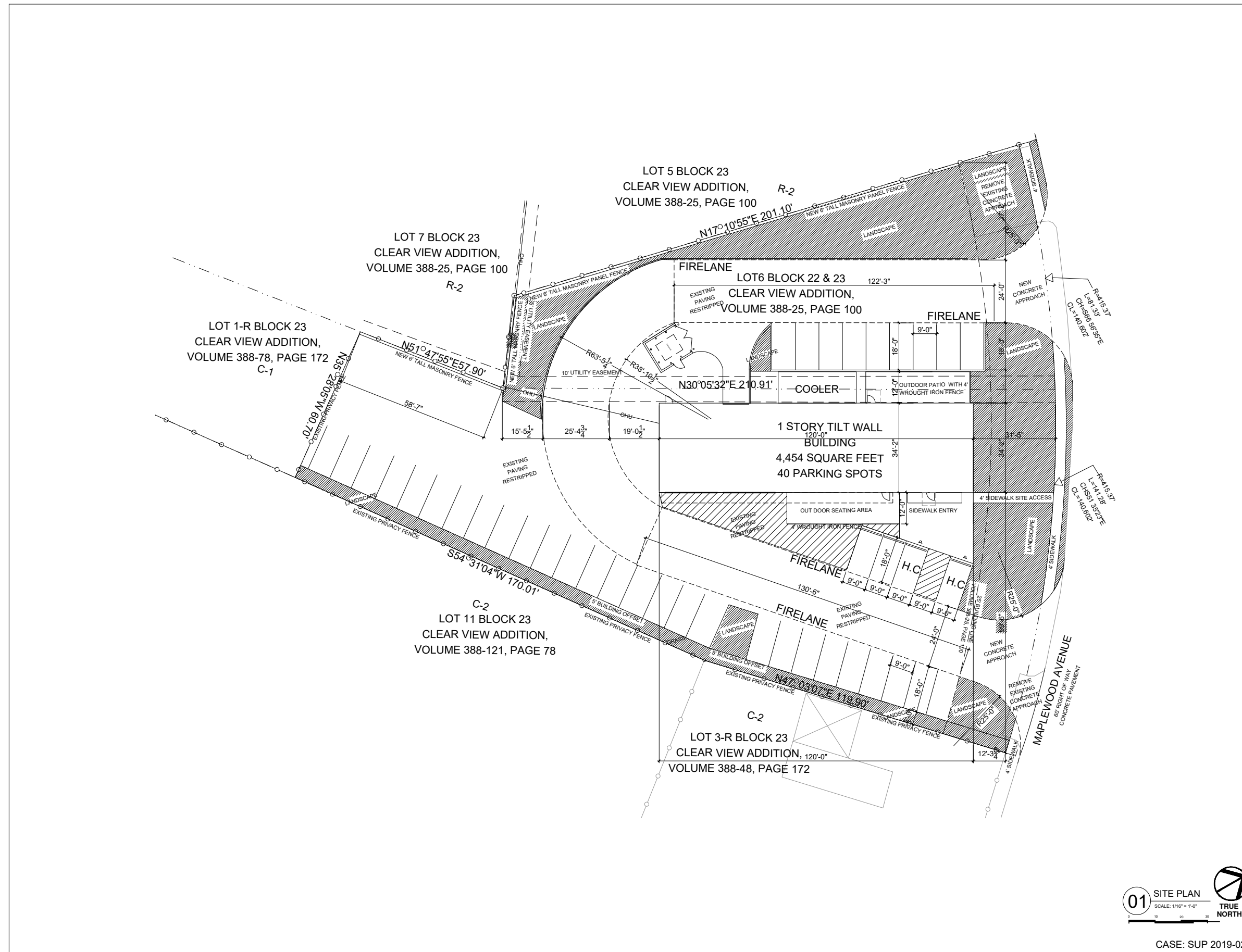
Exhibit B – Land Use and Development Regulations – Ordinance No. 3577 – Page 2 of 2


Special Use Permit Case SUP 2019-02
Lots 2R and 6, Block 23, Clearview Addition
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- c. Written permission from the original artist must accompany the design submittal.
- D. *Operational standards.* The operation of the microbrewery and brewpub must comply with the standards described below.
1. Outdoor speakers are prohibited on the outdoor seating area located on the west side of the building.
 2. The outdoor seating area located on the west side of the building must not be open later than 9:30 PM.
- E. *Expiration.* The special use permit will expire three (3) years from the effective date of this ordinance. If the microbrewery and brewpub is still in operation at the time of expiration, the business shall be considered a legal non-conforming use and may continue operation subject to the standards described in Section 118-153 of the zoning ordinance.
- F. *Administrative Approval of Site Plans.* The development is subject to final approval of a site plan package. Site plans that comply with all development-related ordinances, and this Ordinance may be administratively approved by the Development Review Committee.

The city manager or designee may approve minor amendments or revisions to the Special Use Permit standards provided the amendment or revisions does not significantly:

1. Alter the basic relationship of the proposed uses to adjacent uses;
2. Change the uses approved;
3. Increase approved densities, height, site coverage, or floor areas;
4. Significantly decrease on-site parking requirements;
5. Reduce minimum yards or setbacks; or
6. Change traffic patterns.





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2/18/2019

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7924 MAPLEWOOD AVENUE
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FALSE IDOL BREWERY
7924 MAPLEWOOD AVE.
NORTH RICHLAND HILLS, TX


SITE PLAN INFORMATION:
TOTAL ACREAGE OF SITE: 40,327 SF
TOTAL SQUARE FOOTAGE OF SITE: 40,327 SF
PROPOSED LOT ZONING: SUP
TOTAL BUILDING SQUARE FOOTAGE: 4,454 SF
TOTAL NUMBER OF PROVIDED PARKING: 40

Drawn By	CRA-MLP
Checked By	GAW
Project No.	18-44

Revisions	No.	Date	Description

Issued: ZONING CHANGE APPLICATION 12/04/2018

ARCHITECTURAL SITE PLAN
A1.01
Sheet Number

01 SITE PLAN
SCALE: 1/16" = 1'-0"



TRUE NORTH

CASE: SUP 2019-02

<p>LEGAL DESCRIPTION:</p> <p>LEGAL JURISDICTION: CITY OF NORTH RICHLAND HILLS, TX</p> <p>BUILDING ADDRESS: 7924 MAPLEWOOD AVENUE NORTH RICHLAND HILLS, TX 796108</p> <p>OWNER/ DEVELOPER :</p> <p>FALSE IDOL BREWING</p> <p>OWNER CONTACT INFORMATION:</p> <p>FALSE IDOL BREWING BRANDON PITZER 7924 MAPLEWOOD AVENUE NORTH RICHLAND HILLS, TX 76180 PHONE: EMAIL:BPITXER56@GMAIL.COM</p>	<p>DESIGN PROFESSIONAL:</p> <p>WARD ARCHITECTURE, PLLC.</p> <p>DESIGN CONTACT INFORMATION:</p> <p>ARCHITECT: GERALD A. WARD</p> <p>5004 THOMPSON TERRACE #107 COLLEYVILLE, TEXAS 76034</p> <p>PHONE: 817-281-5600 EMAIL: GERALD@WARDARCHITECTUREPLLC.COM</p>	<p>SITE DATA SUMMARY:</p> <table border="1"> <tr> <td>EXISTING ZONING:</td> <td>C-1</td> </tr> <tr> <td>LOT AREA (ACRES OR SQ FOOTAGE):</td> <td>40,327 SF</td> </tr> <tr> <td>LOT COVERAGE (PERCENT BUILDING COVER):</td> <td>4,454 SF</td> </tr> <tr> <td>AREA OF IMPERVIOUS COVERAGE (BUILDING & PAVING):</td> <td>31,557 SF</td> </tr> <tr> <td>NUMBER OF PARKING SPACES PROVIDED:</td> <td>41 SPACES</td> </tr> <tr> <td>BUILDING HEIGHT:</td> <td>14'- 8"</td> </tr> <tr> <td>LAND USE:</td> <td>BREWERY & RESTAURANT</td> </tr> </table>	EXISTING ZONING:	C-1	LOT AREA (ACRES OR SQ FOOTAGE):	40,327 SF	LOT COVERAGE (PERCENT BUILDING COVER):	4,454 SF	AREA OF IMPERVIOUS COVERAGE (BUILDING & PAVING):	31,557 SF	NUMBER OF PARKING SPACES PROVIDED:	41 SPACES	BUILDING HEIGHT:	14'- 8"	LAND USE:	BREWERY & RESTAURANT	<p>GENERAL SITE PLAN NOTES:</p> <ol style="list-style-type: none"> ALL MECHANICAL EQUIPMENT TO BE LOCATED ON BUILDING ROOF SCREENED BY PARAPET MASONRY FENCE TO BE 6 FT TALL PREFABRICATED CONCRETE PANEL FENCING WITH STONE DESIGN. DUMPSTER ENCLOSURE TO BE MASONRY SCREENED. NO OUTSIDE STORAGE OR DISPLAY AREAS ARE PROVIDED.
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LAND USE:	BREWERY & RESTAURANT																



LOCATION MAP

NOTE:

- ALL LIGHTS TO BE WALL MOUNTED OR DOWN LIGHTS
- ALL EXTERIOR LIGHTING TO BE COMPLIANT WITH THE CURRENT CITY ORDINANCE. REFERENCE SEC. 118-728. - OUTDOOR LIGHTING.
- NO LIGHTING SHALL TRAVEL BEYOND PROPERTY BOUNDARIES. EXTERIOR LIGHTING WILL CURTAIL LIGHT POLLUTION, REDUCE SKY GLOW AND IMPROVE THE NIGHT TIME ENVIRONMENT. EXTERIOR LIGHTING WILL CONSERVE ENERGY TO THE GREATEST EXTENT POSSIBLE.
- ALL NEW LIGHTING WILL COMPLY WITH THE APPLICABLE CODES. ALL OUT DOOR LIGHTING SHALL BE INSTALLED IN CONFORMANCE WITH THE PROVISIONS OF THIS SECTION, APPLICABLE ELECTRICAL AND ENERGY CODES, AND APPLICABLE SECTIONS OF THE BUILDING CODE. ALL NON COMPLIANT EXISTING LIGHTING TO BE REMOVED AND REPLACE WITH COMPLIANT LIGHTING.
- COMPLIANT 6' PREFABRICATED MASONRY PANEL FENCING TO BE INSTALLED AT ALL PROPERTY BOUNDARIES THAT TOUCH RESIDENTIAL PROPERTIES. PLEASE SEE FENCING EXAMPLE 03.
- EXTERIOR PATIO SEATING AREAS TO BE SURROUNDED WITH A 4'-0" TALL WROUGHT IRON FENCING. PLEASE SEE FENCING EXAMPLE 02.

Superior Customization for Fences and Landscaping

Specifications and technical expertise in the production of decorative steel-reinforced modular precast concrete make Superior Concrete Products a leader in the fence, sound barrier, retaining wall and building industry. Since 1986, Superior Concrete Products, Inc. has manufactured and installed modular systems nationwide. Precast concrete fence and building components are produced using patented molding equipment and proprietary manufacturing techniques.

Known for strength and durability, modular precast concrete fences, barriers, retaining walls and building systems are resistant to wind, water and seismic movements. In addition, the fences, walls and buildings that Superior Concrete Products manufactures also prevent damage from fire, insects, animals and inclement weather. Specified by a growing number of professionals, the products made by Superior Concrete are preferred by a growing number of architects, residential and commercial builders, contractors, municipal and state governments and other leaders in the construction industry.

Design Engineering

Every fence, sound barrier, retaining wall or building system is designed by the Superior Concrete Products professional engineering team to meet exacting design specifications. Go to [Design Engineering](#) to learn more.

Installation

The modular design of Superior Concrete Products precast post and panel systems makes installing a fence, sound barrier, retaining wall, building or other structure faster than using conventional methods. To learn more, see [installations](#).

FENCING MATERIAL:
SUPERIOR FENCING
6 FT HIGH PRECAST CONCRETE TEXTURED
INTEGRAL COLOR
PRODUCT:
SUPERIOR LEDGESTONE
COLOR : NATURAL

03 COMMERCIAL TO RESIDENTIAL FENCING
TYP. CONCRETE PANEL SYSTEM FENCING
SCALE: NTS



02 TYP. WROUGHT IRON FENCING
SCALE: NTS

FREEDOM (ACTUAL: 3.91' x 6.026') STANDARD NEW HAVEN
BLACK ALUMINUM DECORATIVE FENCE PANELS
TO BE USED AT OUTDOOR SEATING PATIO

Technical Specifications

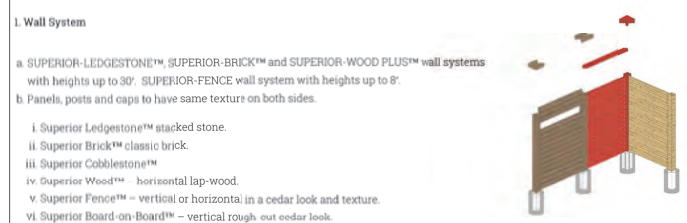
General

- Screening/Storage/Building wall systems and Split Rail fence systems.
- Decorative reinforced precast concrete modular component systems.
- Screening and sound walls include posts, panels and caps. Split rail fences include posts and rails.
- Precast concrete shall have a minimum compression strength of 5,000 psi @ 28 days.
- Fiberglass and steel reinforced components. All reinforcing steel shall conform to ASTM - A615, Grade 60. All ties and stirrups shall conform to the requirements of ASTM - A 615, Grade 40.
- Systems manufactured in integrally colored earth tones. Custom, white and premium colors are available.
- Systems are anchored to ground by poured concrete piers, 5' on-center (wall systems) and 8' on-center (SUPERIOR-FENCE and rail systems). A continuous foundation/footing running the length of the wall is not required.
- Method of post attachment to concrete footing/pier is by embedment in poured concrete. Depth of concrete pier and embedment of post are as shown on Shop Drawing.
- Pier depth varies with soil conditions, wind load and fence height.
- Loading: Wind loading and surcharge loads will be applied to the panels, columns, and foundation components per local building code requirements.

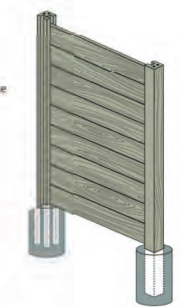
Materials

1. Wall System

- SUPERIOR-LEDGESTONE™, SUPERIOR-BRICK™ and SUPERIOR-WOOD PLUS™ wall systems with heights up to 30'. SUPERIOR-FENCE wall system with heights up to 8'.
- Panels, posts and caps to have same texture on both sides.
 - Superior Ledgestone™ stacked stone.
 - Superior Brick™ classic brick.
 - Superior Cobblestone™
 - Superior Wood™ - horizontal lap-wood.
 - Superior Fence™ - vertical or horizontal in a cedar look and texture.
 - Superior Board-on-Board™ - vertical rough-cut cedar look.
 - Superior Stucco™ - horizontal appearance of hand-troweled stucco.
 - Reinforced with wire-mesh.
- Includes decorative textured panel caps and post caps (Superior Brick™ and Superior Cobblestone).
- Posts are set five feet apart (maximum). SUPERIOR-FENCE posts are set eight feet apart.
- Posts shall have a typical cross sectional dimension of 5" as measured from face-to-face.
- Panels shall have typical dimensions of 56 3/4" long by 12" high by 1" minimum thickness and 1/2" maximum thickness.



- Versatile - Variable heights as needed, and can be easily modified to meet a wide range of special requirements.
- Reliable High-performance precast concrete (5,000 psi @ 28 days).
- Durable - Engineered to last, with improved reinforcement.
- Quality - National Precast Concrete Association (NPCA) Certified factory (only 60 factories in the US are similarly certified).
- Expertise - Prestressed/Precast Concrete Industry (PCI) Certified technical team.
- Assurance - Quality controlled manufacturing.
- Local Production - Manufactured in the USA.
- Strong - Repels the effects of wind, water, seismic movement, fire, insects, animals, decay and inclement weather.



Superior Ledgestone™ will have a new and improved tongue and groove panel interlocks, which may result in the appearance of grooves between panels.



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2/18/2019

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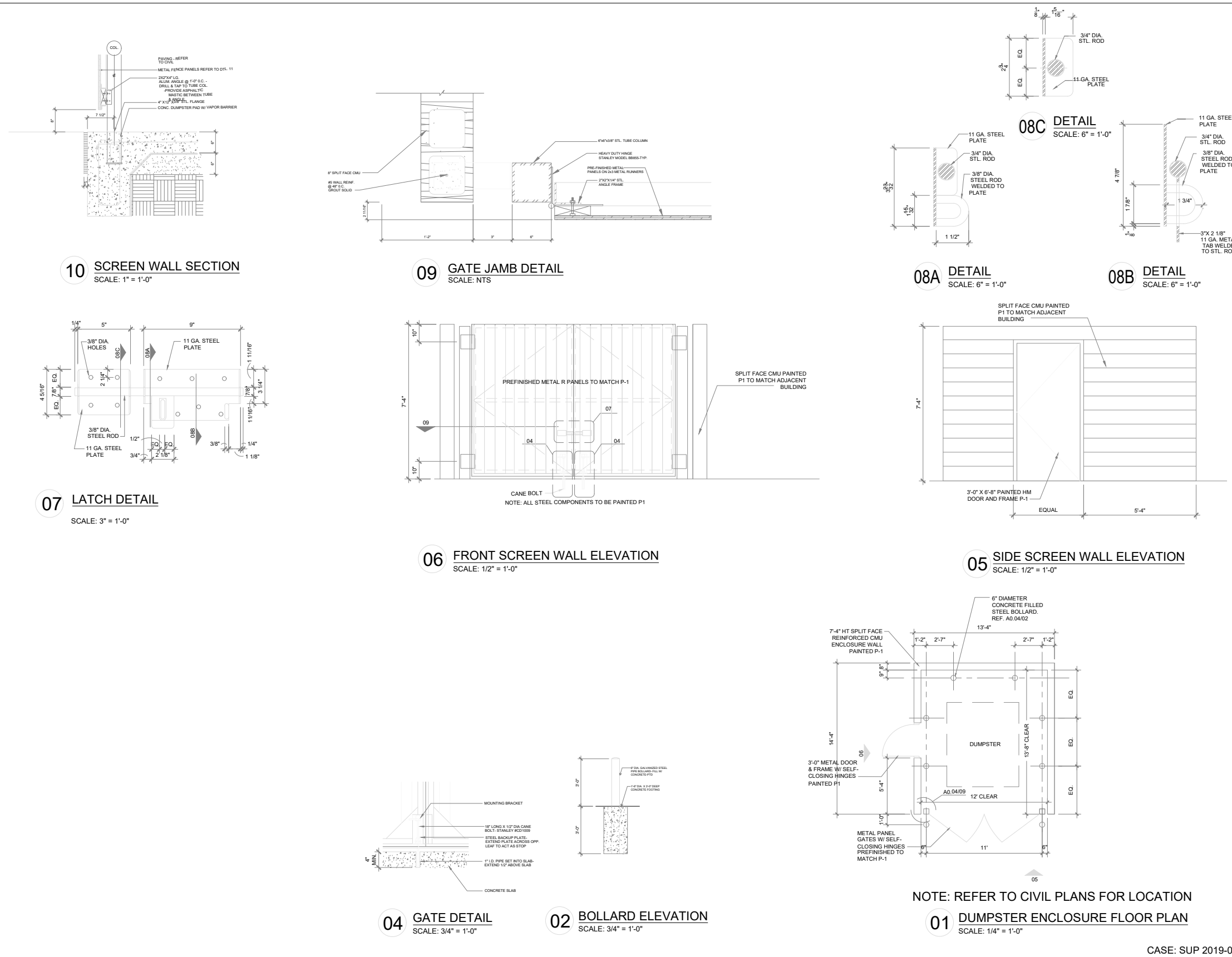
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TOTAL BUILDING SQUARE FOOTAGE: 4,454 SF
TOTAL NUMBER OF PROVIDED PARKING: 41

Drawn By: CRA-MLP
Checked By: GAW
Project No: 18-44

Revisions	No.	Date	Description

Issued: ZONING CHANGE APPLICATION 12/04/2018
Sheet Title: **SITE INFORMATION**
Sheet Number: **A1.00**

CASE: SUP 2019-02



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Drawn By: CRA, MLP
Checked By: GAW
Project No: 18 - 44

Revisions		
No.	Date	Description

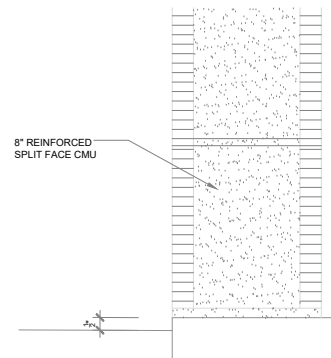
Issue: ZONING CHANGE APPLICATION 1204/2018

Sheet Title: **DUMPSTER DETAILS**

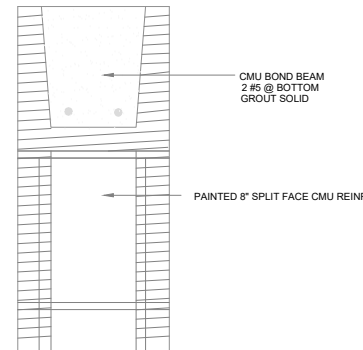
Sheet Number: **A0.06**



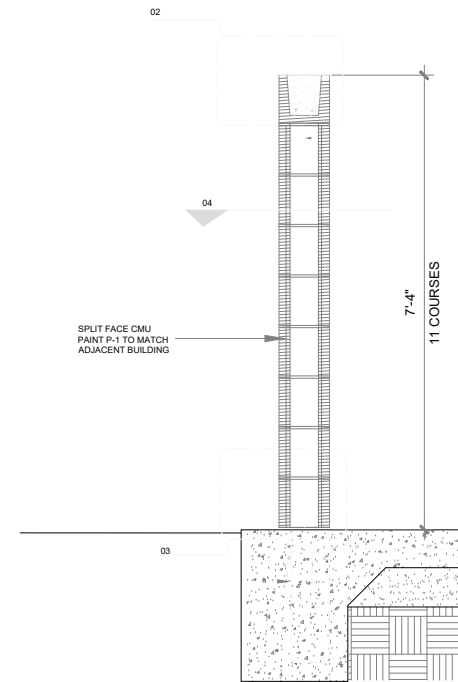
04 SCREEN WALL DETAIL
SCALE: 3" = 1'-0"



03 SCREEN WALL DETAIL
SCALE: 3" = 1'-0"



02 SCREEN WALL DETAIL
SCALE: 3" = 1'-0"



01 SCREEN WALL SECTION
SCALE: 1/2" = 1'-0"

CASE: SUP 2019-02



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Checked By: GAW
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Revisions		
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Sheet Title: **DUMPSTER DETAILS**

Sheet Number: **A0.07**



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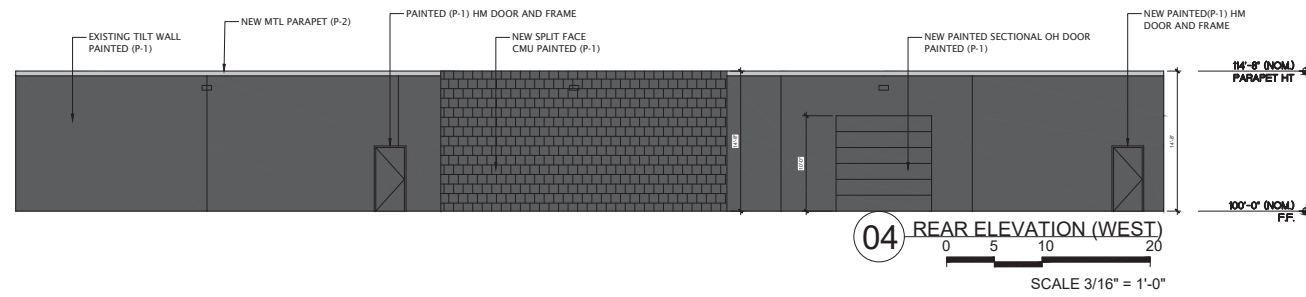
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Sheet Title: **COLORED ELEVATIONS**

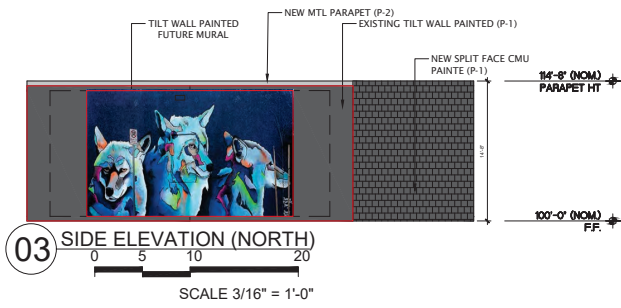
A3.01b

Sheet Number



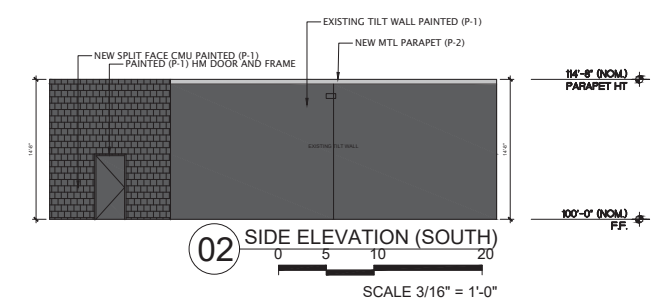
04 REAR ELEVATION (WEST)

SCALE 3/16" = 1'-0"



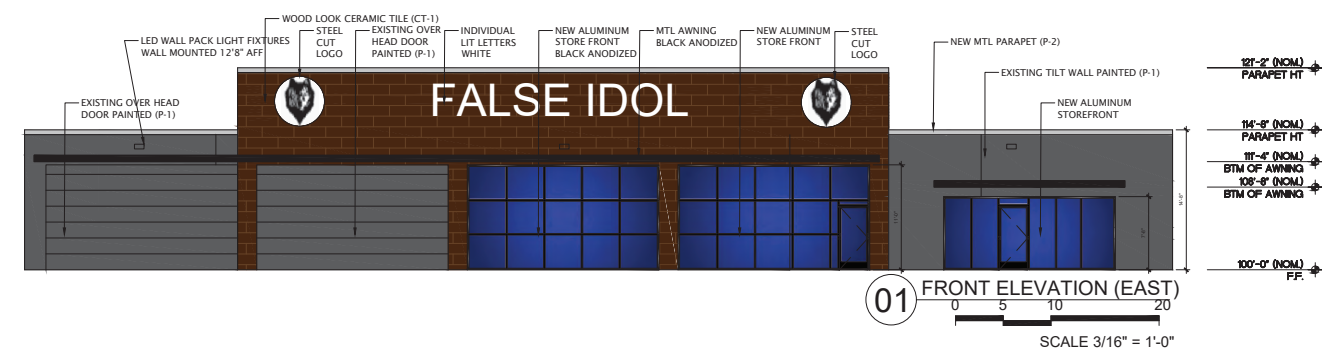
03 SIDE ELEVATION (NORTH)

SCALE 3/16" = 1'-0"



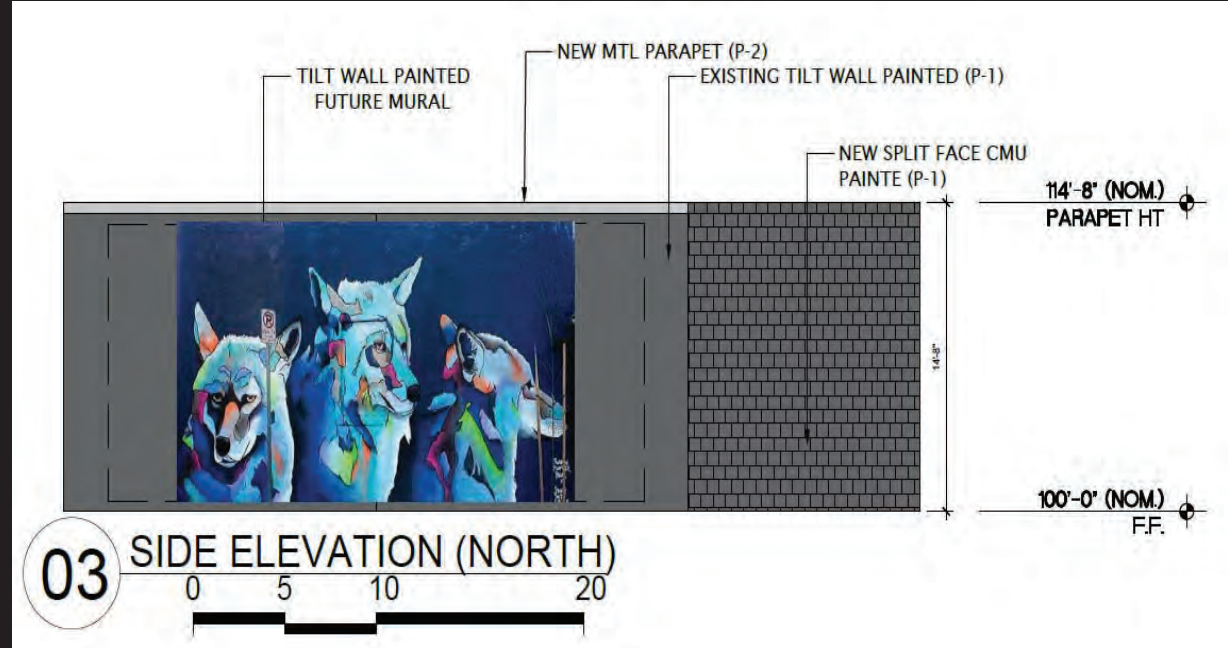
02 SIDE ELEVATION (SOUTH)

SCALE 3/16" = 1'-0"



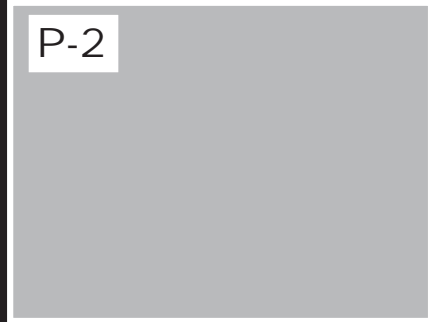
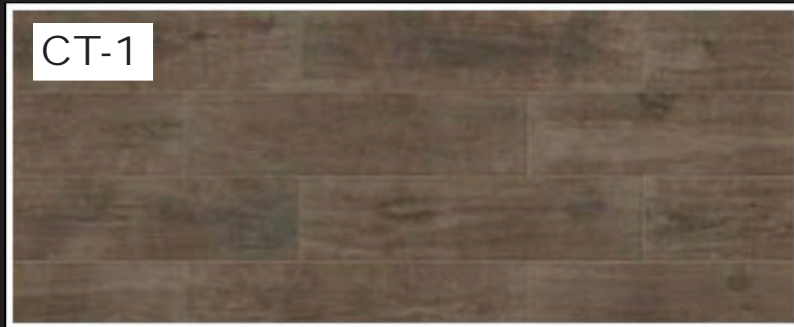
01 FRONT ELEVATION (EAST)

SCALE 3/16" = 1'-0"



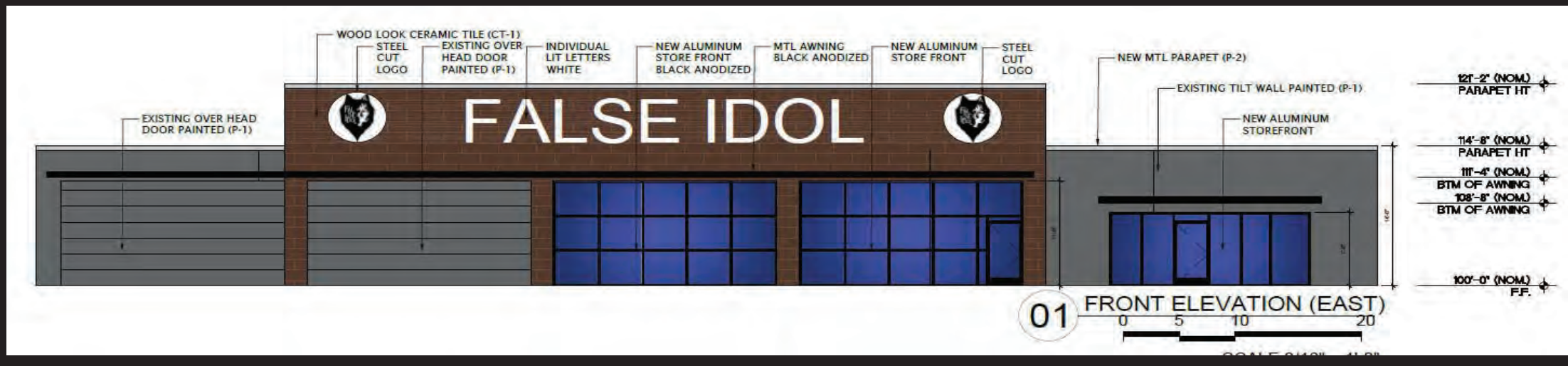
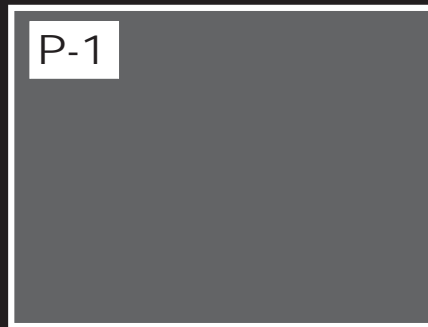
MATERIAL BORED: EXTERIOR FINISHES
 FALSE IDOL BREWERY
 7924 MAPLEWOOD AVE. NRH, TX 76180

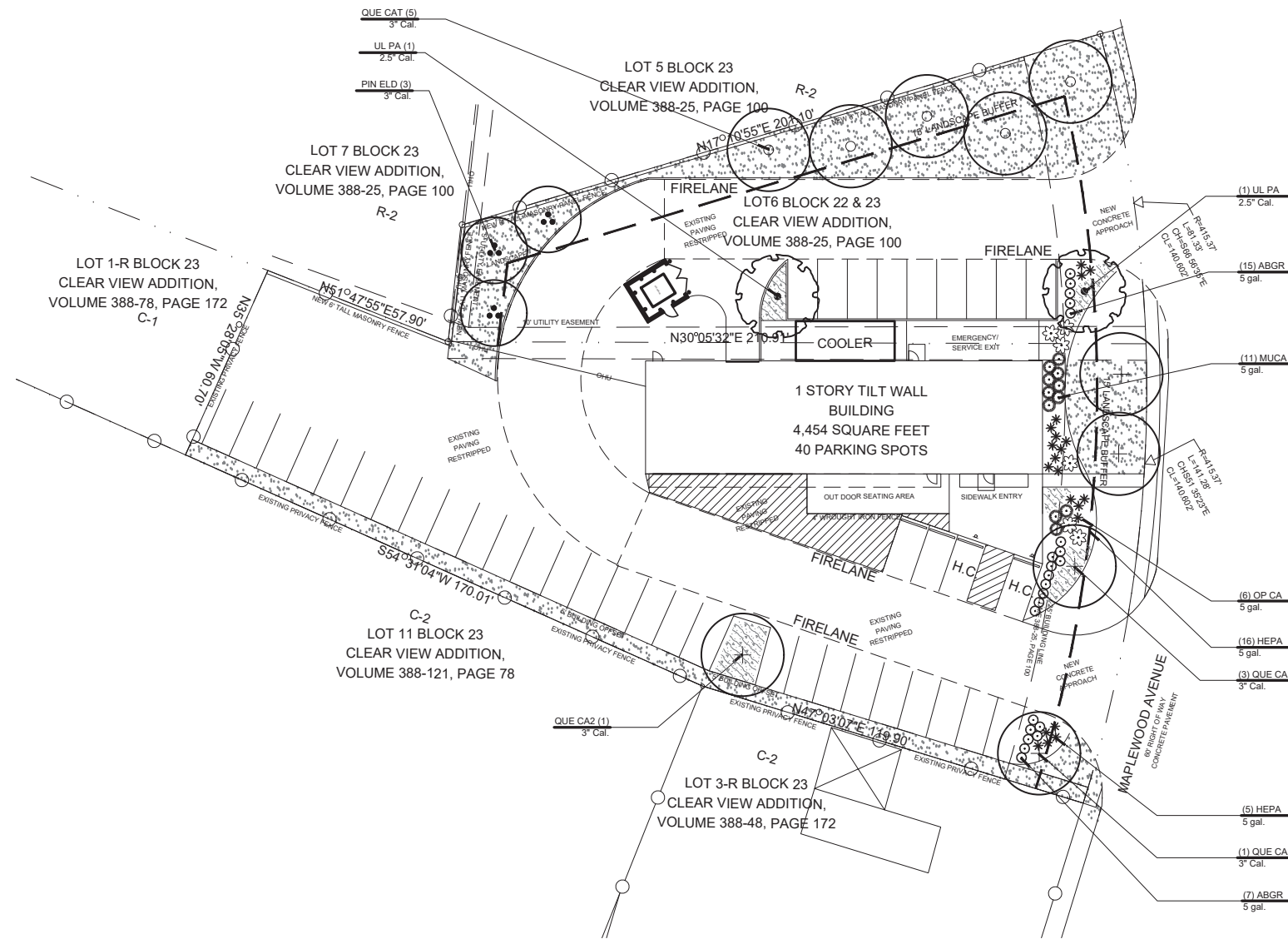
DALTILE
 CERAMIC WOOD LOOK TILE PLANKING
 SADDLEBROOK XT: WALNUT CREEK SD85



KELLY MOORE EXTERIOR
 SANDPIPER COVE
 KM5821
 FINISH: EGGSHELL

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 SANDPIPER COVE
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 FINISH: EGGSHELL





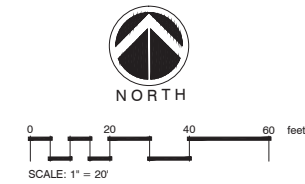
PLANT SCHEDULE

TREES	COMMON NAME
	Afghan Pine
	Cathedral Live Oak
	Cathedral Live Oak
	Drake Elm

SHRUBS	COMMON NAME
	Dwarf Abelia
	Brakelights Red Yucc
	Pink Muhly Grass
	Spineless Prickly Pear

GROUND COVERS	COMMON NAME
	Bermuda Grass - Sod
	Mexican Feathergrass

Required Site Landscape	15% of Total Site to be Landscape	Required	Provided
Required Site Landscape	Required	6057 sf	8650 sf
Landscape Setback	Minimum 15' Landscape Setback	Required	Provided
Street Frontage Trees	One (1) 3" Cal. Large Tree per 50 lf of Street Frontage	Required	Provided
Street Frontage Shrubs	10 Small Shrubs per 50 lf of Street Frontage	Required	Provided
Parking Lot Landscape	5% of Total Parking Area to be Landscape	Required	Provided
Parking Lot Trees	1 Tree Per Every 20 Spaces	Required	Provided
Parking Lot Screening Shrubs	Parking Lots shall be screened from Public View	Required	Provided
Buffer Yard Requirements	15' Width Buffer between Nonresidential and Residential	Required	Provided
Buffer Yard Trees	One (1) Tree, 3" Cal., per 30 lf, 40% shall be evergreen	Required	Provided



- NOTES:
- TEMPORARY IRRIGATION WILL BE REQUIRED TO ESTABLISH TURF IN ALL DISTURBED AREAS WITHOUT A PERMANENT IRRIGATION SYSTEM.
 - PLACE HYDROSEED IN ALL DISTURBED AREAS AS IDENTIFIED ON GRADING AND EROSION CONTROL PLANS.
 - REFERENCE SHEET L-2 FOR PLANT LEGEND.
 - NO LANDSCAPE PLANTINGS WITHIN 30' OF PARKING LOT CURBS, PER CITY OF NORTH RICHLAND HILLS REQUIREMENTS.
 - LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR AND SHALL MAINTAIN THE LANDSCAPING FOR 90 DAYS PAST THE FINAL INSPECTION.

THIS ELECTRONIC DRAWING FILE IS RELEASED UNDER THE AUTHORITY OF GREGORY A. CUPPETT, LANDSCAPE ARCHITECT REGISTRATION NUMBER 2872 ON 03/08/19, WHO MAINTAINS THE ORIGINAL FILE. THIS ELECTRONIC DRAWING FILE MAY BE USED AS A BACKGROUND DRAWING PURSUANT TO THE RULES AND REGULATIONS OF THE TEXAS STATE BOARD OF ARCHITECTURAL EXAMINERS. THE USER OF THIS ELECTRONIC DRAWING FILE AGREES TO ASSUME ALL RESPONSIBILITY FOR ANY MODIFICATION TO OR USE OF THIS DRAWING FILE THAT IS INCONSISTENT WITH THE REQUIREMENTS OF THE RULES AND REGULATIONS OF THE TEXAS STATE BOARD OF ARCHITECTURAL EXAMINERS. NO PERSON MAY MAKE MODIFICATIONS TO THIS ELECTRONIC DRAWING FILE WITHOUT THE LANDSCAPE ARCHITECT'S EXPRESS WRITTEN PERMISSION.

CAUTION!!!
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TEXAS EXCAVATION SAFETY SYSTEM (TESS)
1-800-344-8377
TEXAS ONE CALL SYSTEMS
1-800-245-6545
LONE STAR NOTIFICATION CENTER
1-800-669-8344 EXT. 5



OWNER INFORMATION:
FALSE IDOL BREWERY
MR. BRANDON FITZGER
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NORTH RICHLAND HILLS, TX 76180
(817) 281-5600
BPITZER56@GMAIL.COM

APPLICANT INFORMATION:
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MR. GERALD A. WARD
5004 THOMPSON TERRACE #107
COLLEYVILLE, TEXAS 76034
(817) 281-5600
GERALD@WARDARCHITECTUREPLLC.COM

FALSE IDOL BREWERY
7924 MAPLEWOOD AVE.
NORTH RICHLAND HILLS, TX

SITE PLAN INFORMATION:

TOTAL ACRES OF SITE:	40.327 SF
TOTAL SQUARE FOOTAGE OF SITE:	40,327 SF
PROPOSED LOT ZONING:	SUP
TOTAL BUILDING SQUARE FOOTAGE:	4,454 SF
TOTAL NUMBER OF PROVIDED PARKING:	40

Drawn By: CRA, MLP
Checked By: GAW
Project No: 18 - 44

Revisions	No.	Date	Description

Issued: ZONING CHANGE APPLICATION 12/04/2018

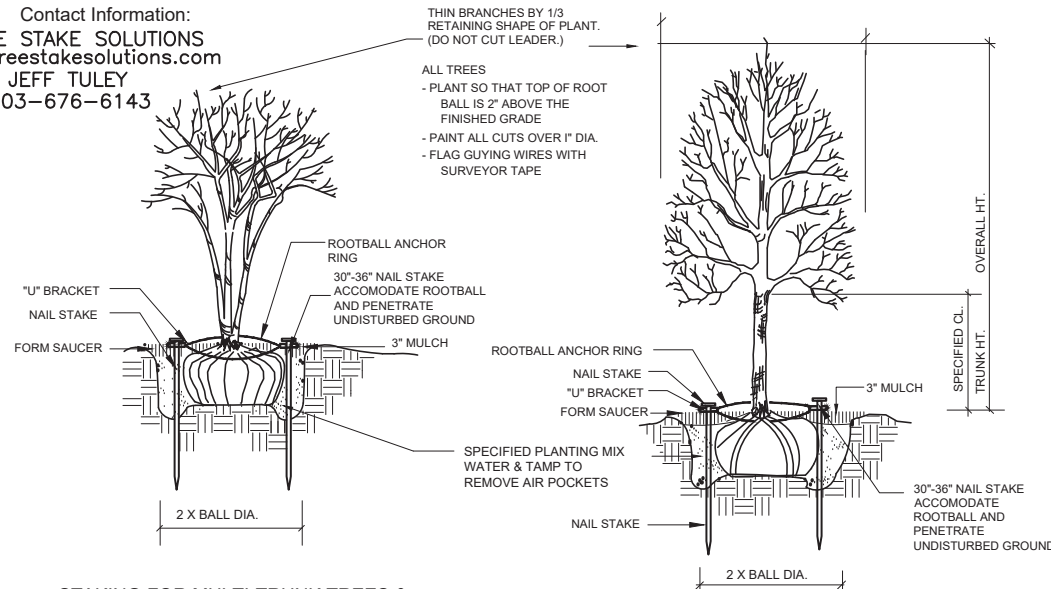
Sheet Title: **LANDSCAPE PLAN**

L1.01

Sheet Number

CASE: SUP 2019-02

Contact Information:
TREE STAKE SOLUTIONS
 www.treestakesolutions.com
 JEFF TULEY
 903-676-6143

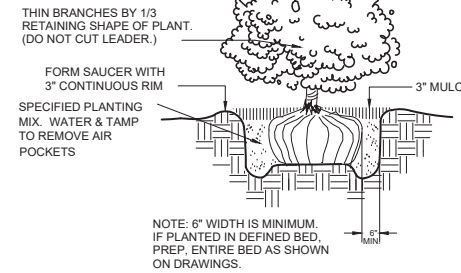


STAKING FOR MULTI-TRUNK TREES & TREES 2" CAL. & UNDER

SCALE: NOT TO SCALE

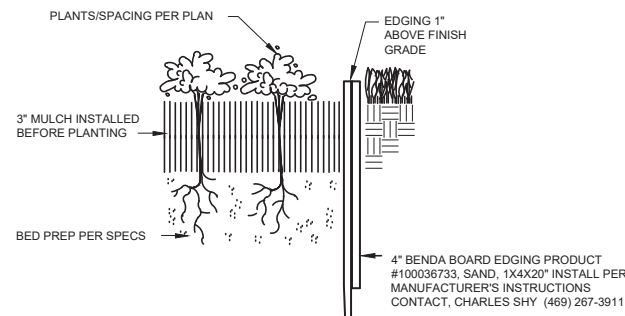
SAFETY STAKE BY TREE STAKE SOLUTIONS

SCALE: NOT TO SCALE



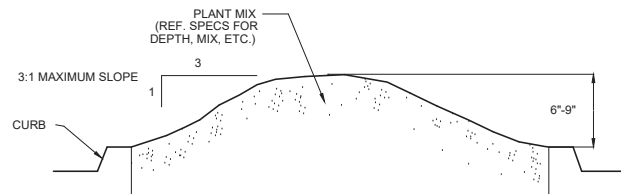
SHRUB PLANTING

SCALE: NOT TO SCALE



BEDDING PLANTS/ EDGING DETAIL

SCALE: NOT TO SCALE



TYPICAL PARKING LOT ISLAND MOUNDING

SCALE: NOT TO SCALE

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPACING	REMARKS
	PIN ELD	3	Pinus eldarica	Afghan Pine	3" Cal.	12' Height Min		
	QUE CA2	5	Quercus virginiana 'Cathedral'	Cathedral Live Oak	3" Cal.	12' Min. Ht.	As Shown	Single straight trunk. Main leader intact with no broken limbs and not root bound
	QUE CAT	5	Quercus virginiana 'Cathedral'	Cathedral Live Oak	3" Cal.	12' Min. Ht.	As Shown	Single straight trunk. Main leader intact with no broken limbs and not root bound
	UL PA	2	Ulmus parvifolia 'Drake'	Drake Elm	2.5" Cal.	8'-10' HT.	As Shown	Single straight trunk. Main leader intact with no broken limbs and not root bound
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPACING	REMARKS
	ABGR	22	Abelia x grandiflora 'Sherwoodi'	Dwarf Abelia	5 gal.	18"-24"	36" oc	Container grown, mature root system but not root bound. Full broad top
	HEPA	21	Hesperaloe parviflora 'Perpa' TM	Brakelights Red Yucc	5 gal.	18"-24"	30"-36"	Container grown, mature root system but not root bound. Full broad top
	MUCA	11	Muhlenbergia capillaris 'Regal Mist' TM	Pink Muhly Grass	5 gal.	18"-24"	48" oc	Container grown, mature root system but not root bound. Full broad top
	OP CA	6	Opuntia cacanapa 'Ellisiana'	Spineless Prickly Pear	5 gal.	18"-24"	60" oc	Container grown, mature root system but not root bound.
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPACING	REMARKS
	CYN DAC	7,090 sf	Cynodon dactylon	Bermuda Grass - Sod	sod			REF. TURF SPECIFICATIONS
	NA TE	501 sf	Nassella tenuissima 'Pony Tails'	Mexican Feathergrass	1 gal.	10"-12"	24" o.c.	Container grown, mature root system but not root bound. Full broad top

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CASE: SUP 2019-02



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2/18/2019

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Drawn By: CRA, MLP
 Checked By: GA
 Project No: 18 - 44

Revisions		
No.	Date	Description

Issued: ZONING CHANGE APPLICATION 12/04/2018

Sheet Title

PLANTING DETAILS

L1.02

Sheet Number

SECTION 02830

TREES SHRUBS, AND GROUNDCOVERS

PART I GENERAL

1.01 DESCRIPTION OF WORK

A. Scope

1. Bed prep
2. Metal edging
3. Topsoil
4. Planting
5. Mulching
6. Guarantee

B. Related Work Specified Elsewhere

1. General Requirements – All locations
2. Section 02740 – Irrigation Trenching
3. Section 02750 – Irrigation
4. Section 02800 - Lawns

1.02 QUALITY ASSURANCE

A. Contractor Qualifications

Minimum of three (3) years experience on projects of similar characteristics and size.

B. Reference Standards:

1. American Joint Committee Of Horticultural Nomenclature: Standardized Plant Names, Second Edition, 1942;
2. American Association Of Nurserymen: American Standard For Nursery Stock, 1973

C. Substitutions

1. Substitutions accepted only upon written approval of Landscape Architect and Owner.
2. Submit substitutions possessing same characteristics as indicated on plans and specifications.

D. Inspection and Testing

1. The project Owner's representative reserves the right to inspect and tag plants at the place of growth with the Contractor.
2. Inspection at place of growth does not preclude the right of rejection due to improper digging or handling.
3. Owner's representative reserves the right to request soil samples and analysis of soil and plant mix. Remove or correct unacceptable soil. Cost of testing by Contractor.

1.03 SUBMITTALS

A. Certificates

1. Submit State and Federal certificates of inspection with invoice. (Only if required by Landscape Architect.)
2. File certificates with Owner's representative prior to material acceptance.

1.04 PRODUCT DELIVERY, STORAGE, & HANDLING

A. Preparation of Delivery

1. Balled & Burlaped (B&B) Plants

- a. Dig and prepare for shipment in manner that will not damage roots, branches, shape, and future development after replanting.
- b. Ball with firm, natural ball of soil, wrapped tightly with burlap covering entire ball.
- c. Ball size and ratios: conform to American Association of Nurserymen standards unless otherwise shown on plant list.

2. Pack plant material to protect against climatic & seasonal damage, as well as breakage injuries during transit.
3. Securely cover plant tops with ventilated tarpaulin or canvas to minimize wind-whipping and drying in transit.
4. Pack and ventilate to prevent sweating of plants during transit. Give special attention to insure prompt delivery and careful handling to point of delivery at job site.

B. Delivery

1. Deliver fertilizer, fertilizer tablets, peat, mulch, soil additives, and amendment materials to site in original, unopened containers, bearing manufacturer's guaranteed chemical analysis, name, trade name, trademark, and conformance to State law.
2. Deliver plants with legible identification and size labels on example plants.
3. Protect during delivery to prevent damage to root ball or desiccation of leaves.
4. Notify Owner's representative of delivery schedule in advance so plant material may be inspected upon arrival at job site.
5. Deliver plants to job site only when areas are prepared.

C. Storage

1. Protect roots of plant material from drying or other possible injury with wetted mulch or other acceptable material.
2. Protect from weather.
3. Maintain and protect plant material not to be planted immediately upon delivery.

D. Handling

1. Do not drop plants.
2. Do not damage ball, trunk, or crown.
3. Lift and handle plants from bottom of container or ball.

1.05 JOB CONDITIONS

- E. Planting Season** Perform actual planting only when weather and soil conditions are suitable in accordance with locally acceptable practices.
- F. Protection** Before excavations are made, take precautionary measures to protect areas trucked over and where soil is temporarily stacked.

1.06 GUARANTEE

- A. Guarantee** new plant material for one year after acceptance of final installation (ie Final Acceptance of project).
- B. Make replacement** (one per plant) during one year guarantee period at appropriate season with original plant type, size and planting mixture.
- C. Repair damage** to other plants, lawns, & irrigation caused during plant replacement at no cost to Owner.
- D. Use only plant replacements** of indicated size and species.
- E. Ten days before end of guarantee period**, notify Owner's representative in writing for year end inspection. Failure to do so, shall automatically extend guarantee until notification is received.

PART II PRODUCTS

2.01 MATERIALS

A. Plant Materials

1. Hardy under climatic conditions similar to locality of project.
2. True to botanical and common name variety.
3. Sound, healthy, vigorous, well branched, and densely foliated when in leaf; with healthy well-developed root system.
4. Free from disease, insects, and defects such as knots, sun-scald, windburn, injuries, disfigurement, or abrasions.
5. Conform to measurements after pruning with branches in normal positions.
6. Conform to American Association of Nurserymen standards unless shown differently on plant list.
7. Trees:
 - a. Single, straight trunks, unless indicated otherwise
 - b. Trees with weak, thin trunks not capable of support will not be accepted.
 - c. All multi-stem trees are to have a minimum of three stems, similar in size and shape, with a spread of approximately 2/3 of the height. All yaupons to be female. Crape myrtle color selection by Landscape Architect.
8. Nursery grown stock only.
9. Subject to approval of Landscape Architect.
10. Seasonal color
 - a. Annuals in 4" pots or as specified
 - b. Perennials in 4" pots, clumps, bulbs as specified

B. Topsoil

1. Natural, fertile, friable soils having a textural classification of loam or sandy loam possessing characteristics of soils in vicinity which produce heavy growth of crops, grass, or other vegetation.
2. Free of subsoil, brush, organic litter, objectionable weeds, clods, shale, stones 3/4" diameter or larger, stumps, roots or other material harmful to grading, planting, plant growth, or maintenance operations.
3. Presence of vegetative parts of Bermuda grass (Cynodon dactylon), Johnson grass, nut grass (Cyperus rotundus), and other hard to eradicate weeds or grass will be cause for rejection of topsoil.
4. Test topsoil (cost by Contractor):
 - a. Available nitrogen
 - b. Available phosphorus
 - c. Available potash
 - d. Iron
 - e. Ph: 5.5 to 7.0
 - f. Decomposed organic matter: 6-10%

C. Mulch

1. Top Dressing Mulch – Shredded cypress or hard wood only
2. Soil prep – 3 Parts native soil to 1 Part composted landscape mix.
3. In pre-packaged bags only, bulk shredded material is unacceptable.

D. Peat Moss Commercially available baled peat moss or approved equivalent.

E. Staking Material

1. Stakes for tree support
 - a. Construction grade yellow pine, stain brown
 - b. Size as noted on plans
2. Wires
 - a. Padded with rubber hose to protect tree
 - b. Galvanized
 - c. With galvanized turnbuckle
 - d. Evenly tighten turnbuckles with plant in vertical position.

F. Water

1. Free of oils, acids, alkali, salt, and other substances harmful to plant growth
2. Location: Furnish temporary hoses and connections on site.

G. Sand Washed builders sand

H. Antidesiccant - "Wilt-proof" or equal.

1. Edging – 3/16" X 4" green, new and unused; with stakes.

2.02 MIXES

- A. Planting Mixture**
Existing topsoil – 50%
Shredded pine bark – 50%
Fertilizer 10:20:10 at 30 lb/1000 SF
- B. Planting Mx for Annuals/Perennials**
Prepare above mix
Add 2" of sand

- C. Azalea mix:** solid peat moss in hole 9" wider than root ball each direction. Plant in solid peat moss and provide mound at base of plant to allow for drainage.
- D. Japanese maple, dogwood, camellias:** Provide 50/50 peat moss to topsoil mix, raise for drainage.

PART III - EXECUTION

3.01 UTILITIES - verify location of all utilities prior to initiating construction; repair any damage caused by construction at no cost to owner.

3.02 INSPECTION

- A. Inspect plants for injury and insect infestation; prune prior to installation.
- B. Inspect site to verify suitable job conditions.

3.03 FIELD MEASUREMENTS

- A. Location of all trees and shrubs to be staked in the field and approved by Owner's representative prior to installation.
- B. Location of all groundcover and seeding limits as shown on plans.

3.04 EXCAVATION FOR PLANTING

A. Pits

3. Shape - Vertical hand scarified sides and flat bottom.
4. Size for trees – 2 feet wider or twice the root ball, whichever is greater.
5. Size for shrubs – Size of planting bed as shown on drawings.
6. Roto till soil mix thoroughly, full depth.
7. NOTE: If beds are proposed beneath drip line of existing tree canopy, pocket prep plants. Do not roto-till beneath existing trees.

B. Obstructions Below Ground

1. Remove rock or underground obstructions to depth necessary to permit planting.
2. If underground obstructions cannot be removed, notify Owner's representative for instruction.

C. Excess Soil Dispense of unacceptable or excess soil away from the project site at Contractor's expense.

3.05 PLANTING

A. General

1. Set plants 2" above existing grade to allow for settling.
2. Set plants plumb and rigidly braced in position until planting mixture has been tamped solidly around ball.
3. Apply soil in accordance with standard industry practice for the region.
4. Thoroughly settle by water jetting and tamping soil in 6" lifts.
5. Prepare 3" dish outside root ball after planting.
6. Thoroughly water all beds and plants.
7. Stake trees and large shrubs as indicated on plans.
8. Apply anti-desiccant according to manufacturer's instructions.
9. Apply commercially manufactured root stimulator as directed by printed instruction.
10. Plant and fertilize bedding plants per trade standards.
11. Apply 3" mulch top dressing.

B. Balled Plants

1. Place in pit of planting mixture that has been hand tamped prior to placing plant.
2. Place with burlap intact to ground line. Top of ball to be 2" above surrounding soil to allow for settling.
3. Remove binding at top of ball and lay top of burlap back 6".
4. Do not pull wrapping from under ball, but cut all binding cord.
5. Do not plant if ball is cracked or broken before or during planting process or if stem or trunk is loose.
6. Backfill with planting mixture in 6" lifts.

C. Container Grown Plants

1. Place in pit on planting mixture that has been hand tamped prior to placing plant.
2. Cut cans on two sides with an acceptable can cutter, and remove root ball from can.

- Do not injure root ball.
3. Carefully remove plants without injury or damage to root balls.
 4. Backfill with planting mixture in 6" lifts.

D. Mulching

1. Cover planting bed evenly with 3" of mulch.
2. Water immediately after mulching.
3. Where mulch has settled, add additional mulch to regain 3" thickness.
4. Hose down planting area with fine spray to wash leaves of plants.

D. Pruning

1. Prune minimum necessary to remove injured twigs and branches, dead wood, and succors; remove approximately 1/3 of twig growth as directed by landscape architect; do not cut leaders or other major branches of plant unless directed by landscape architect.
2. Make cuts flush, leaving no stubs.
3. Paint cuts over 1" diameter with approved tree wound paint.
4. Do not prune evergreens except to remove injured branches.

3.06 EDGING

- A. Stake edging alignment** with string line prior to installation. Use framing square to insure right angles are true.
- B. Install all edging straight and true** as indicated on drawings. Where edging layout is circular in design, maintain true and constant radii as shown.
- C. When required on slopes**, make vertical cuts (approximately 6" on center) on bottom of edging to allow bending without crimping edging.
- D. Install edging so that approximately 1"** is exposed on lawn side. Edging should not be visible from bed side after application of mulch.
- E. Align edging with architectural features** (ie pavement joints, windows, columns, wall, etc.) when drawings indicate.
- F. Bend all corners**, do not cut corners.
- G. Interlock all pieces** with pre-fabricated connectors.
- H. Install with all stakes** on inside of planting bed.
- I. Remove, file off all sharp corners and burrs.**

3.07 CLEAN-UP

A. Sweep and wash all paved surfaces.

Remove all planting and construction debris from site, including rocks, trash and all other miscellaneous materials.

3.08 MAINTENANCE

A. Contractor responsible for routine, and regular maintenance of site until Final Acceptance is awarded by Owner. Work includes:

1. Weeding (weekly)
2. Watering (as required)
3. Pruning
4. Spraying
5. Fertilizing
6. Mulching
7. Mowing (weekly)

B. Provide Owner and Landscape Architect with preferred maintenance schedule in writing. Schedule shall include the above-listed tasks and shall address all frequencies, rates, times, levels, etc.



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Sheet Title

PLANTING SPECS

L1.04

Sheet Number

NOTES:

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2. PLACE HYDROSEED IN ALL DISTURBED AREAS AS IDENTIFIED ON GRADING AND EROSION CONTROL PLANS.
3. REFERENCE SHEET L-2 FOR PLANT LEGEND.
4. NO LANDSCAPE PLANTINGS WITHIN 30' OF PARKING LOT CURBS, PER CITY OF NORTH RICHLAND HILLS REQUIREMENTS.
5. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR AND SHALL MAINTAIN THE LANDSCAPING FOR 90 DAYS PAST THE FINAL INSPECTION.

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CASE: SUP 2019-02

SECTION 02800

FINISH GRADING, LAWN WORK, WILD FLOWERS

PART I - GENERAL

1.01 DESCRIPTION

- A. Work includes turf establishment (sod, hydromulch, etc.) as described on drawings.
B. Make required analysis and material tests for topsoil, fertilizers, and other materials of similar character per current methods of the Association of Official Agricultural Chemists, when required.
C. Grass seed shall conform to tolerances for germination and purity per applicable standards of U.S. Department of Agriculture.
D. The turf contractor shall have a stand of grass established prior to substantial completion of the project.

PART II - PRODUCTS

2.01 TOPSOIL MATERIAL

- A. Topsoil material (stockpiled, as specified in Specifications) has been saved for use in finish grading. After sifting out all plant growth, rubbish, and stones, use for areas designated to receive grass.
B. Acceptable topsoil material shall be defined as natural, fertile, agricultural soil, capable of sustaining vigorous plant growth, uniform composition throughout admixture of subsoil, free of stones, lumps, plants, and their roots, sticks, or other extraneous matter; do not deliver while in a frozen or muddy condition.

2.02 FERTILIZER

- A. Provide a commercial balanced fertilizer delivered to the job in bags labeled with manufacturer's guaranteed analysis. Store in weatherproof storage, place in such a manner that its effectiveness will not be impaired.
B. Fertilizer shall be a grade containing the percentages of plant food elements by weight as specified elsewhere in these specifications.
C. Availability of various elements shall be per Standards of the Association of Official Agricultural Chemists.

2.03 GRASS SEED

- A. Grass seed shall be of the previous season's crop and the date of analysis shown on each bag shall be within nine (9) months of the time of delivery to the project.
B. The seed shall comply with all provisions of the U.S. Department of Agriculture as to labeling, purity, and germination.
C. A combination of good quality dry straw or hay free of seeds of competing plants at a rate of 2 1/2 tons per acre and wood cellulose or cane fiber mulch at a rate of 500 pounds per acre.
D. Sericea lespedza seed bearing hay at a rate of 3 tons per acre.

- E. Manufactured mulch materials, such as soil retention blankets, erosion control netting, or others that may be required on special areas of high water concentration or unstable soils. When these materials are used, follow the manufacturer's recommendations for installation.

2.05 HYDRO-MULCHING

- Wood cellulose fiber or cane fiber mulch will be applied with hydraulic seeding and fertilizing equipment. All slurry ingredients shall be mixed to form a homogeneous slurry and spray applied within one hour after the mixture is made.
When wood cellulose or cane fiber mulch is used at the 500 pound per acre rate, straw or hay mulch with asphalt emulsion is applied over this to complete the mulch.
Wood cellulose or cane fiber mulch at the 1,000 pound per acre rate is used alone where other mulch material will not stick.
Wood cellulose or cane fiber mulch is self anchoring.

PART III - EXECUTION

3.01 RESPONSIBILITY

The site grading contractor will be responsible to stockpile acceptable topsoil in a sufficient quantity to provide four inches (4") minimum cover for all grass areas, including but not limited to all curbed islands, and topsoil planting mounds/berms at the appropriate height and width as defined and shown on the landscaping and/or planting drawings.

The site grading contractor, shall be responsible to spread the topsoil within all perimeter graded areas and future building areas only.

The site grading contractor shall be responsible for backfilling of all curbed islands and planting mounds/berms. They shall also be responsible for removal of all stones, roots, and raking of all topsoil areas that are to be seeded and/or planted.

3.02 GRASS SEEDING

- A. Remove stones, roots, rubbish and other deleterious materials from topsoiled areas that are to be seeded.
B. Immediately prior to sowing seed, scarify ground as necessary; rake until surface is smooth and friable.
C. ground, then roll ground with suitable roller; water thoroughly with fine spray.
D. Provide permanent grass seeding for lawn areas so indicated. Seed in accordance with the following schedule (unless otherwise directed by Owner or Owner's Representative:
1. Sow areas ready for seeding between March 1 and October 1 with Hulled Common Bermuda at a rate of 85 pounds per acre.
2. Sow areas ready for seeding between October 1 and March 1 with Unhulled Common Bermuda at a rate of 90 pounds per acre, and Annual Rye Grass at the rate of 50 pounds per acre.
3. Apply fertilizer at a rate of 20/25 pounds per 1,000 square feet.

3.03 WILD FLOWERS

- A. Areas indicated on plans to receive wild flower coverage shall be fine graded, fertilized, and prepared in a manner similar to traditional turf establishment.
B. Area to be hydromulched with seed mix as follows:
Tickseed 10 pounds/acre
Cosmos 15 pounds/acre
Ox-Eyed Daisy 5 pounds/acre
Side Oats Grama 4 pounds/acre
Showy Primrose 0.5 pounds/acre
Plains Coreopsis 2 pounds/acre
Black Eyed Susan 2 pounds/acre
Indian Blanket 10 pounds/acre
Texas Bluebonnet 4 pounds/acre
Little Bluestem 4 pounds/acre

3.04 MULCH

- A. All areas to be seeded shall be mulched.
B. Mulch materials shall be applied uniformly over the seeded area. Mulch shall be straw and shall be at the rate of 1 1/2 - 2 tons per acre.
B. Mulch shall be anchored with an emulsified asphalt binder at the rate of 10 gallons per 1,000 square feet.

3.05 PROTECTION

Provide, at no additional cost to Owner, fencing, railing, wire or other types of protection for topsoiled and seeded areas against trespassing and damage. If lawns are damaged prior to Final Acceptance, treat or replace them as directed. Remove protection when so directed.

3.06 MAINTENANCE

Provide maintenance from start of work until Final Acceptance. Maintenance includes watering of lawns, weeding, mowing, edging, repairs of wash-outs and gutters, repairs to protection, and other necessary work of maintenance. Maintain slopes against erosion.

3.07 REHYDROMULCHING

The Owner's representative will designate areas to be replanted. Areas on which a stand of growing grass is not present in a reasonable length of time, (Bermuda grass seed should be germinating in 6-8 days) shall be prepared, reseeded and remulched, as specified for original planting at no additional cost to Owner. A stand shall be defined as live plants from seed occurring at a rate of not less than 1,000 growing plants per square foot. Replanting required because of faulty operations or negligence on the part of the Contractor shall be performed without cost to Owner.

3.08 FINAL CLEAN-UP

- A. At time of final inspection of work, and before final acceptance, clean paved areas that are soiled or stained by operations of work of this section.
B. Remove construction equipment, excess material and tools. Cart away from site any debris resulting from work of this section and dispose of as directed.

SECTION 02922

SODDING

PART I - GENERAL

1.01 DESCRIPTION

- A. Work Included
1. Sod bed preparation
2. Fertilizing
3. Sodding
4. Miscellaneous management practices
B. Related Work Specified Elsewhere
1. Finish Grading, Section 02800
2. Lawns and Grasses, Section 02930

1.02 REFERENCE STANDARDS

- A. Standardized Plant Names
American Joint Committee of Horticultural Nomenclature, Second Edition, 1942.
B. Texas Highway Department - Standard Specifications for Construction, Item 164, Seeding for Erosion Control.

1.03 SUBMITTALS

- A. Vendors Certification That Sod Meets Texas State Sod Law
1. Include labeling requirements.
2. Include purity and type.

1.04 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. Sod:
1. Previous season's crop with date of analysis on each bag.
2. Furnish and deliver each variety in separate bags or containers.
3. Sod to be cut no more than three days before delivery.

B. Fertilizer:

- 1. Unopened bags labeled with the analysis.
2. Conform to Texas Fertilizer Law.

1.05 JOB CONDITIONS

- A. Planting Season:
1. Only during suitable weather and soil conditions.
2. As specifically authorized by the Owner's Representative.
B. Schedule - Only after all other construction is complete.
C. Protect and Maintain Sodded Areas
1. From traffic and all other use.
2. Until sodding is complete and accepted.

PART II - PRODUCTS

2.01 MATERIALS

- A. Sod:
1. Sod: As specified on drawings, weed, insect, and disease free having a minimum of 1 inch of topsoil attached to the roots and cut no more than three days prior to installation.
2. The sod shall be cut in strips of at least 1/2 sq. yd. and not more than 1 sq. yd. Sod shall be cut into strips not less than 12" in width or more than 9' in length. At the time of harvest, the top growth shall not exceed 3" in length.
3. All sod shall conform to the laws of the State and shall be obtained from sources meeting the approval of the Department of Agriculture, Division of Entomology.

B. Fertilizer:

- 1. Uniform in composition, free flowing.
2. Suitable for application in approved equipment.
3. Analysis of 16-20-0, 16-8-8 or as directed.

C. Water:

- 1. Free of oil, acid, alkali, salts or other substances harmful to growth of grasses.

PART III - EXECUTION

3.01 SOD BED PREPARATION

- A. Cultivate to a depth of four (4") inches by disking and tilling with a power tiller.

B. Clear surfaces of all materials:

- 1. Stumps, stones, and other objects larger than one inch (1").
2. Roots, brush, wire, stakes, etc.
3. Any objects that may interfere with sodding or maintenance.
C. Prepare sod bed:
1. Remove soil clods larger than one inch (1").
2. Grade areas to smooth, even surface, removing ridges and filling depressions. Final grade to be below finish grade of curbing and edging as shown on details. All grades shall meet approval of Owner's Representative before sodding.

3.02 SODDING

- A. Sodding:
1. Lightly water prepared grade, lay sod with staggered joints and with edges touching. Tapdress with topsoil at edges if necessary to provide smooth surface. On slopes of 2 to 1 and greater, fasten sod in place with wood pegs (two each piece) or other approved method. Sod damaged by storage or during installation shall be rejected. Following setting, tapdress with screened, approved topsoil.
2. Water and fertilize at 5 lbs. per 1,000 sq. ft.
3. Sod shall not be placed during a drought, nor during periods when sod is not normally placed in the area, and shall not be placed on frozen ground. No dry or frozen sod is acceptable.
4. The contractor shall keep all sodded areas moist and growing until Final Acceptance. All areas shall be maintained in an acceptable condition until acceptance by Owner.

B. Rolling:

- 1. After placing sod, roll with a hand roller, weighing not more than 100 lbs. per foot of width, in two directions.
2. Eliminate all air pockets; finished surface should be free of excessive undulations.

3.05 MAINTENANCE AND MANAGEMENT

- A. Includes protection, replanting, maintaining grades, repair of erosion damage. Also includes weekly mowing at 1 1/2" height until final acceptance.
B. Resodding:
1. Resod damaged or unacceptable areas.
2. Ruts, ridges, and other surface irregularities shall be corrected.



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2/18/2019

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MR. BRANDON FITZGER
7924 MAPLEWOOD AVENUE
NORTH RICHLAND HILLS, TX 76180
(817) 281-5600
BPITZER56@GMAIL.COM

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SITE PLAN INFORMATION:
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TOTAL SQUARE FOOTAGE OF SITE: 40,327 SF
PROPOSED LOT ZONING: SUP
TOTAL BUILDING SQUARE FOOTAGE: 4,454 SF
TOTAL NUMBER OF PROVIDED PARKING: 40

Drawn By: CRA, MLP
Checked By: GAW
Project No: 18 - 44

Table with 2 columns: Revisions, Description. Includes a 'Revisions' table with columns for No., Date, and Description.

Issued: ZONING CHANGE APPLICATION 12/04/2018

Sheet Title: TURF SPECS

L1.04

Sheet Number

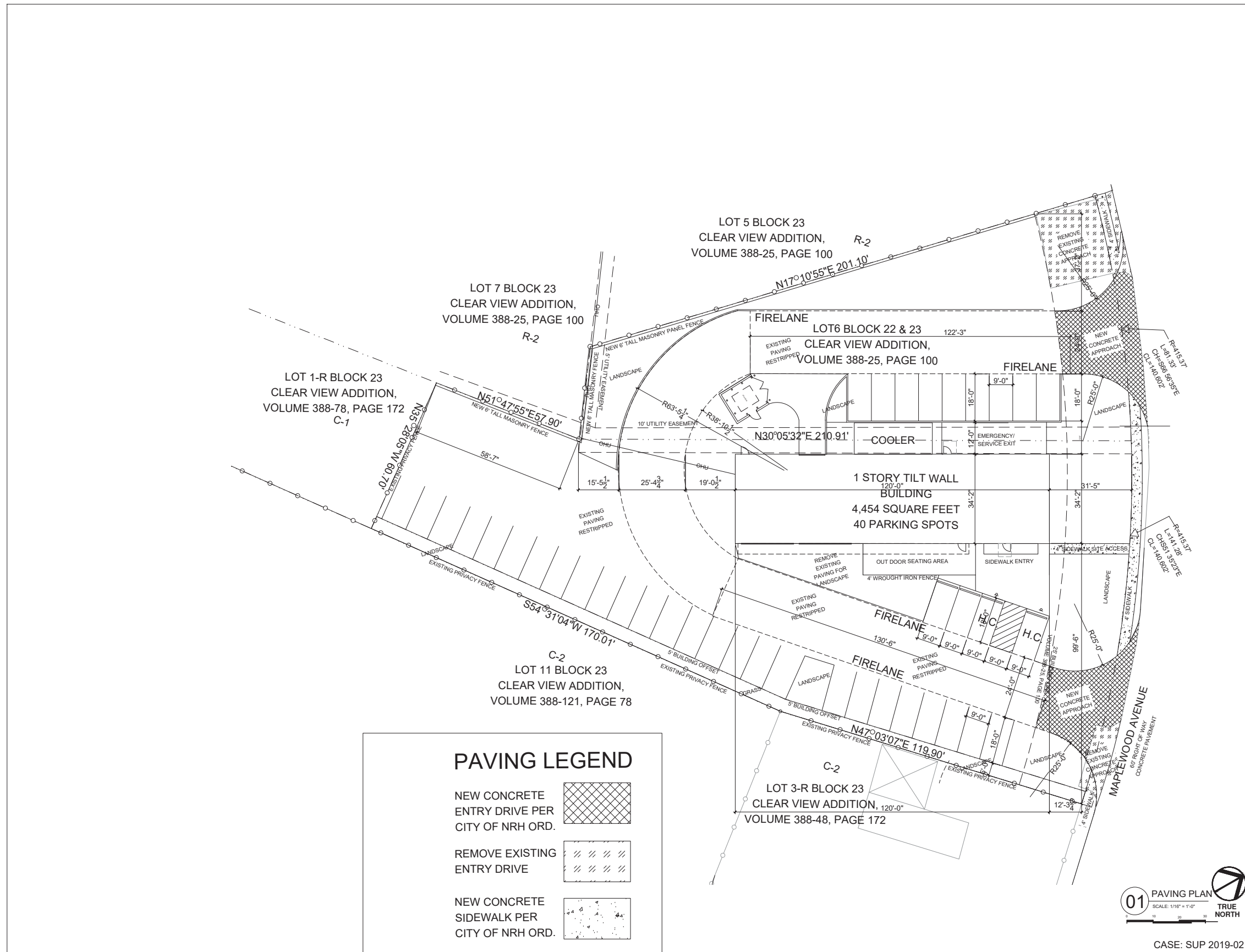
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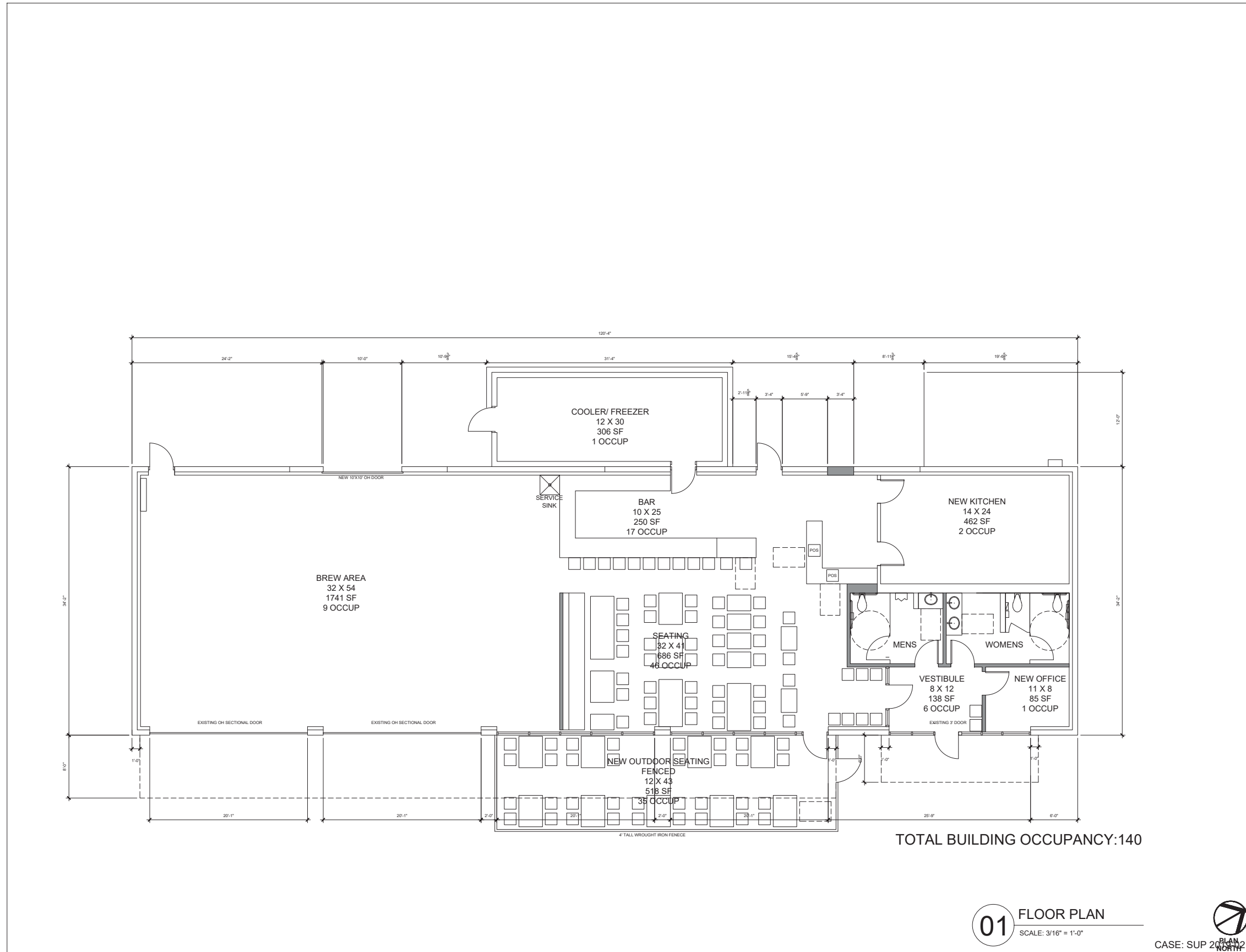
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Revisions	No.	Date	Description

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ARCHITECTURAL PAVING PLAN

A1.02
Sheet Number



01 FLOOR PLAN
SCALE: 3/16" = 1'-0"

CASE: SUP 2018-02
PLAN NORTH



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A2.01
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