



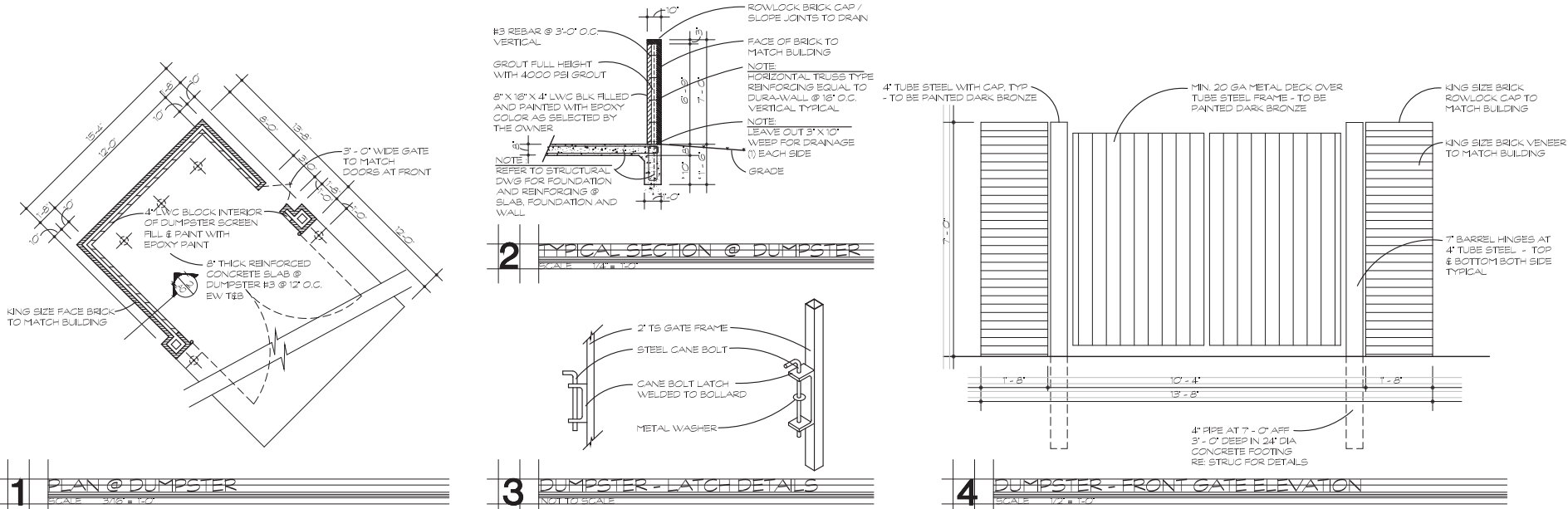
A NEW ELEVATED BUILDING OVER PARKING FOR :

METCON INC.

6428 DAVIS BOULEVARD  
NORTH RICHLAND HILLS, TEXAS

CITY OF NORTH RICHLAND HILLS CASE No. SDP 2019-01

DRAWING DATE : 02/28/2019

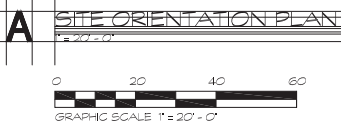
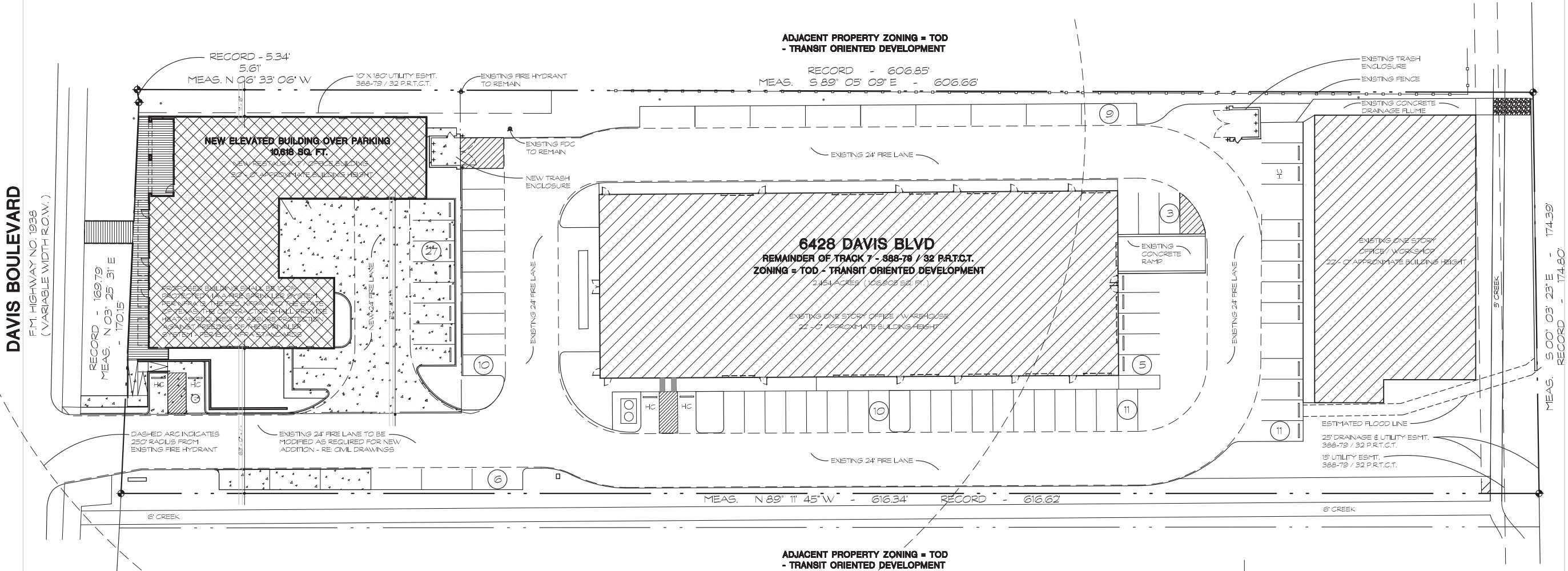
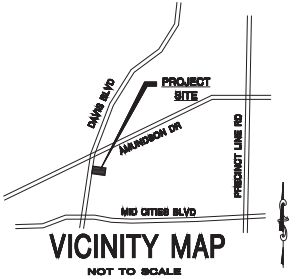


**LOT COVERAGE:**  
LOT SIZE: APPROX. 106,905 SF  
BUILDING FOOTPRINT: 35,155 SF  
PERCENTAGE OF LOT COVERED BY BUILDINGS: APPROX. 32.9 PERCENT

**LANDSCAPE / GREEN AREA COVERAGE:**  
LOT SIZE: APPROX. 106,905 SF  
LANDSCAPED AREA: 21,703 SF  
PERCENTAGE OF LANDSCAPING: APPROX. 20.3 PERCENT

**PARKING RECAP:**  
THIS PROPERTY SHALL FOLLOW THE PARKING PROVISIONS OF SECTION 118-470 (C) OF THE TOWN CENTER ZONING DISTRICT, INCLUDING THE HOURLY ACCUMULATION OF PARKED VEHICLES BY PERCENTAGE OF PEAK HOUR.

TOTAL PROVIDED:  
92 SPACES ( 5 HC )



CITY OF NORTH RICHLAND HILLS CASE No. SDP 2019-01	
SITE ORIENTATION PLAN	
AN OFFICE AND RETAIL BUILDING FOR: <b>METCON INC.</b> 8428 DAVIS BOULEVARD NORTH RICHLAND HILLS, TEXAS	SHEET NUMBER <b>A1A</b>
FOR: <b>REVEST, LLC.</b> 8800 KIRKWOOD DRIVE NORTH RICHLAND HILLS, TEXAS 79060 PH: 817-608-0884	1 OF 10



**Exhibit C - Special Development Plan Exhibits - Ordinance No. xxxx - Page 3 of 11**

MINIMUM PARKING COUNT WEEKDAY											
USE	OFFICE		FLEX OFFICE / WAREHOUSE		RETAIL		GYM / FIT. CENTER		RESTAURANT		TOTAL
GROSS FLOOR AREA	4,674 S.F.		20,350 S.F.		X,XXX S.F.		6,000 S.F.		5,600 S.F.		36,624 S.F.
PARKING RATIO	300		400		250		400		150		
TIME OF DAY	%	# OF SPACES	%	# OF SPACES	%	# OF SPACES	%	# OF SPACES	%	# OF SPACES	# OF SPACES
6:00 AM	3 %	0	3 %	2	0 %	--	30 %	5	0 %	0	7
7:00 AM	20 %	3	35 %	18	8 %	--	35 %	5	2 %	1	27
8:00 AM	63 %	10	75 %	38	18 %	--	40 %	6	5 %	2	56
9:00 AM	93 %	14	95 %	48	42 %	--	30 %	5	10 %	4	71
10:00 AM	100 %	16	100 %	51	68 %	--	15 %	2	20 %	7	76
11:00 AM	100 %	16	94 %	48	87 %	--	15 %	2	30 %	11	77
12:00 PM	90 %	14	85 %	43	97 %	--	25 %	4	50 %	19	80
1:00 PM	90 %	14	90 %	46	100 %	--	25 %	4	70 %	26	90
2:00 PM	97 %	15	95 %	48	97 %	--	15 %	2	60 %	22	87
3:00 PM	93 %	14	90 %	46	95 %	--	15 %	2	60 %	22	84
4:00 PM	77 %	12	75 %	38	87 %	--	20 %	3	50 %	19	72
5:00 PM	47 %	7	44 %	22	79 %	--	65 %	10	70 %	26	65
6:00 PM	23 %	4	20 %	10	82 %	--	85 %	13	90 %	34	61
7:00 PM	7 %	1	7 %	4	89 %	--	100 %	15	100 %	37	57
8:00 PM	7 %	1	7 %	4	87 %	--	90 %	14	100 %	37	56
9:00 PM	3 %	0	3 %	2	61 %	--	75 %	11	100 %	37	50
10:00 PM	3 %	0	3 %	2	32 %	--	50 %	8	90 %	34	44
11:00 PM	0 %	0	0 %	0	13 %	--	15 %	2	70 %	26	28
12:00 AM	0 %	0	0 %	0	0 %	--	5 %	1	50 %	19	20

NOTE: THIS PROPERTY SHALL FOLLOW THE PARKING PROVISIONS OF SECTION 118-470 (C) OF THE TOWN CENTER ZONING DISTRICT, INCLUDING THE HOURLY ACCUMULATION OF PARKED VEHICLES BY PERCENTAGE OF PEAK HOUR.

MINIMUM PARKING COUNT WEEKEND											
USE	OFFICE		FLEX OFFICE / WAREHOUSE		RETAIL		GYM / FIT. CENTER		RESTAURANT		TOTAL
GROSS FLOOR AREA	4,674 S.F.		20,350 S.F.		X,XXX S.F.		6,000 S.F.		5,600 S.F.		36,624 S.F.
PARKING RATIO	300		400		250		400		150		
TIME OF DAY	%	# OF SPACES	%	# OF SPACES	%	# OF SPACES	%	# OF SPACES	%	# OF SPACES	# OF SPACES
6:00 AM	3 %	0	0 %	0	0 %	--	25 %	4	0 %	0	4
7:00 AM	20 %	3	30 %	15	8 %	--	30 %	5	2 %	1	24
8:00 AM	60 %	9	70 %	36	18 %	--	45 %	7	3 %	1	53
9:00 AM	80 %	12	100 %	51	42 %	--	60 %	9	8 %	2	74
10:00 AM	80 %	12	90 %	46	68 %	--	70 %	11	8 %	3	72
11:00 AM	100 %	16	85 %	43	87 %	--	80 %	12	10 %	4	75
12:00 PM	100 %	16	70 %	36	97 %	--	95 %	14	30 %	11	77
1:00 PM	80 %	12	60 %	31	100 %	--	85 %	13	45 %	17	73
2:00 PM	60 %	9	50 %	25	97 %	--	80 %	12	45 %	17	63
3:00 PM	40 %	6	40 %	20	95 %	--	60 %	9	45 %	17	52
4:00 PM	40 %	6	35 %	18	87 %	--	55 %	8	45 %	17	49
5:00 PM	20 %	3	10 %	5	79 %	--	35 %	5	60 %	22	35
6:00 PM	20 %	3	5 %	3	82 %	--	30 %	5	90 %	34	45
7:00 PM	20 %	3	3 %	2	89 %	--	30 %	5	95 %	35	45
8:00 PM	20 %	3	0 %	0	87 %	--	20 %	3	100 %	37	43
9:00 PM	0 %	0	0 %	0	61 %	--	5 %	1	100 %	37	38
10:00 PM	0 %	0	0 %	0	32 %	--	5 %	1	95 %	35	36
11:00 PM	0 %	0	0 %	0	13 %	--	5 %	1	85 %	32	33
12:00 AM	0 %	0	0 %	0	0 %	--	5 %	1	70 %	26	27

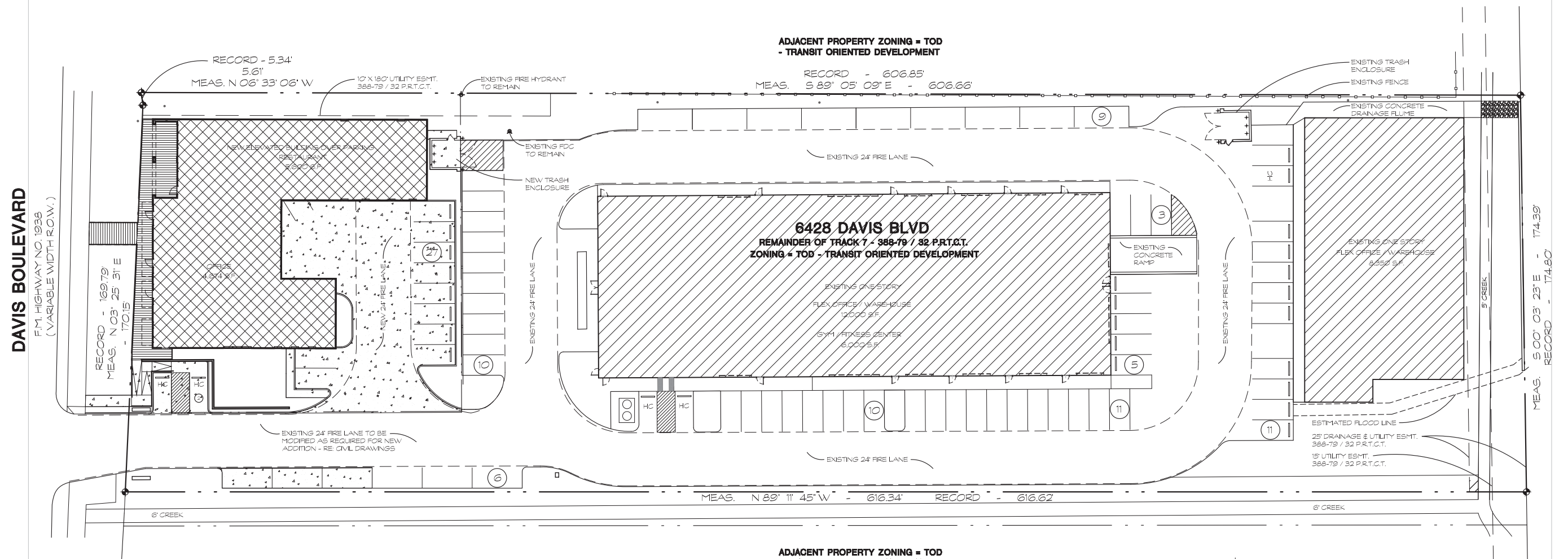
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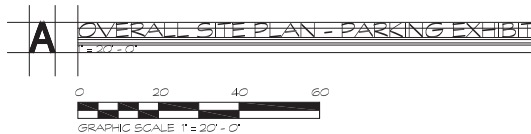
PARKING RECAP:

THIS PROPERTY SHALL FOLLOW THE PARKING PROVISIONS OF SECTION 18-470 (C) OF THE TOWN CENTER ZONING DISTRICT, INCLUDING THE HOURLY ACCUMULATION OF PARKED VEHICLES BY PERCENTAGE OF PEAK HOUR.

TOTAL PROVIDED :  
92 SPACES ( 5 HC )



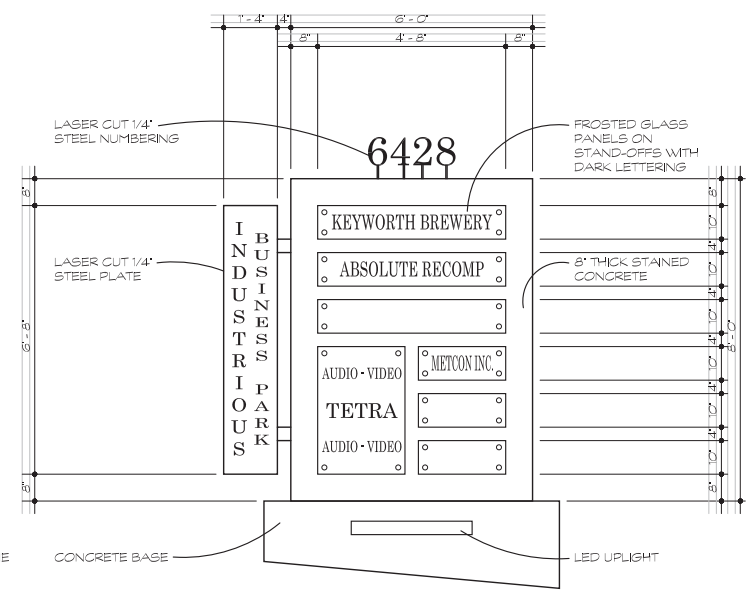
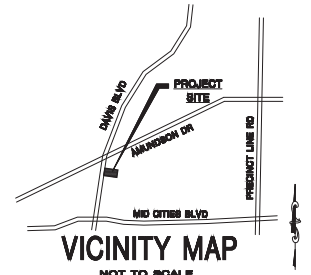
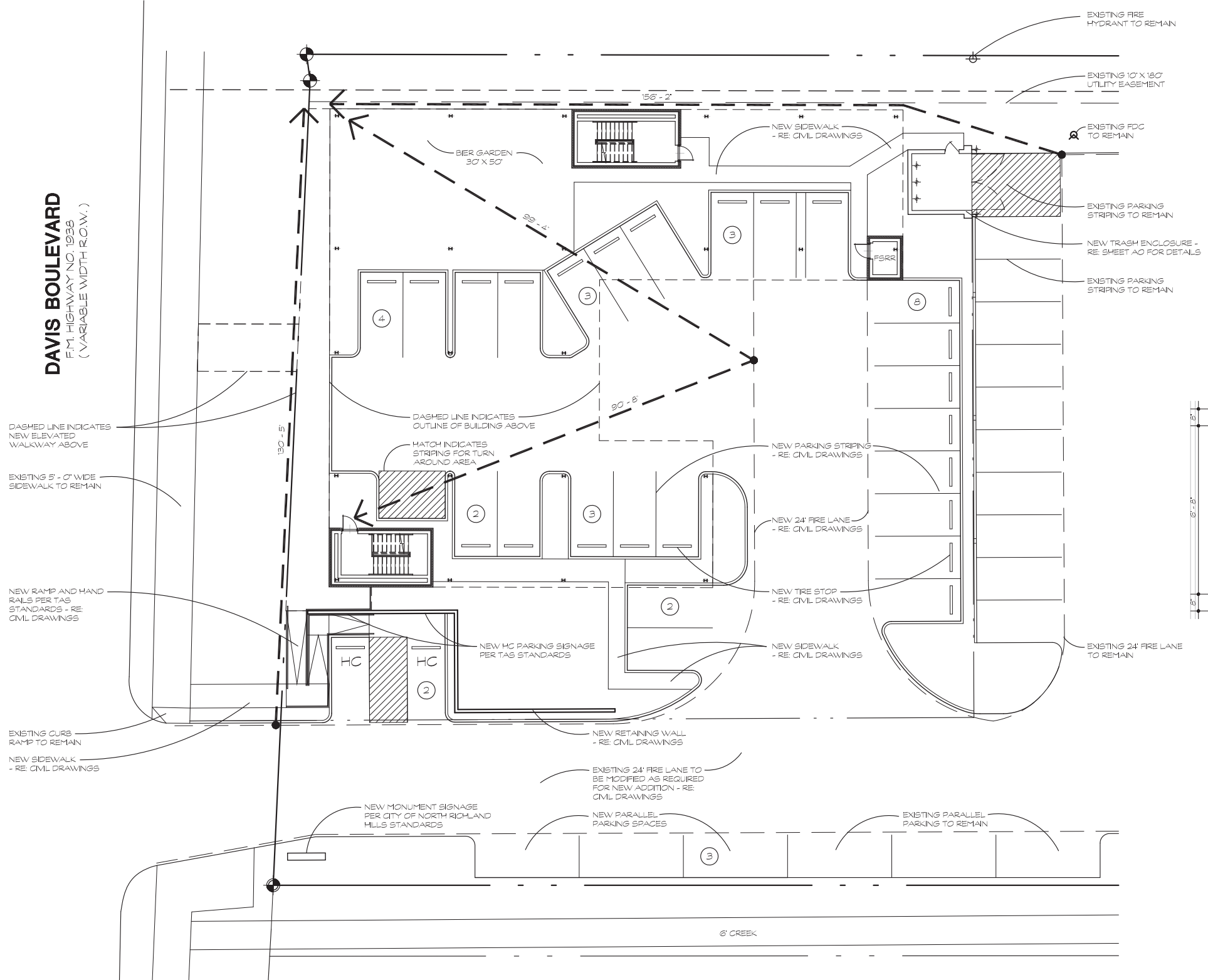
**ADJACENT PROPERTY ZONING = TOD  
- TRANSIT ORIENTED DEVELOPMENT**



**CITY OF NORTH RICHLAND HILLS CASE No. SDP 2019-01**  
**PARKING EXHIBIT**

AN OFFICE AND RETAIL BUILDING FOR:	ENTRY NUMBER
<b>METCON INC.</b>	<b>A1B</b>
0480 DAVIS BOULEVARD NORTH RICHLAND HILLS, TEXAS	
<b>FOR: REVEST, L.L.C.</b>	
18000 RIVER CHASE NORTH RICHLAND HILLS, TEXAS 76180 P.O. BOX 1000-0084 P.O. BOX 1000-0084 P.O. BOX 1000-0084	2 OF 10

AO-SHE.doc 2-5-18 2:40 PM EST

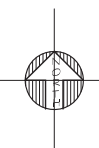


1 DOUBLE SIDED MONUMENT SIGN  
1/2" = 1' - 0"

PARKING TABULATION
NEW PARKING PROVIDED = 25 SPACES
NEW PARALLEL PARKING PROVIDED = 3 SPACES
NEW HC PARKING PROVIDED = 2 SPACES
NEW TOTAL PARKING PROVIDED = 30 SPACES

A ENLARGED SITE PLAN - PARKING LEVEL  
3/32" = 1' - 0"

0 20 40 60  
GRAPHIC SCALE 3/32" = 1' - 0"

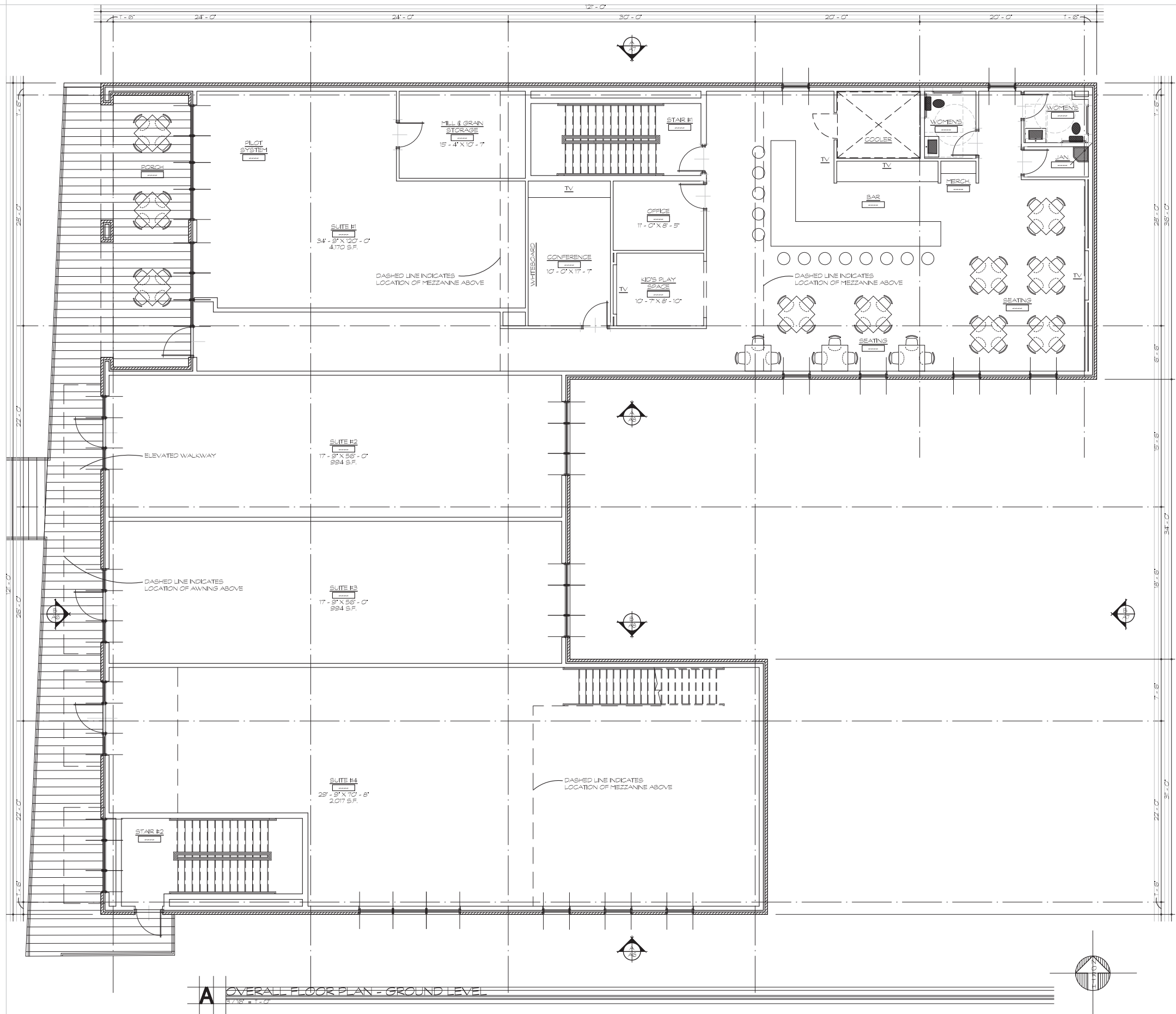


CITY OF NORTH RICHLAND HILLS CASE No. SDP 2019-01  
ENLARGED SITE PLAN

AN OFFICE AND RETAIL BUILDING FOR: <b>METCON INC.</b> 8408 DAVIS BOULEVARD NORTH RICHLAND HILLS, TEXAS 76180 FOR: <b>REVEST, LLC.</b> 8800 KIRK DR. NORTH RICHLAND HILLS, TEXAS 76180 TEL: 817-605-0884	SHEET NUMBER <b>A2</b> 8 OF 10
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AS SHOWN 2-28-2017 BY: EBY





FLOOR PLAN LEGEND	
	ROOM NAME AND NUMBER MARKER
	WALL TYPE MARKER
	STOREFRONT TYPE MARKER
	WINDOW TYPE MARKER
	DOOR NUMBER MARKER
	BUILDING ELEVATION MARKER
	WALL / BUILDING SECTION MARKER
	DETAIL MARKER
	LARGE SCALE PLAN MARKER

THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE AND SHALL BE RESPONSIBLE FOR CONDITIONS OF ALL WORK AND MATERIALS, INCLUDING THOSE FURNISHED BY SUBCONTRACTORS.

DISCREPANCIES AND / OR VARIATIONS SHALL IMMEDIATELY BE REPORTED TO THE ARCHITECT IN WRITING. CONTRACTOR SHALL RECEIVE CLARIFICATION FROM ARCHITECT PRIOR TO START OF WORK.

THE ARCHITECT PRODUCING THESE PLANS WILL NOT BE RESPONSIBLE FOR FIELD CHANGES AND FIELD DECISIONS UNLESS NOTIFIED IN WRITING OF REQUEST FOR CHANGES AND THEN ONLY BY WRITTEN RESPONSE OF THE ARCHITECT.

ALL PLAN DIMENSIONS ARE TO FINISH FACE OF WALL OR FACE OF MASONRY UNLESS NOTED OTHERWISE.

CONTRACTOR SHALL NOT SCALE DRAWINGS. IN THE EVENT OF OMISSION OF DIMENSIONS THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. FAILURE TO DO SO WILL LEAVE THE CONTRACTOR SOLELY RESPONSIBLE FOR ANY DISCREPANCIES, CORRECTIONS, ETC. RESULTING FROM THE SAME.

ALL MATERIALS AND WORKMANSHIP SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL STANDARDS AND TO THE APPLICABLE PROVISIONS OF THE GOVERNING BUILDING CODE.

THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. UNLESS OTHERWISE INDICATED, THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE, WORKMEN, AND OTHER PERSONS DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO BRACING, SHORING FOR THE EARTH BANKS, FORMS, SCAFFOLDING, PLANNING, SAFETY NETS, SUPPORT AND BRACING FOR CRANES, GIN POLES, ETC. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, AND HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY THE ARCHITECT OR THE ENGINEER SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEMS.

THESE DRAWINGS SHOW ONLY REPRESENTATIVE AND TYPICAL DETAILS TO ASSIST THE CONTRACTOR. THE DRAWINGS DO NOT ILLUSTRATE EVERY CONDITION. ALL ATTACHMENTS, CONNECTIONS, FASTENINGS, ETC., SHALL BE PROPERLY SECURED IN CONFORMANCE WITH THE BEST PRACTICE, AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING THEM.

THE USE OF REPRODUCTIONS OF THESE CONTRACT DRAWINGS BY ANY CONTRACTOR, SUBCONTRACTOR, ERECTOR, FABRICATOR, OR MATERIAL SUPPLIER IN LIEU OF PREPARATION OF SHOP DRAWINGS SIGNIFIES HIS ACCEPTANCE OF ALL INFORMATION SHOWN HEREON AS CORRECT, AND OBLIGATES HIMSELF TO ANY JOB EXPENSE, REAL OR IMPLIED, ARISING DUE TO ANY ERRORS THAT MAY OCCUR HEREON.

CONTRACTOR SHALL POSSESS, PRIOR TO CONSTRUCTION, ALL NECESSARY PERMITS, LICENSES, ETC., AND SHALL PERFORM ALL WORK IN COMPLIANCE WITH AND TERMS AND CONDITIONS. ALL WORK SHALL BE DONE IN COMPLIANCE WITH APPLICABLE STATE, FEDERAL, AND LOCAL REGULATIONS.

THE CONTRACTOR SHALL CONFIRM ALL REQUIREMENTS OF OWNER FURNISHED EQUIPMENT WITH THE OWNER AND THE MANUFACTURER OF SAID EQUIPMENT PRIOR TO START OF CONSTRUCTION AND SHALL INSTALL ALL PITS, PUMPS, EQUIPMENT, UTILITIES, ETC. AS REQUIRED BY EQUIPMENT MANUFACTURER FOR FULL AND COMPLETE INSTALLATION.

GYPSUM BOARD WALLS SHALL BE FIRE RATED TYPE 'X' GYPSUM BOARD AND SHALL BE TAPED, BEDDED, AND TEXTURED (TEXTURE AS SELECTED BY THE ARCHITECT) ALL TEXTURED WALLS SHALL BE PAINTED (COLOR AS SELECTED BY THE ARCHITECT).

ALL GYPSUM BOARD PARTITIONS SHALL HAVE CORNER BEADS AND CASTING BEADS, METAL ACCESSORIES AS REQUIRED TO PROVIDE FINISHED SURFACE TERMINATIONS. ALL GYPSUM BOARD SHALL BE 5/8" THICK, FIRE RATES TYPE X GYPSUM BOARD (U.N.O.). GYPSUM BOARD SHALL BE WATER RESISTANCE (WR) AT ALL WET LOCATIONS, (IE. TOILET ROOMS, SHOWERS, JANITORS, ETC.).

ALL PLUMBING WALLS SHALL HAVE SOUND BATT INSULATION INSTALLED PER CITY STANDARDS AND CODES.

ALL DOORS / FRAMES / HARDWARE SHALL BE INSTALLED PER TEXAS DEPARTMENT OF LICENSING AND REGULATION (TDLR) TEXAS ACCESSIBILITY STANDARDS, ANSI AND ADA - TYPICAL.

ALL PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED PER TEXAS DEPARTMENT OF LICENSING AND REGULATION (TDLR) TEXAS ACCESSIBILITY STANDARDS, ANSI AND ADA - TYPICAL.

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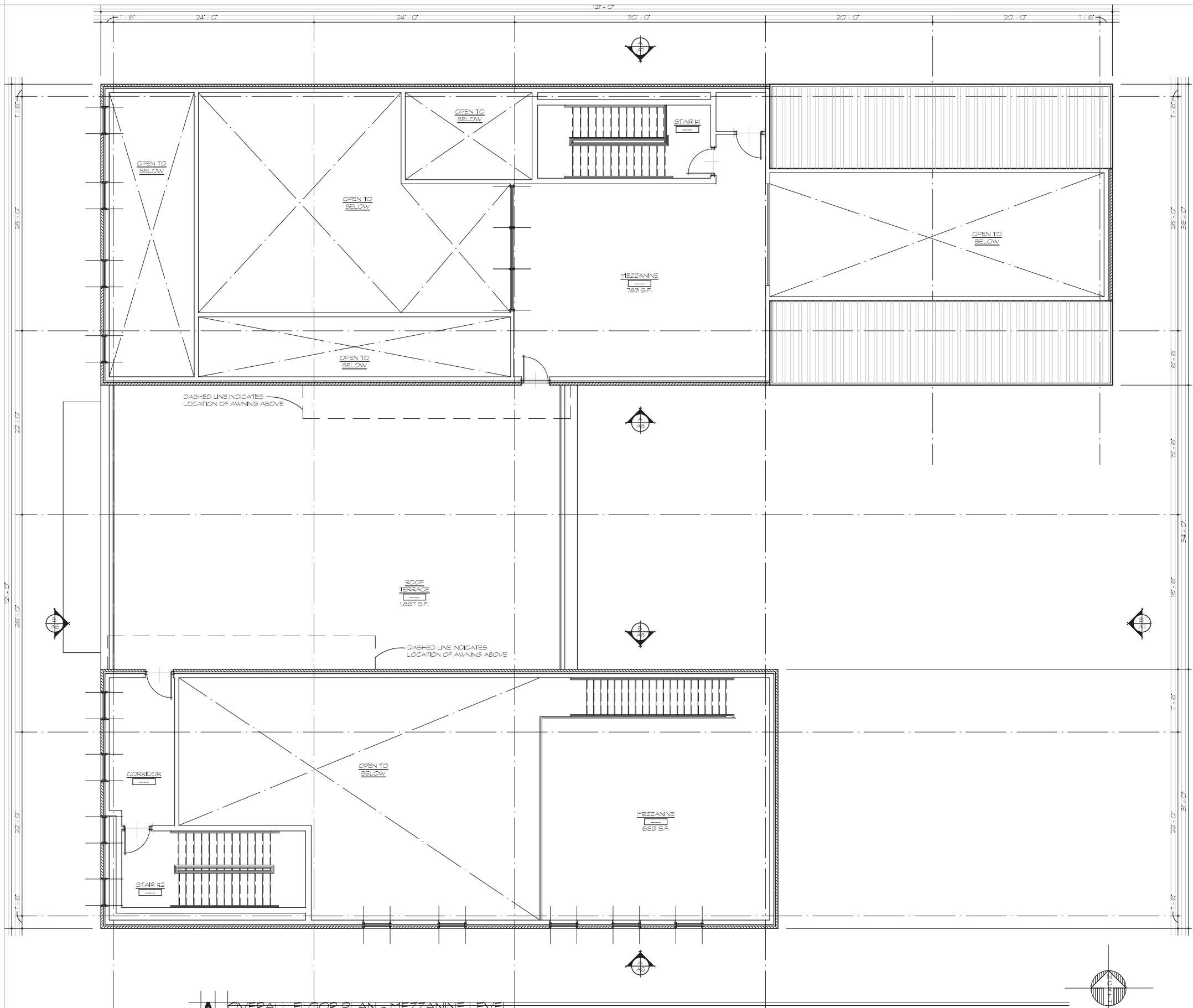
PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED THROUGHOUT THE FACILITY AS REQUIRED BY NFPA STANDARD NO. 10 AND AS DETERMINED BY THE LOCAL FIRE DEPARTMENT.

THE BUILDING SHALL HAVE FIRE ALARM / SMOKE DETECTION SYSTEM AND FIRE SPRINKLER SYSTEM PER THE MOST CURRENT INTERNATIONAL BUILDING CODES, AND AS REQUIRED BY LOCAL CODE. THE BUILDING SHALL BE PROTECTED 100% BY FIRE DETECTION AND FIRE SPRINKLER PROTECTION SYSTEMS PER NFPA STANDARDS.

CITY OF NORTH RICHLAND HILLS CASE No. SDP 2019-01  
GROUND LEVEL FLOOR PLAN

AN OFFICE AND RETAIL BUILDING FOR: <b>METCON INC.</b> 3400 DAVIS BOULEVARD NORTH RICHLAND HILLS, TEXAS 76180 FOR: <b>REVEST, L.L.C.</b> 3400 KIRK DR. NORTH RICHLAND HILLS, TEXAS 76180 PH. 817-505-0254	SHEET NUMBER <b>A4</b> 5 OF 10
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FLOOR PLAN LEGEND	
	ROOM NAME AND NUMBER MARKER
	WALL TYPE MARKER
	STOREFRONT TYPE MARKER
	WINDOW TYPE MARKER
	DOOR NUMBER MARKER
	BUILDING ELEVATION MARKER
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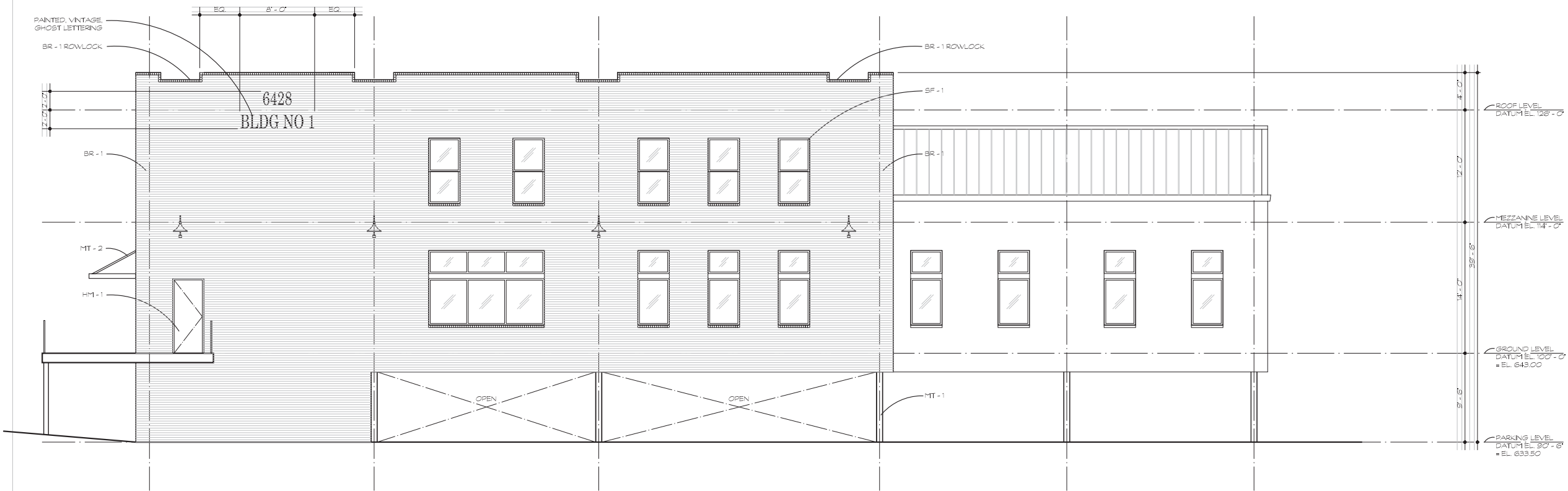
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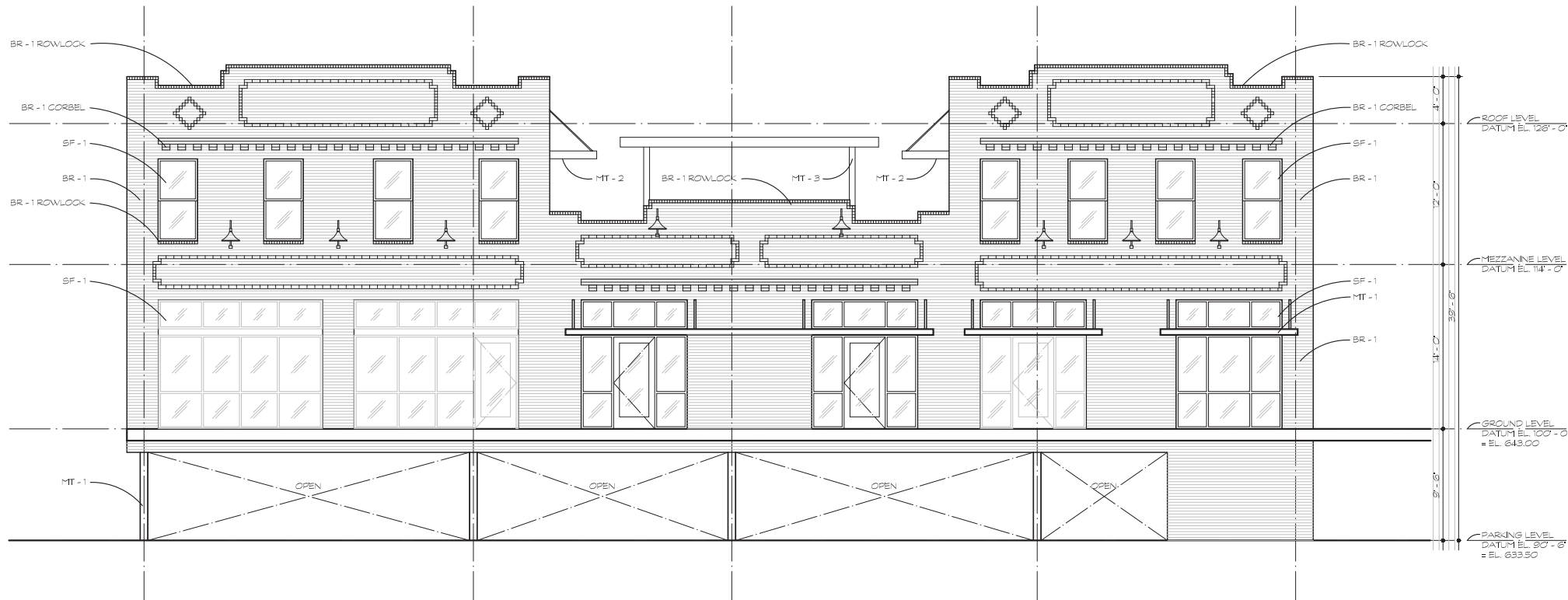
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CITY OF NORTH RICHLAND HILLS CASE No. SDP 2019-01  
MEZZANINE LEVEL FLOOR PLAN

AN OFFICE AND RETAIL BUILDING FOR: <b>METCON INC.</b> 3400 DAVIS BOULEVARD NORTH RICHLAND HILLS, TEXAS 76180 FOR: <b>REVEST, L.L.C.</b> 3900 KIRK DR. NORTH RICHLAND HILLS, TEXAS 76180 PH. 817-505-0254	SHEET NUMBER <b>A5</b> 8 OF 10
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**A** SOUTH ELEVATION  
8'-0" x 1'-0"



**B** WEST ELEVATION  
8'-0" x 1'-0"

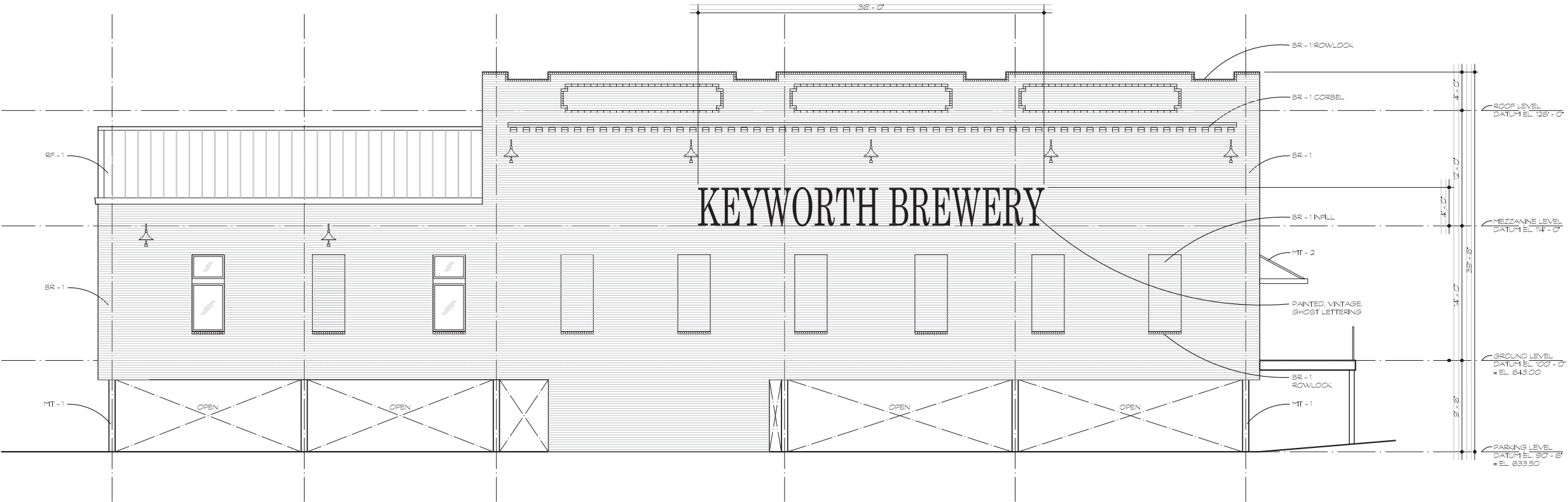
EXTERIOR FINISH LEGEND		
SERIES	FINISH	
BR - 1	KING SIZE FACE BRICK ACME	BLEND : XXXX TEXTURE : XXXX
HM - 1	PAINTED HOLLOW METAL DOOR AND FRAME	FINISH : DARK BRONZE - SEMI-GLOSS
MT - 1	PAINTED STRUCTURAL STEEL	FINISH : DARK BRONZE - SEMI-GLOSS
MT - 2	STEEL FABRICATION AWNING	FINISH : DARK BRONZE - SEMI-GLOSS
MT - 3	STEEL FABRICATION TRELLIS	FINISH : DARK BRONZE - SEMI-GLOSS
RF - 1	STANDING SEAM METAL ROOFING SYSTEM	FINISH : DARK BRONZE
SF - 1	ALUMINUM STOREFRONT SYSTEM	FINISH : DARK BRONZE GLAZING : 1" INSULATED GLAZING

MATERIAL PERCENTAGES	NORTH	SOUTH	EAST	WEST
1. TOTAL FACADE S.F.	5,535	2,806	2,806	2,806
2. DOORS AND WINDOWS (SF ± 1)	0 / 0.0%	325 / 11.6%	198 / 6.9%	848 / 28.3%
3. MASONRY TOTALS (BR - 1)	3,503 / 99.1%	2,465 / 87.8%	2,644 / 92.2%	2,124 / 71.0%
4. METAL TOTALS (MT - 1)	32 / 0.9%	16 / 0.6%	27 / 0.9%	2 / 0.7%
1. TOTAL FACADE S.F.	1,678	2,418		
2. DOORS AND WINDOWS (SF ± 1)	27 / 1.6%	135 / 5.6%		
3. MASONRY TOTALS (BR - 1)	1,648 / 98.1%	2,281 / 93.9%		
4. METAL TOTALS (MT - 1)	5 / 0.3%	16 / 0.6%		

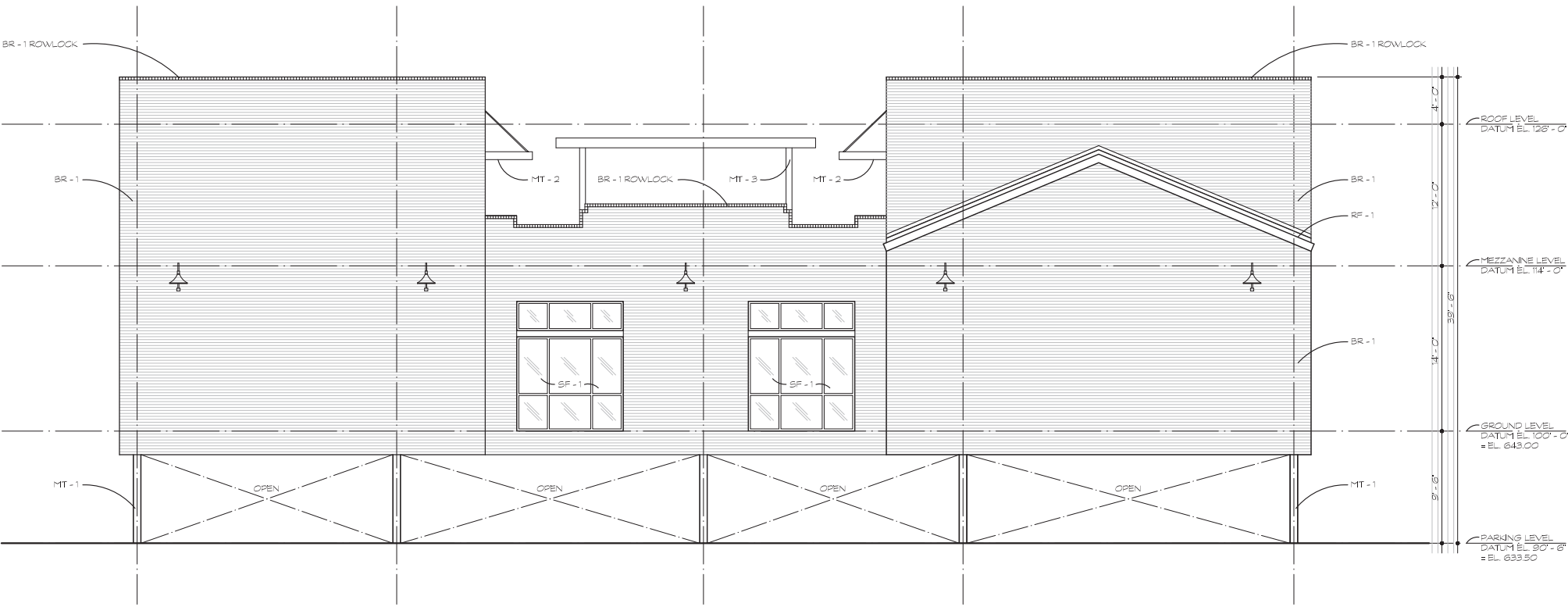
CITY OF NORTH RICHLAND HILLS CASE No. SDP 2019-01  
EXTERIOR ELEVATIONS

AN OFFICE AND RETAIL BUILDING FOR: <b>METCON INC.</b> 8000 DAVIS BOULEVARD NORTH RICHLAND HILLS, TEXAS 76180 FOR: <b>REVEST, L.L.C.</b> 8000 KIRK DR. NORTH RICHLAND HILLS, TEXAS 76180 PH. 817-505-0284	SHEET NUMBER <b>A6</b> 7 OF 10
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**A** NORTH ELEVATION



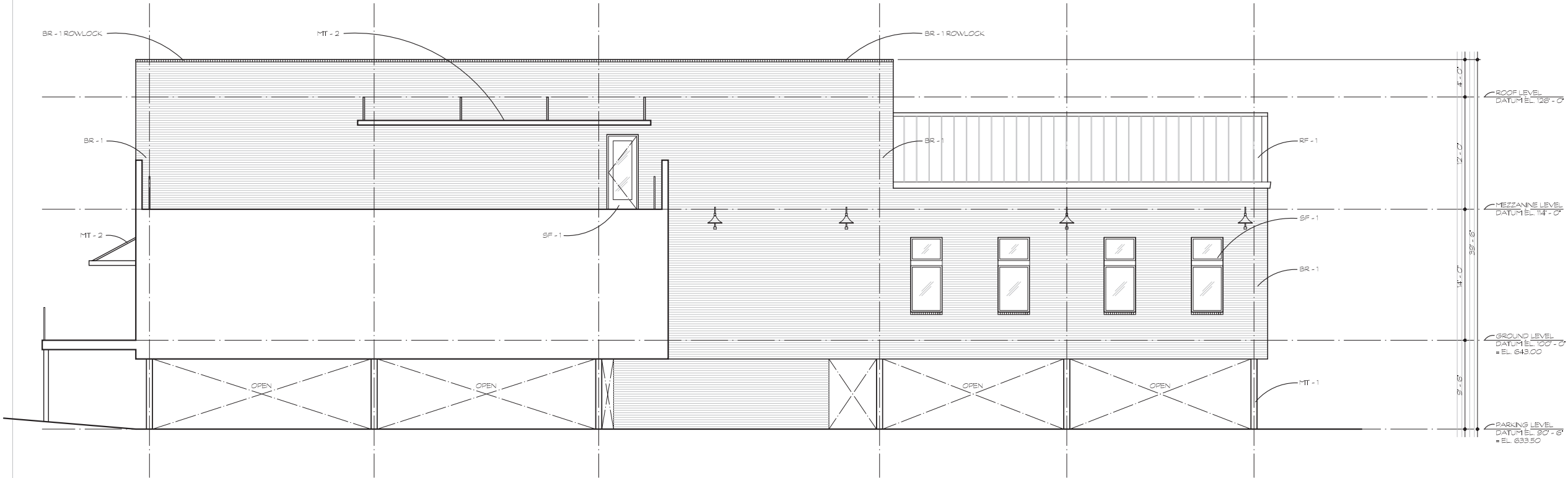
**B** EAST ELEVATION

EXTERIOR FINISH LEGEND		
SERIES		FINISH
BR - 1	KING SIZE FACE BRICK ACME	BLEND : XXXX TEXTURE : XXXX
HM - 1	PAINTED HOLLOW METAL DOOR AND FRAME	FINISH : DARK BRONZE - SEMI-GLOSS
MT - 1	PAINTED STRUCTURAL STEEL	FINISH : DARK BRONZE - SEMI-GLOSS
MT - 2	STEEL FABRICATION AWNING	FINISH : DARK BRONZE - SEMI-GLOSS
MT - 3	STEEL FABRICATION TRELLIS	FINISH : DARK BRONZE - SEMI-GLOSS
RF - 1	STANDING SEAM METAL ROOFING SYSTEM	FINISH : DARK BRONZE
SF - 1	ALUMINUM STOREFRONT SYSTEM	FINISH : DARK BRONZE GLAZING : 1" INSULATED GLAZING

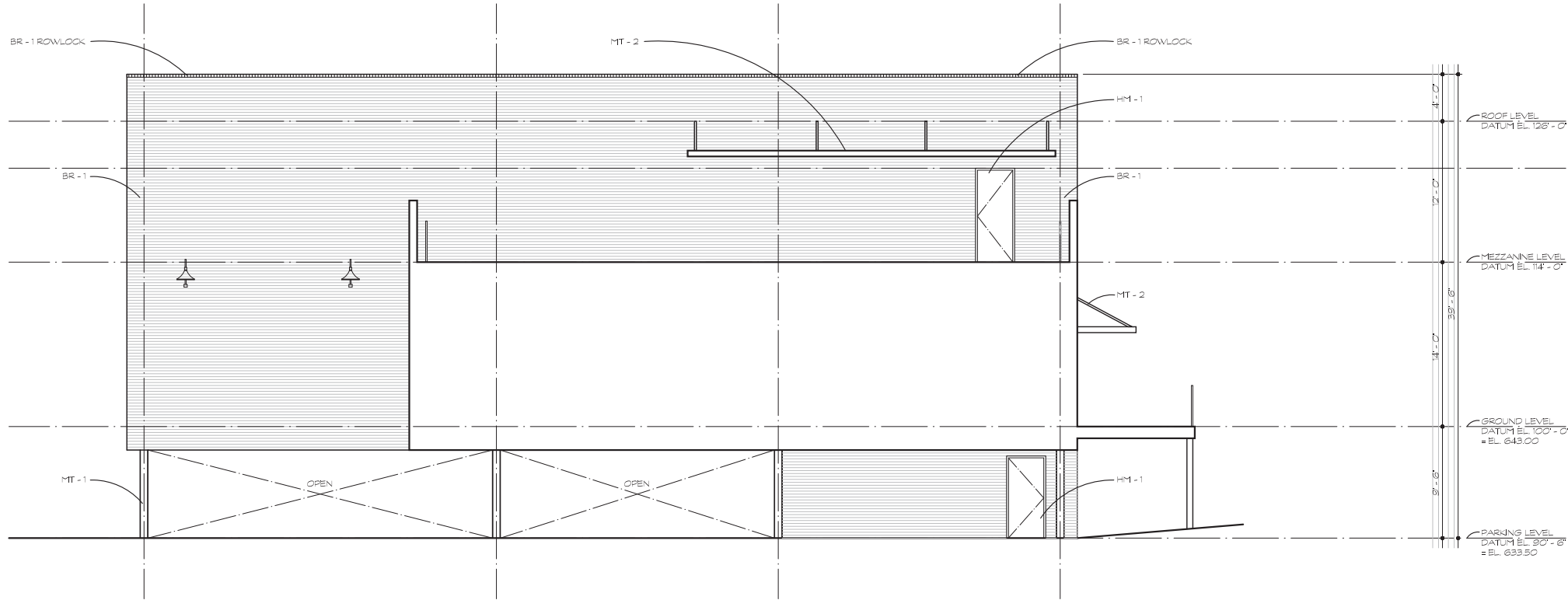
MATERIAL PERCENTAGES		NORTH	SOUTH	EAST	WEST
1. TOTAL FACADE S.F.		5,535	2,806	2,806	2,806
2. DOORS AND WINDOWS (SF ± 1)		0 / 0.0%	325 / 11.6%	198 / 6.9%	848 / 28.3%
3. MASONRY TOTALS (BR - 1)		3,503 / 99.1%	2,465 / 87.8%	2,644 / 92.2%	2,124 / 71.0%
4. METAL TOTALS (MT - 1)		32 / 0.9%	16 / 0.6%	27 / 0.9%	2 / 0.7%
1. TOTAL FACADE S.F.		NORTH - INT.	SOUTH - INT.		
2. DOORS AND WINDOWS (SF ± 1)		1,678	2,418		
3. MASONRY TOTALS (BR - 1)		27 / 1.6%	135 / 5.6%		
4. METAL TOTALS (MT - 1)		1,646 / 98.3%	2,281 / 93.9%		
		5 / 0.3%	16 / 0.6%		

CITY OF NORTH RICHLAND HILLS CASE No. SDP 2019-01  
EXTERIOR ELEVATIONS

AN OFFICE AND RETAIL BUILDING FOR: <b>METCON INC.</b> 3400 DAVIS BOULEVARD NORTH RICHLAND HILLS, TEXAS 76180 FOR: <b>REVEST, LLC</b> 8800 KIRK CDR NORTH RICHLAND HILLS, TEXAS 76180 PH: 817-505-0294	SHEET NUMBER <b>A7</b> 8 OF 10
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**A** SOUTH INTERIOR ELEVATION  
S.D.P. 2019-01



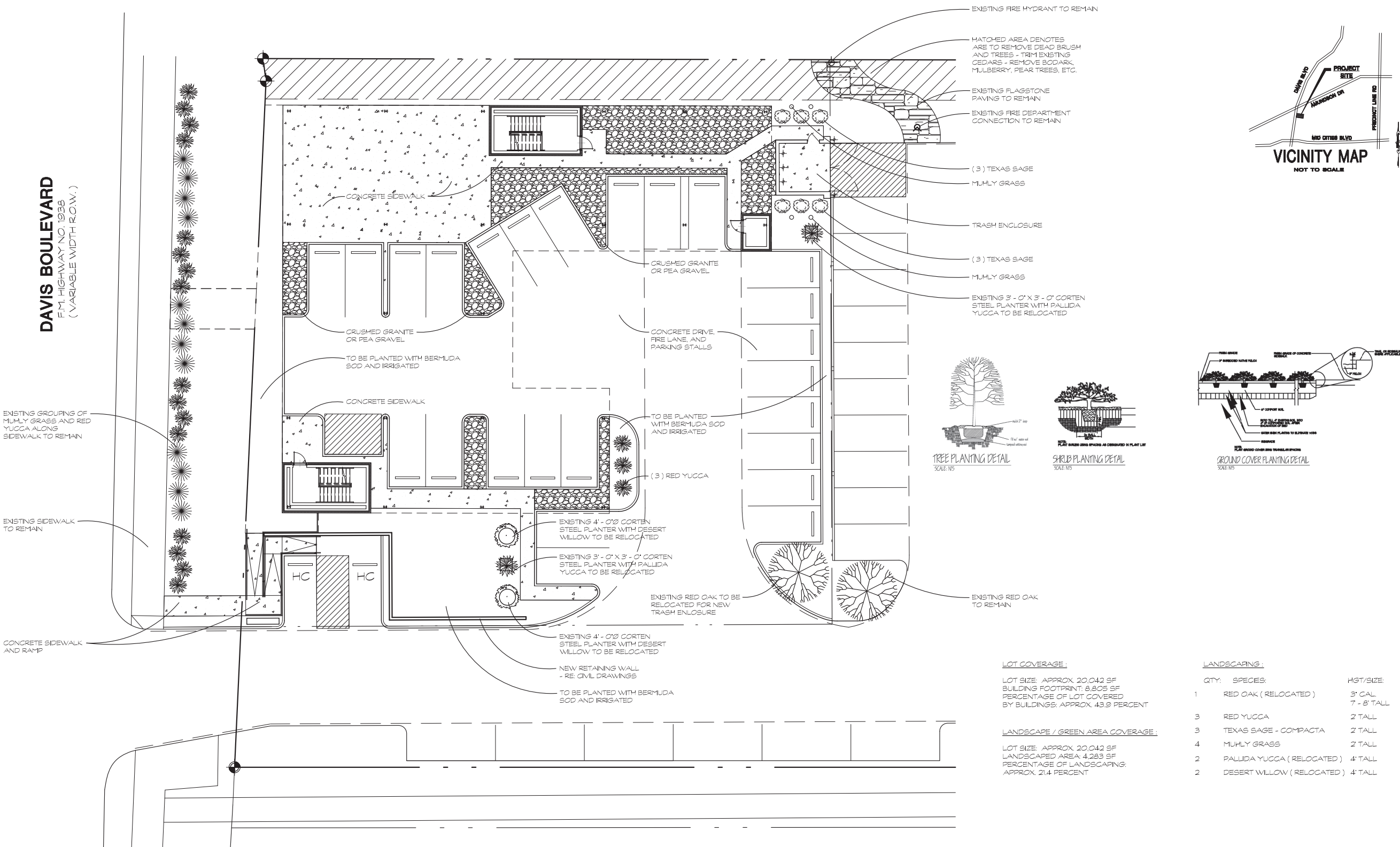
**B** NORTH INTERIOR ELEVATION  
S.D.P. 2019-01

EXTERIOR FINISH LEGEND		
SERIES		FINISH
BR - 1	KING SIZE FACE BRICK ACME	BLEND : XXXX TEXTURE : XXXX
HM - 1	PAINTED HOLLOW METAL DOOR AND FRAME	FINISH : DARK BRONZE - SEMI-GLOSS
MT - 1	PAINTED STRUCTURAL STEEL	FINISH : DARK BRONZE - SEMI-GLOSS
MT - 2	STEEL FABRICATION AWNING	FINISH : DARK BRONZE - SEMI-GLOSS
MT - 3	STEEL FABRICATION TRELLIS	FINISH : DARK BRONZE - SEMI-GLOSS
RF - 1	STANDING SEAM METAL ROOFING SYSTEM	FINISH : DARK BRONZE
SF - 1	ALUMINUM STOREFRONT SYSTEM	FINISH : DARK BRONZE GLAZING : 1" INSULATED GLAZING

MATERIAL PERCENTAGES	NORTH	SOUTH	EAST	WEST
1. TOTAL FACADE S.F.	5,535	2,806	2,869	2,993
2. DOORS AND WINDOWS (SF ± 1)	0 / 0.0%	325 / 11.6%	198 / 6.9%	848 / 28.3%
3. MASONRY TOTALS (BR - 1)	3,503 / 99.1%	2,465 / 87.8%	2,644 / 92.2%	2,124 / 71.0%
4. METAL TOTALS (MT - 1)	32 / 0.6%	16 / 0.6%	27 / 0.9%	2 / 0.7%
1. TOTAL FACADE S.F.	1,678	2,418		
2. DOORS AND WINDOWS (SF ± 1)	27 / 1.6%	135 / 5.6%		
3. MASONRY TOTALS (BR - 1)	1,648 / 98.4%	2,283 / 94.4%		
4. METAL TOTALS (MT - 1)	5 / 0.3%	16 / 0.6%		

CITY OF NORTH RICHLAND HILLS CASE No. SDP 2019-01  
EXTERIOR ELEVATIONS

AN OFFICE AND RETAIL BUILDING FOR: <b>METCON INC.</b> 3408 DAVIS BOULEVARD NORTH RICHLAND HILLS, TEXAS 76180 FOR: <b>REVEST, L.L.C.</b> 8800 KIRK DR. NORTH RICHLAND HILLS, TEXAS 76180 PH. 817-505-0284	SHRINK NUMBER <b>A8</b> 0 OF 10
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# LANDSCAPING PLAN



**CITY OF NORTH RICHLAND HILLS CASE No. SDP 2019-01**  
**LANDSCAPING PLAN**

AN OFFICE AND RETAIL BLINDS FOR:		SHIRT NUMBER
<b>METCON INC.</b> 0489 DAVIS BOULEVARD NORTH RICHLAND HILLS, TEXAS		L1
FOR: <b>REVEST, LLC.</b> 8800 KIRK CDR NORTH RICHLAND HILLS, TEXAS 76180		